

FLOOD ZONE "X"
NOTE "A"
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

FLOOD ZONE "X"
NOTE "B"
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAN.

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THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 80 FEET OR SMALLER. ANY USE OF THIS FILE AT A SCALE LARGER THAN STATED SHALL BE AT THE USER'S OWN RISK.

SEE SHEET 6 OF 6 FOR SURVEYOR SIGNATURE

SURVEY MAP

THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE REPORT

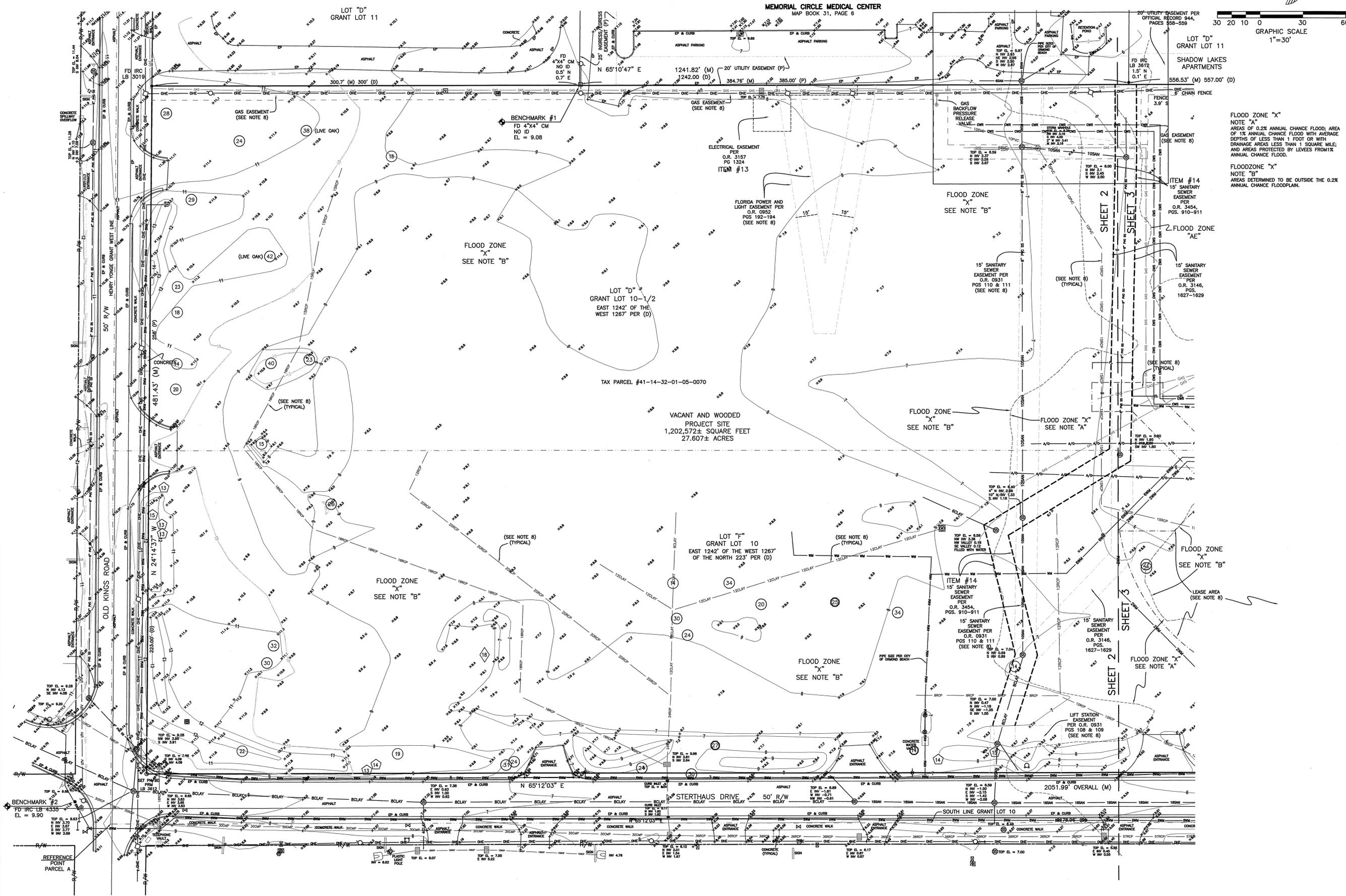
TYPE OF SURVEY:
TOS1
TOS2
MAP SUBJECT:
MS
ADDRESS:
ADDRESS
C/S

PROJECT No: PROJECT#
FIELD WORK BY: FWB
DATE: FWBDATE
OFFICE WORK BY: OWB
DATE: OWBDATE
FIELD BOOK - PAGE: FBP
SCALE: SCALE

DRAWING FILE:
FILE#



GRAPHIC SCALE
1"=30'



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FLOOD_ZONE "X"
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LUPHAM
CIVIL ENGINEERING-SURVING-LANDSCAPE ARCHITECT
265 Kenilworth Avenue • Ormond Beach • Florida
Voice: 386.672.9515 • Fax: 386.673.6654 • lupham@luphaminc.com
LC # 0003912

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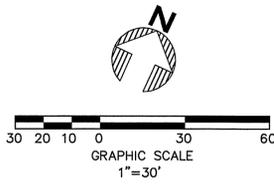
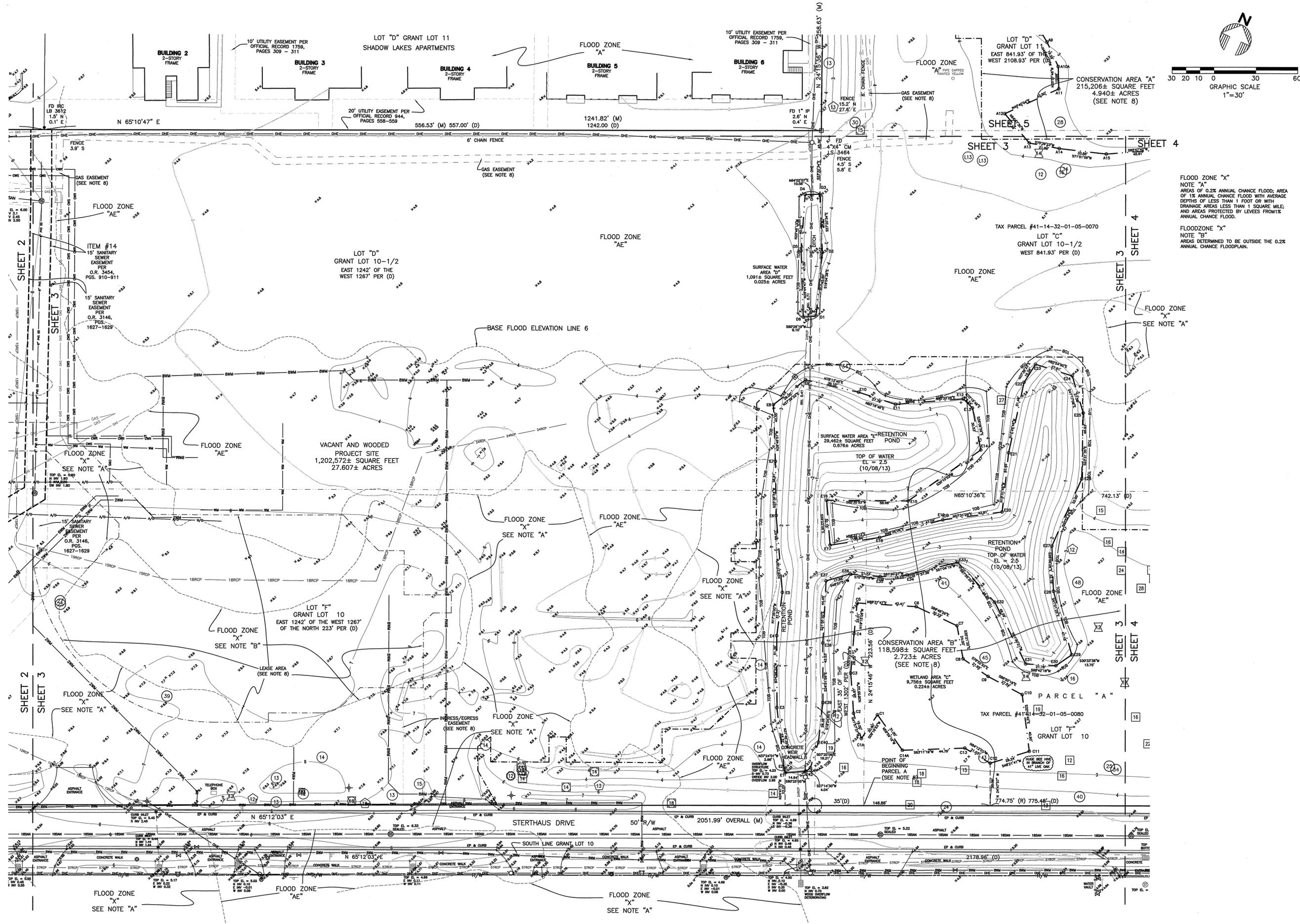
THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 30 FEET OR SMALLER. ANY USE OF THIS FILE AT A SCALE LARGER THAN STATED SHALL BE AT THE USER'S OWN RISK.

SEE SHEET 6 OF 6 FOR SURVEYOR SIGNATURE

SURVEY MAP

THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE REPORT

TYPE OF SURVEY:	TOS1	PROJECT No:	PROJECT#
	TOS2	FIELD WORK BY:	FWB
MAP SUBJECT:	MS	DATE:	FWBDATE
ADDRESS:	ADDRESS	OFFICE WORK BY:	OWB
C/S	C/S	DATE:	OWBDATE
		FIELD BOOK - PAGE:	FBP
		SCALE:	SCALE
		DRAWING FILE:	FILE#



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UPPHAM
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SEE SHEET 6 OF 6 FOR SURVEYOR SIGNATURE

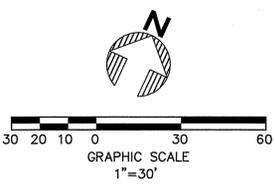
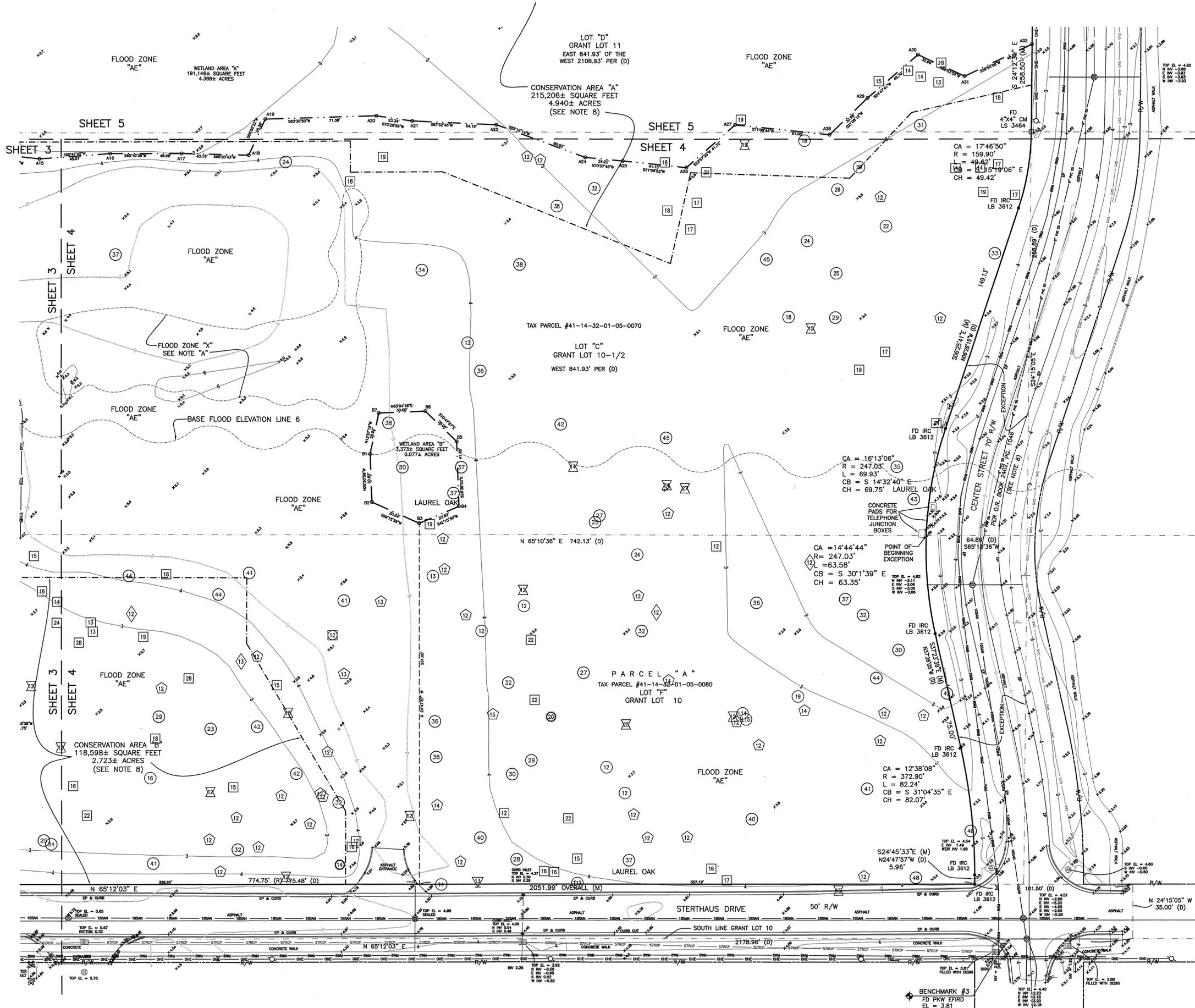
SURVEY MAP

THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE REPORT

TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC & SPECIAL PURPOSE
MAP SUBJECT: ORMOND KING CENTER
ADDRESS: 555 S. 875 STERTHAUS AVENUE ORMOND BEACH, FL 32174

PROJECT No: 130806
FIELD WORK BY: WSH
DATE: 14/11/14
OFFICE WORK BY: AM, WSH
DATE: 4/11/14
FIELD BOOK - PAGE: 52-26
SCALE: 1" = 30'
DRAWING FILE:

26B-144



FLOOD ZONE "X"
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 CIVIL ENGINEERING-SURVEYING-LANDSCAPE ARCHITECTURE
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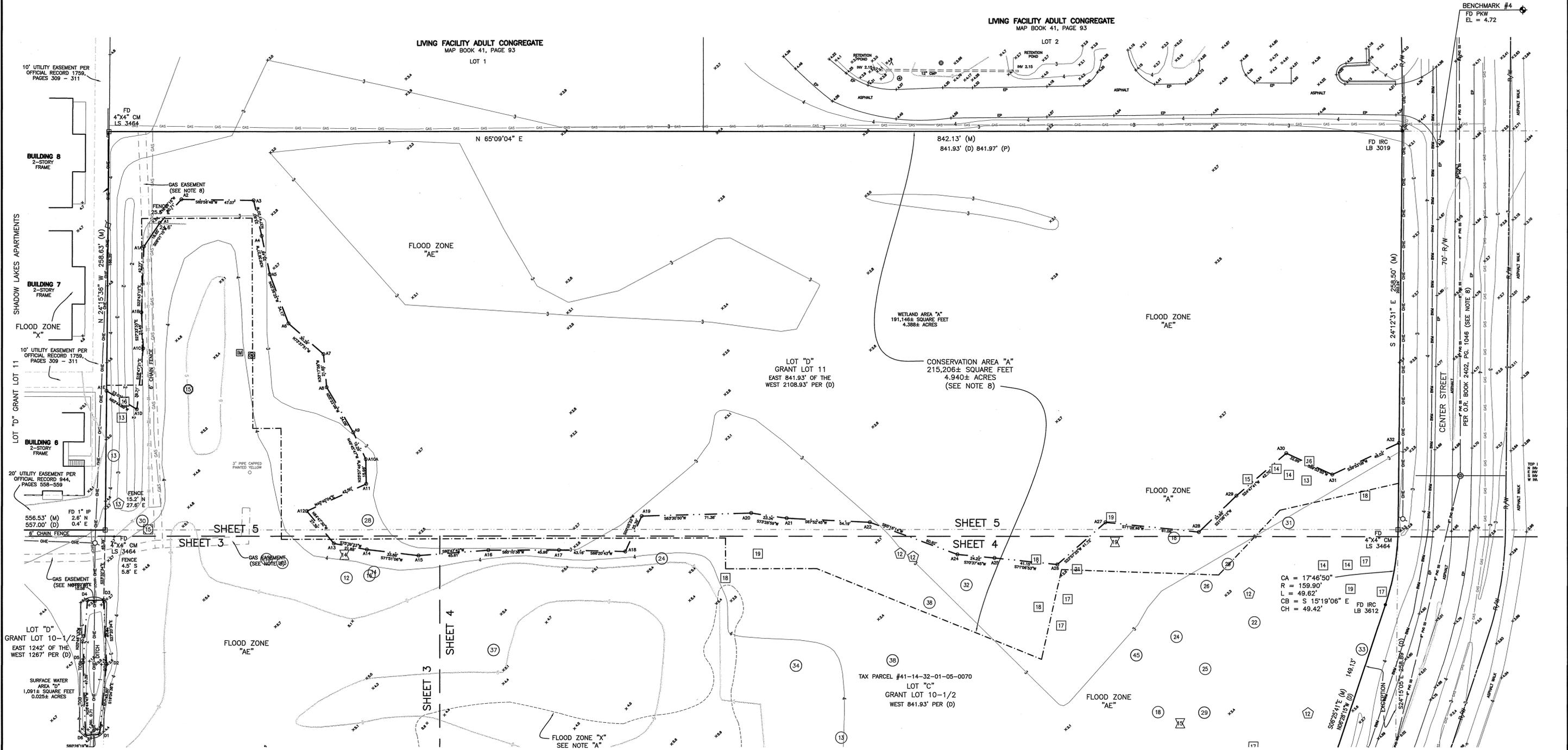
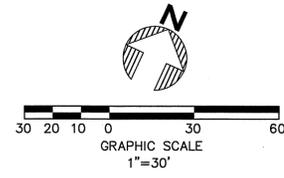
THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 30 FEET OR SMALLER. ANY USE OF THIS FILE AT A SCALE LARGER THAN STATED SHALL BE AT THE USER'S OWN RISK.

SEE SHEET 6 OF 6 FOR SURVEYOR SIGNATURE

SURVEY MAP

THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE REPORT

TYPE OF SURVEY:	BOUNDARY, TOPOGRAPHIC & SPECIAL PURPOSE
MAP SUBJECT:	ORMOND KING CENTER
ADDRESS:	555 & 875 STERTHAUS AVENUE ORMOND BEACH, FL 32174
PROJECT No:	130906
FIELD WORK BY:	WSH
DATE:	4/11/14
OFFICE WORK BY:	AM, WSH
DATE:	4/11/14
FIELD BOOK - PAGE:	52-26
SCALE:	1" = 30'
DRAWING FILE:	26B-144



FLOOD ZONE "X"
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FLOODZONE "X"
NOTE "B"
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PROJECT No: 130906	THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE REPORT	TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC & SPECIAL PURPOSE	SURVEY MAP
FIELD WORK BY: WSH DATE: 4/11/2014	THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 30 FEET OR SMALLER. ANY USE OF THIS FILE AT A SCALE LARGER THAN STATED SHALL BE AT THE USER'S OWN RISK.	MAP SUBJECT: ORMOND KING CENTER	
OFFICE WORK BY: AM_WSH DATE: 4/11/2014	SEE SHEET 6 OF 6 FOR SURVEYOR SIGNATURE	ADDRESS: 555 & 875 STERTHAUS AVENUE ORMOND BEACH, FL. 32174	DRAWING FILE: 26B-144
FIELD BOOK - PAGE: 52-26 SCALE: 1"=30'		<p>CIVIL ENGINEERING-SURVEYING-LANDSCAPE ARCHITECTURE 265 Kenilworth Avenue • Ormond Beach • Florida 32174 Voice: 386.672.9515 • Fax: 386.673.6554 • uphaminc.com LB # 0003612 LC # 0000357</p>	

LEGAL DESCRIPTION:

LOT "D", OF GRANT LOT 10-12, EXCEPT THE WESTERLY 1267 FEET THEREOF, ASSESSOR'S SUBDIVISION OF THE HENRY YOUNG GRANT, OF RECORD IN MAP BOOK 2, PAGE 118, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; AND

THE EASTERLY 1242 FEET OF THE WESTERLY 1267 FEET THE NORTHERLY 223 FEET OF LOT "F", GRANT LOT 10, AND THE EASTERLY 1242 FEET OF THE WESTERLY 1267 FEET OF LOT "D", GRANT LOT 10-12, ASSESSOR'S SUBDIVISION OF THE HENRY YOUNG GRANT, ALSO KNOWN AS THE HENRY YOUNG GRANT, AS PER MAP IN MAP BOOK 2, PAGE 118, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; AND

THE EASTERLY 35 FEET OF THE WESTERLY 1302 FEET OF LOT "F", GRANT LOT 10, ASSESSOR'S SUBDIVISION OF THE HENRY YOUNG GRANT, RECORDED IN MAP BOOK 2, PAGE 118, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, EXCEPTING THEREFROM, THE SOUTHERLY 35 FEET THEREOF IN STERTHAUS AVENUE; AND

EASTERLY 841.93 FEET OF THE WESTERLY 2108.93 FEET OF LOT "D", GRANT LOT 11, AND THE WESTERLY 841.93 FEET OF LOT "C", GRANT LOT 10-12, ASSESSOR'S MAP OF THE HENRY YOUNG GRANT, ACCORDING TO A PLAT RECORDED IN MAP BOOK 2, PAGE 118 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, LESS AND EXCEPT:

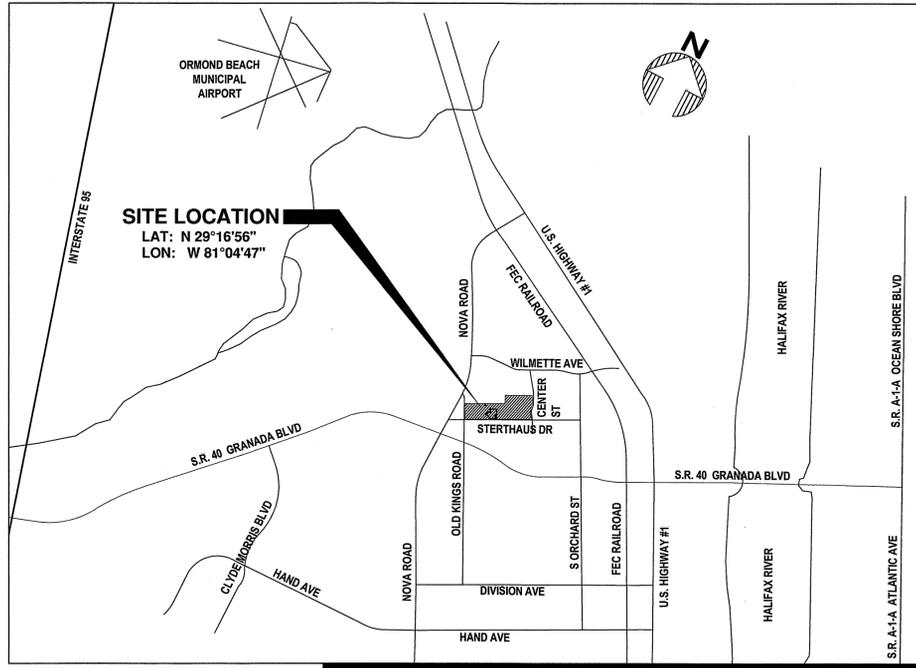
A PORTION OF LOT "C", GRANT LOT 10-12, ASSESSOR'S SUBDIVISION OF THE HENRY YOUNG GRANT, RECORDED IN MAP BOOK 2, PAGE 118, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF GRANT LOT 10, SAID ASSESSOR'S SUBDIVISION OF THE HENRY YOUNG GRANT, RUN NORTH 65°12'03" EAST ALONG THE SOUTH LINE OF SAID GRANT LOT 10 A DISTANCE OF 2178.96 FEET; THENCE DEPARTING SAID LINE, RUN NORTH 24°15'05" WEST A DISTANCE OF 35.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF STERTHAUS DRIVE, A 50 FOOT RIGHT-OF-WAY; THENCE SOUTH 65°12'03" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 101.30 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, RUN NORTH 24°15'05" WEST A DISTANCE OF 5.96 FEET TO THE P.C. OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 372.90 FEET AND A CENTRAL ANGLE OF 12°38'08"; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 82.24 FEET; THENCE NORTH 37°28'05" WEST A DISTANCE OF 75.00 FEET TO THE P.C. OF A CURVE, CONCAVE NORTHEAST, HAVING A RADIUS OF 247.03 FEET, A CENTRAL ANGLE OF 14°44'44" AND A CHORD BEARING OF NORTH 30°03'43" WEST; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 63.58 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 247.03 FEET, A CENTRAL ANGLE OF 16°13'06" AND A CHORD BEARING OF NORTH 14°34'48" WEST; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 69.93 FEET; THENCE NORTH 08°28'15" WEST A DISTANCE OF 148.13 FEET TO THE P.C. OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 159.90 FEET AND A CENTRAL ANGLE OF 17°46'50"; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 49.82 FEET TO THE WESTERLY LINE OF CENTER STREET, A 70 FOOT RIGHT-OF-WAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 2402, PAGE 1046, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE SOUTH 24°15'05" EAST ALONG SAID WESTERLY LINE A DISTANCE OF 258.89 FEET; THENCE DEPARTING SAID LINE RUN SOUTH 65°10'36" WEST A DISTANCE OF 64.89 FEET TO THE POINT OF BEGINNING; AND

THAT PORTION OF LOT "F", GRANT LOT 10, ASSESSOR'S SUBDIVISION OF THE HENRY YOUNG GRANT, AS PER MAP RECORDED IN MAP BOOK 2, PAGE 118, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, LYING WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF CENTER STREET, A 70 FEET RIGHT-OF-WAY, AS RECORDED IN OFFICIAL RECORDS BOOK 2402, PAGE 1046, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, AND NORTHERLY OF STERTHAUS AVENUE, A 50 FOOT RIGHT-OF-WAY, EXCEPT THE WESTERLY 1302 FEET, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF OLD KINGS ROAD, A 50 FOOT RIGHT-OF-WAY, WITH THE NORTHERLY RIGHT-OF-WAY LINE OF SAID STERTHAUS AVENUE; THENCE NORTH 65°12'03" EAST, ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID STERTHAUS AVENUE, 1276.99 FEET TO THE POINT OF BEGINNING; THENCE NORTH 24°15'46" WEST, 223.56 FEET; THENCE NORTH 65°10'36" EAST, 742.13 FEET TO A POINT ON A CURVE CONCAVE TO THE EAST, BEING THE WESTERLY RIGHT-OF-WAY LINE OF SAID CENTER STREET, SAID CURVE HAVING A RADIUS OF 247.03 FEET, A CENTRAL ANGLE OF 14°44'44" AND A CHORD BEARING AND DISTANCE OF SOUTH 30°03'39" EAST 63.44 FEET; THENCE SOUTHERLY ALONG SAID CURVE 63.58 FEET TO A POINT OF TANGENCY; THENCE SOUTH 37°28'05" EAST 75.00 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 372.90 FEET, AND A CENTRAL ANGLE OF 12°38'08"; THENCE SOUTHERLY ALONG SAID CURVE 82.24 FEET TO A POINT OF TANGENCY; THENCE SOUTH 24°47'57" EAST 5.96 FEET TO THE SAID NORTHERLY RIGHT-OF-WAY LINE OF STERTHAUS AVENUE; THENCE SOUTH 65°12'03" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE 775.48 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PORTION OF THE ABOVE DESCRIBED PROPERTY LYING IN ROAD RIGHT OF WAY.



LOCATION MAP

TREE LEGEND / SYMBOLS / COUNT

SEE LIMITATIONS: 12(F)(1)
ONLY TREES 12" AND GREATER WERE LOCATED

ASH TREE	15	3
BAY TREE	12	1
CEDAR TREE	29	7
HACKBERRY TREE	14	1
MAGNOLIA TREE	13	5
MAPLE TREE	16	6
OAK TREE	36	125
PALM TREE	16	50
PINE TREE	28	62
SWEETGUM TREE	18	19
TOOTHACHE TREE	23	1
TOTAL		287

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REVISIONS
04-28-2014 REVISED TREES DIAMETER ACCORDING TO ARBORIST. FIELD VERIFIED.

GENERAL NOTES AND SURVEY REPORT:

- BEARING STRUCTURE (N 65°12'03" E) ALONG THE SOUTHERLY LINE OF GRANT LOT 10-12, ASSESSOR'S MAP OF THE HENRY YOUNG GRANT, ACCORDING TO A PLAT RECORDED IN MAP BOOK 2, PAGE 118 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. PER TITLE COMMITMENT BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 4189361, DATED DECEMBER 17, 2012, 8:00 a.m., EXHIBIT "A", ALSO RECORDED IN OFFICIAL RECORD BOOK 6818, PAGES 1405 THROUGH 1407, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
- LEGAL DESCRIPTION PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 4189361, DATED DECEMBER 17, 2012, 8:00 a.m., EXHIBIT "A", ALSO RECORDED IN OFFICIAL RECORD BOOK 6818, PAGES 1405 THROUGH 1407, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
- RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS (), WHEN DIFFERS FROM MEASURED.
- FLOOD PLANE CERTIFICATION ACCORDING TO THE FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) F.I.R.M (FEDERAL INSURANCE RATE MAP), COMMUNITY OF CITY OF ORMOND BEACH NUMBER 125136, PANEL NUMBER 12127C0212 J, DATED: FEBRUARY 19, 2014 AND PANEL NUMBER 12127C0214 J, DATED: FEBRUARY 19, 2014. THE PROPERTY APPEARS TO BE FLOOD ZONE "X" AND "AE" THE BASE 100 YEAR FLOOD ELEVATION IS NOT SHOWN.
- ACCURACY STATEMENT: THE EXPECTED ACCURACY OF THE CONTROL TO ESTABLISH THE BOUNDARY OF THE SUBJECT PROPERTY IS: THE CLOSURE OF THE TRAVERSE FOR THIS PROJECT IS : 1 : 563,000
- DATA SOURCES:
VERTICAL DATA:
ELEVATIONS REFER TO (NAVD 88) NORTH AMERICAN VERTICAL DATUM 1988. FEET AND DECIMAL PART THEREOF.
BENCHMARK REFERENCE NAVD DATUM OF 1988. BENCHMARK, DESIGNATION IS CITY OF ORMOND BEACH HV MONUMENT (UPHAM) ELEVATION 4.88 FEET.
A.) BENCHMARK #1 FOUND 4"x4" CONCRETE MONUMENT NO ID ELEVATION = 9.08
B.) BENCHMARK #2 FOUND IRON ROD & CAP LB4335 ELEVATION = 9.90
C.) BENCHMARK #3 FOUND PARKER KALON NAIL & DISK EPIRO ELEVATION = 3.81
D.) BENCHMARK #4 SET PARKER KALON NAIL & DISK NO ID ELEVATION = 4.72
- MEASUREMENT METHODS: HORIZONTAL AND VERTICAL MEASURES MADE BY ONE OR MORE OF THE FOLLOWING INSTRUMENTS: TOPCON INSTRUMENTS GPT-3003W, SOKKIA GRX-1 GPS INSTRUMENTS, PAL-2 LUPKIN STEEL TAPE, CST STEEL TAPE, STEEL HIGHWAY CHAIN, CST & LUPKIN FIBERGLASS TAPE FOR DIMENSIONS FOR BUILDINGS.
- HISTORY REFERENCE TO PREVIOUS SURVEY OR HELPER SURVEYS:
A.) UPHAM INC., BOUNDARY SURVEY FILE 268-141, DATED APRIL 12, 1993.
B.) UPHAM INC., BOUNDARY SURVEY FILE 268-132C, DATED JANUARY 24, 1999.
C.) UPHAM INC., SPECIAL PURPOSE SURVEY FILE 268-131, DATED MAY 4, 1998.
D.) UPHAM INC., CIVIL ENGINEERING DRAWING, OVERALL PLAN, PROJECT 930111, DATED JUNE 9, 1993.
- LINEAGE OF DATA HORIZONTAL DATA REFERENCES, DATE OF ORIGINAL PLAT.
A.) MAP OF HENRY YOUNG, AS RECORDED IN MAP BOOK 2, PAGE 118, ALSO RECORDED IN MAP BOOK 12, PAGE 24, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
B.) MEMORIAL CIRCLE MEDICAL CENTER, AS RECORDED IN MAP BOOK 31, PAGE 6, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
C.) ADULT CONGREGATE LIVING FACILITY, AS RECORDED IN MAP BOOK 41, PAGES 83 & 94, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
- UNDERGROUND UTILITIES NOT LOCATED AND NOT SHOWN.
- WETLANDS LINES REVIEWED AND APPROVED FOR FORMAL WETLAND DETERMINATION BY SJRWMD REPRESENTATIVES, NANETTE CHURCH AND ELOIS LINDSEY, ON MARCH 11, 2014
- TITLE INFORMATION PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 4189361, DATED DECEMBER 17, 2012, 8:00 a.m.
SCHEDULE B, SECTION 2:
ITEMS:
6. STATE ROAD RIGHT OF WAY RESERVED UNTO THE STATE OF FLORIDA IN THE DEED NO. 1336 FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND, DATED AUGUST 11, 1943, RECORDED SEPTEMBER 8, 1943 IN DEED BOOK 306, PAGE 178; AS AFFECTED BY AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 2616, PAGE 193, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR.
7. EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN DEED BOOK 446, PAGE 22, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
8. EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN DEED BOOK 446, PAGE 27, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
9. RESTRICTIVE COVENANTS AS SET FORTH IN THAT CERTAIN DEED RECORDED IN OFFICIAL RECORDS BOOK 441, PAGE 352, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
10. EASEMENT DEED TO FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 931, PAGE 108, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
11. EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 3157, PAGE 1324, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. PLOTTED ON SURVEY AS SHOWN
12. EASEMENT DEED TO THE CITY OF ORMOND BEACH RECORDED IN OFFICIAL RECORDS BOOK 3454, PAGE 910, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. PLOTTED ON SURVEY AS SHOWN
13. DEED OF CONSERVATION EASEMENT TO THE CITY OF ORMOND BEACH RECORDED IN OFFICIAL RECORDS BOOK 3862, PAGE 1552, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
14. DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 3862, PAGE 1558, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
15. UNITY OF TITLE AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 3862, PAGE 1563, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
16. EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 3924, PAGE 4311, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
17. GRANT OF NON-EXCLUSIVE UTILITY EASEMENT TO PEOPLES GAS SYSTEM, A DIVISION OF TAMPA ELECTRIC COMPANY RECORDED IN OFFICIAL RECORDS BOOK 4339, PAGE 678, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
18. CITY OF ORMOND BEACH RESOLUTION NO. 2003-16 RECORDED IN OFFICIAL RECORDS BOOK 5014, PAGE 2531; AND FIRST AMENDED CONDITIONAL USE PERMIT RECORDED IN OFFICIAL RECORDS BOOK 5014, PAGE 2536, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
19. MEMORANDUM OF LEASE WITH VOICESTREAM TAMPA/ORLANDO, INC. RECORDED IN OFFICIAL RECORDS BOOK 5295, PAGE 4580, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. NOT PROVIDED TO THIS SURVEYOR
20. TERMS, COVENANTS, CONDITIONS AND OTHER MATTERS CONTAINED IN ANY UNRECORDED LEASE(S) AND ALL RIGHTS THEREUNDER OF THE LESSEE(S) AND OF ANY PERSON CLAIMING BY, THROUGH OR UNDER THE LESSEE(S) NOT PROVIDED TO THIS SURVEYOR
21. CITY OF ORMOND BEACH ORDINANCE NO. 2009-67, RECORDED DECEMBER 23, 2009, OFFICIAL RECORDS BOOK 6400, PAGE 1773. NOT PROVIDED TO THIS SURVEYOR
22. EASEMENT DEED TO THE CITY OF ORMOND BEACH RECORDED IN OFFICIAL RECORDS BOOK 3146, PAGE 1427, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA. PLOTTED ON SURVEY AS SHOWN.
- LIMITATIONS:
A.) SOME INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY AND OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR PER TITLE INFORMATION PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 4189361, DATED DECEMBER 17, 2012, 8:00 a.m., AS SHOWN. THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. IF LOCATION OF EASEMENTS OR RIGHT-OF-WAY OF RECORD, OTHER THAN THOSE ON RECORD PLATS, IS REQUIRED, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER. PER FLORIDA STATUTES RULE 5J-17.052(2)(b)(4)
B.) IT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THIS SURVEYOR AND THE FIRM, FROM WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. FURTHERMORE, THIS SURVEYOR AND FIRM, DOES NOT ASSUME RESPONSIBILITY AND SHALL NOT BE LIABLE FOR CLAIMS ARISING FROM ERRONEOUS OR INCORRECT INFORMATION FURNISHED BY THE OWNER, LENDER, OR OWNERS CONTRACTORS OR OTHERS, WHICH IS USED AS A BASIS TO FORMULATE THIS SURVEYOR'S OPINION.
C.) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY. PER FLORIDA STATUTES CHAPTER RULE 5J-17.051(3)(b)(6)
D.) THE ACCEPTANCE OF THIS SURVEY AS CERTIFIED FOR THE EXCLUSIVE USE OF NAMES SHOWN HEREON SHALL CONSTITUTE FULFILLMENT OF MY CONTRACTUAL OBLIGATION. ADDITIONAL SEALED ORIGINALS MAY BE PURCHASED UP TO SIX MONTHS AFTER THE DATE OF THE INVOICE. "ORIGINAL" AS DEFINED HEREON REFERS TO THE SIGNED AND SEALED GRAPHIC REPRESENTATION OF THE FIELD SURVEY. CAD FILES ARE NOT THE SURVEY AND THERE WILL BE A SURCHARGE FOR THEM.
E.) TAX PARCEL IDENTIFICATION NUMBERS, ADJACENT OWNERS NAMES AND ADDRESS WHEN SHOWN SHOWN IS EITHER SUPPLIED BY CLIENT AND/OR TAKEN FROM COUNTY APPRAISER'S INTERNET WEB PAGE AND MAY NOT BE THE MOST CURRENT.
F.) SPECIAL PURPOSE SURVEYS WHEN IDENTIFIED AS TYPE OF SURVEY:
1.) WHEN TREES AS SHOWN ON THE SURVEY IT IS FOR THE LOCATION OF THE TREES 12" INCHES DIAMETER AND ABOVE TREES TAKEN APPROXIMATELY 4 TO 4-1/2 FEET ABOVE GROUND LEVEL. TREE IDENTIFICATION OTHER THAN LOCATION AND SIZE. SEE AN ARBORIST.
2.) JURISDICTIONAL WETLANDS SHOWN WERE LOCATED FROM FLAGSMARKS BY JOE YOUNG BIOLOGIST / ENVIRONMENTALIST ON 03/11/2014 AND ST. JOHNS RIVER WATER MANAGEMENT APPROVED AND THE DETERMINATION OF WETLANDS ARE OUT OF THE EXPERTISE OF THIS SURVEYOR AND MAPPER.
3.) ARCHAEOLOGICAL FEATURES WHEN SHOWN WERE LOCATED FROM OBJECTS IDENTIFIED BY OTHERS AND THE DETERMINATION OF WHAT CONSTITUTES A ARCHAEOLOGICAL FEATURES IS OUT OF THE EXPERTISE OF THIS SURVEYOR AND MAPPER.
4.) WILDLIFE CORRIDORS OR HABITATS WHEN SHOWN WERE LOCATED FROM OBJECTS IDENTIFIED BY OTHERS AND THE DETERMINATION OF WHAT CONSTITUTES A WILDLIFE CORRIDORS OR HABITATS IS OUT OF THE EXPERTISE OF THIS SURVEYOR AND MAPPER.
5.) GEOTECHNICAL BORINGS SHOWN AS MARKED AND FIELD LOCATED.
G.) AS-BUILT / RECORD SURVEYS WHEN IDENTIFIED AS TYPE OF SURVEY:
1.) WHEN UNDERGROUND UTILITIES, SUCH AS UNDERGROUND CABLES, GAS MAINS, WATER MAINS, SANITARY SEWER SYSTEMS AND STORM COLLECTIONS SYSTEMS ARE SHOWN. THE LIMITS OF THIS SURVEY INCLUDE VISIBLE STRUCTURES / IMPROVEMENTS IN COMBINATION WITH AS-BUILT / RECORD DRAWINGS SUPPLIED BY OTHERS.
2.) WHEN THE PERCENTAGE OF SLOPES ARE SHOWN IT IS BASED ON THE INVERTS BETWEEN VISIBLE STRUCTURES. THIS SURVEY DOES NOT INCLUDE VIDEO PIPELINE INSPECTIONS. VERIFICATION OF LINE OF SITE HAS NOT BEEN VERIFIED. THIS SURVEYOR SUGGESTS VIDEO PIPELINE INSPECTION BY A PROFESSIONALS PROVIDING SERVICE OF THAT SPECIALTY
3.) THIS SURVEYOR SUGGESTS VIDEO PIPELINE INSPECTION BY A PROFESSIONAL PROVIDING SERVICE OF THAT SPECIALTY.
- TOPOGRAPHIC SURVEY:
1.) CONTOURS ARE ON ONE FOOT INTERVALS, INTERPOLATED BETWEEN 125 FOOT GRIDS, VISIBLE GRADE BREAKS, ALONG WITH RANDOM GROUND / ELEVATIONS.
2.) OFFSITE TOPOGRAPHIC INFORMATION SHOWN IS BASED ON THE REQUEST BY THE CLIENT AND OR THE CLIENTS AGENT, BEING AN ARCHITECT OR ENGINEER.

REVISIONS TO SHOW WETLAND AS LOCATED, LOCATE 17 TREES AND ABOVE AND SHOW NEW FLOODZONE INFORMATION 08/12/2014

ABBREVIATIONS / LEGEND:

AC	AREAS CALCULATED	FL	FLORIDA IDENTIFICATION	OT	OVERHEAD TELEPHONE LINE
AD	ADJUSTED	IN	INVERT	PE	PARKER KALON NAIL & BRASS DISK
CB	CHORD BEARING	LI	LICENSED BUSINESS	PC	PVC
CD	CHORD DISTANCE	LU	LINEAL FEET	PD	POST OFFICE REFERENCE MONUMENT
CE	CARE OF	LN	LINEAL FEET	PO	P.O.
CF	CARE OF	LP	LINEAL FEET	PP	RECORDED CONCRETE PIPE
CG	CARE OF	LR	LINEAL FEET	RP	RECORDED CONCRETE PIPE
CH	CHORD BEARING	LS	LINEAL FEET	RT	RIGHT-OF-WAY
CI	CARE OF	LT	LINEAL FEET	RW	RIGHT-OF-WAY
CL	CARE OF	LV	LINEAL FEET	RS	STATE ROAD
CM	CARE OF	LV	LINEAL FEET	S.S.	SURVEYOR'S SIGNATURE
CO	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CP	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CR	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CS	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CT	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CU	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CV	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CW	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CX	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CA	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CB	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CC	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CD	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CE	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CF	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CG	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CH	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CI	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CJ	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CK	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CL	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CM	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CN	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CO	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CP	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CQ	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CR	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CS	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CT	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CU	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CV	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CW	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CX	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CA	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CB	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CC	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CD	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CE	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CF	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CG	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CH	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CI	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CJ	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CK	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CL	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CM	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CN	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CO	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CP	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CQ	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CR	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CS	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CT	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CU	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CV	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CW	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CX	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CA	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CB	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CC	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CD	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CE	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CF	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CG	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CH	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CI	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CJ	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CK	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CL	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CM	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CN	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CO	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CP	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CQ	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CR	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CS	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CT	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CU	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CV	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CW	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CX	CARE OF	LV	LINEAL FEET	SW	STATE ROAD
CA					

ORMOND RENAISSANCE A CONDOMINIUM

A PORTION LOT D, OF GRANT LOT 10-1/2, A PORTION OF LOT F, GRANT LOT 10, PORTION OF LOT D OF GRANT LOT 11, AND A PORTION OF GRANT LOT C OF GRANT LOT 10-1/2 ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT RECORDED IN MAP BOOK 2, PAGE 118, IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA

LEGAL DESCRIPTION:

LOT "D", OF GRANT LOT 10-1/2, EXCEPT THE WESTERLY 1267 FEET THEREOF, ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT, OF RECORD IN MAP BOOK 2, PAGE 118, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; AND

THE EASTERLY 1242 FEET OF THE WESTERLY 1267 FEET THE NORTHERLY 223 FEET OF LOT "F", GRANT LOT 10, AND THE EASTERLY 1242 FEET OF THE WESTERLY 1267 FEET OF LOT "D", GRANT LOT 10-1/2, ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT, ALSO KNOWN AS THE HENRY YONGE GRANT, AS PER MAP IN MAP BOOK 2, PAGE 118, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; AND

THE EASTERLY 35 FEET OF THE WESTERLY 1302 FEET OF LOT "F", GRANT LOT 10, ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT, RECORDED IN MAP BOOK 2, PAGE 118, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, EXCEPTING THEREFROM, THE SOUTHERLY 35 FEET THEREOF IN STERTHAUS AVENUE; AND

EASTERLY 841.93 FEET OF THE WESTERLY 2108.93 FEET OF LOT "D", GRANT LOT 11, AND THE WESTERLY 841.93 FEET OF LOT "C", GRANT LOT 10-1/2, ASSESSOR'S MAP OF THE HENRY YONGE GRANT, ACCORDING TO A PLAT RECORDED IN MAP BOOK 2, PAGE 118 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, LESS AND EXCEPT:

A PORTION OF LOT "C", GRANT LOT 10-1/2, ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT, RECORDED IN MAP BOOK 2, PAGE 118, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF GRANT LOT 10, SAID ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT, RUN NORTH 65°12'03" EAST ALONG THE SOUTH LINE OF SAID GRANT LOT 10 A DISTANCE OF 2178.96 FEET; THENCE DEPARTING SAID LINE, RUN NORTH 24°19'05" WEST A DISTANCE OF 35.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF STERTHAUS DRIVE, A 50 FOOT RIGHT-OF-WAY; THENCE SOUTH 65°12'03" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 101.50 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, RUN NORTH 24°47'57" WEST A DISTANCE OF 5.96 FEET TO THE P.C. OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 372.90 FEET AND A CENTRAL ANGLE OF 12°38'08"; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 82.24 FEET; THENCE NORTH 37°26'05" WEST A DISTANCE OF 75.00 FEET TO THE P.C. OF A CURVE, CONCAVE NORTHEAST, HAVING A RADIUS OF 247.03 FEET, A CENTRAL ANGLE OF 14°44'44" AND A CHORD BEARING OF NORTH 30°03'39" WEST; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 63.88 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 247.03 FEET, A CENTRAL ANGLE OF 16°13'06" AND A CHORD BEARING OF NORTH 14°34'48" WEST; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 69.93 FEET; THENCE NORTH 08°28'15" WEST A DISTANCE OF 148.13 FEET TO THE P.C. OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 159.90 FEET AND A CENTRAL ANGLE OF 17°48'50"; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 48.62 FEET TO THE WESTERLY LINE OF CENTER STREET, A 70 FOOT RIGHT-OF-WAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 2402, PAGE 1046, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE SOUTH 24°15'05" EAST ALONG SAID WESTERLY LINE A DISTANCE OF 258.89 FEET; THENCE DEPARTING SAID LINE RUN SOUTH 65°10'36" WEST A DISTANCE OF 64.89 FEET TO THE POINT OF BEGINNING; AND

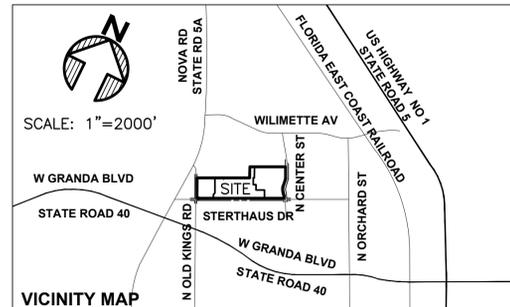
THAT PORTION OF LOT "F", GRANT LOT 10, ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT, AS PER MAP RECORDED IN MAP BOOK 2, PAGE 118, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, LYING WESTERLY OF THE WESTERLY RIGHT-OF-WAY LINE OF CENTER STREET, A 70 FEET RIGHT-OF-WAY, AS RECORDED IN OFFICIAL RECORDS BOOK 2402, PAGE 1046, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, AND NORTHERLY OF STERTHAUS AVENUE, A 50 FOOT RIGHT-OF-WAY, EXCEPT THE WESTERLY 1302 FEET, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF OLD KINGS ROAD, A 50 FOOT RIGHT-OF-WAY, WITH THE NORTHERLY RIGHT-OF-WAY LINE OF SAID STERTHAUS AVENUE; THENCE NORTH 65°12'03" EAST, ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID STERTHAUS AVENUE, 1278.99 FEET TO THE POINT OF BEGINNING; THENCE NORTH 24°15'46" WEST, 223.56 FEET; THENCE NORTH 65°10'36" EAST, 142.13 FEET TO A POINT ON A CURVE CONCAVE TO THE EAST, BEING THE WESTERLY RIGHT-OF-WAY LINE OF SAID CENTER STREET, SAID CURVE HAVING A RADIUS OF 247.03 FEET, A CENTRAL ANGLE OF 14°44'44" AND A CHORD BEARING AND DISTANCE OF SOUTH 30°03'39" EAST 63.41 FEET; THENCE SOUTHERLY ALONG SAID CURVE 63.58 FEET TO A POINT OF TANGENCY; THENCE SOUTH 37°26'05" EAST 75.00 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 372.90 FEET, AND A CENTRAL ANGLE OF 12°38'08"; THENCE SOUTHERLY ALONG SAID CURVE 82.24 FEET TO A POINT OF TANGENCY; THENCE SOUTH 24°47'57" EAST 5.96 FEET TO THE SAID NORTHERLY RIGHT-OF-WAY LINE OF STERTHAUS AVENUE; THENCE SOUTH 65°12'03" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE 775.48 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PORTION OF THE ABOVE DESCRIBED PROPERTY LYING IN ROAD RIGHT OF WAY.

GENERAL NOTES

- DENOTES PERMANENT REFERENCE MONUMENT (PRM) SET 4" X 4" CONCRETE MONUMENT WITH BRASS DISK STAMPED LB 3612, PRM.
 DENOTES PERMANENT CONTROL POINT (PCP) PK/MAG NAIL AND BRASS DISK "LB 3612 PCP".
IRON ROD AND CAP LB#3612
- DIMENSIONS ARE SHOWN IN FEET AND DECIMALS PARTS THEREOF. CONVERSION TO ONE METER = 39.37 INCHES / 1.2 = 3.280833333333 FEET.
- NOTE: ALL MEASUREMENTS REFER TO THE HORIZONTAL PLANE IN ACCORDANCE WITH THE DEFINITION OF THE U. S. SURVEY FOOT AND/OR METER ADOPTED BY THE NATIONAL INSTITUTE OF STANDARD AND TECHNOLOGY.
- ACCURACY: THE BOUNDARY LINEAR ERROR OF CLOSURE DOES NOT EXCEED 1:10,000. THE BOUNDARY ANGULAR ERROR OF CLOSURE DOES NOT EXCEED 15 SECONDS MULTIPLIED BY THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.
- BEARING STRUCTURE (N 65°12'03" E) ALONG THE SOUTHERLY LINE OF GRANT LOT 10-1/2, ASSESSOR'S MAP OF THE HENRY YONGE GRANT AS RECORDED IN OFFICIAL RECORDS BOOK 6818, PAGES 1405 THROUGH 1407, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
- ALL LOT LINES ARE RADIAL UNLESS SHOWN OTHERWISE. (NR) NON-RADIAL LINE RELATIVE TO CURVES.
- UTILITY EASEMENTS ON THIS PLAT INCLUDES EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED HOWEVER NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY.
- THE TERM "UTILITIES" AS USED ON THIS PLAT SHALL INCLUDE, BUT NOT BE LIMITED TO SEWER, SECURITY, TELEPHONE, TELECOMMUNICATIONS, ELECTRIC, TELEVISION SYSTEMS, POTABLE WATER, RECLAIMED WATER AND DRAINAGE STRUCTURES.
- STATE PLANE COORDINATES SHOWN ARE GRID, NAD 83 (1990 ADJUSTMENT) FLORIDA EAST ZONE.
- THIS PROPERTY SHOWN ON THIS PLAT IS SUBJECT TO THE COVENANTS CONDITIONS, RESTRICTIONS AND EASEMENTS OF THE ORMOND RENAISSANCE A CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.



LEGEND

CA...CENTRAL OR DELTA ANGLE
L ... LENGTH
R ... RADIUS
CH ... CHORD DISTANCE
CB...CHORD BEARING
IP ... 5/8" IRON ROD AND CAP LB 3612
PRM...PERMANENT REFERENCE MONUMENT
POB...POINT OF BEGINNING

OR...OFFICIAL RECORD
PG...PAGE
RW...RIGHT-OF-WAY
 CM CONCRETE MONUMENT
 PERMANENT CONTROL POINT

PREPARED BY:

UPHAM
CIVIL ENGINEERING SURVEYING & LANDSCAPE ARCHITECTURE
265 Kenilworth Avenue • Ormond Beach, Florida 32174
Voice: 386.672.9515 • Fax: 386.673.6554 • uphaminc.com
LB # 0003612 LC # 0000357

NOTICE: THIS PLAT AS RECORDED IN ITS GRAPHIC FORM IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AN WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

CERTIFICATE OF CLERK
I HEREBY CERTIFY THAT I HAVE EXAMINED THE FOREGOING PLAT AND FOUND THAT IT COMPLIES, IN FORM, WITH ALL REQUIREMENTS STATED IN CHAPTER 177, FLORIDA STATUTES, AND THAT IT WAS FILED FOR RECORD ON _____

CLERK OF CIRCUIT COURT
VOLUSIA COUNTY, FLORIDA _____ AT _____ A.M./P.M.

CERTIFICATE OF SURVEYOR AND MAPPER
KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A LICENSED AND PROFESSIONAL SURVEYOR AND MAPPER, DOES HEREBY CERTIFY THAT ON _____ THE SURVEY WAS COMPLETED OF THE LANDS AS SHOWN ON THE FOREGOING PLAT ENTITLED ORMOND RENAISSANCE A CONDOMINIUM; THAT SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS THEREIN DESCRIBED AND PLATTED; THAT SAID PLAT WAS PREPARED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THE SURVEY DATA COMPLIES WITH ALL OF THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND THAT SAID LAND IS LOCATED IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA.

WILLIAM S HART, FLORIDA PROFESSIONAL SURVEYOR & MAPPER # 3905 DATE: _____

REVIEW BY CITY'S SURVEYOR AND MAPPER
I HEREBY CERTIFY THAT I HAVE EXAMINED THE FOREGOING PLAT AND FIND THAT IT CONFORMS TO CHAPTER 177, FLORIDA STATUTES.

REVIEW SURVEYOR _____ DATE: _____
FLORIDA PROFESSIONAL SURVEYOR & MAPPER # _____

MAP BOOK PAGE

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT ORMOND KING CENTER, LLC A FLORIDA LIMITED LIABILITY COMPANY REFERRED TO HERON AS ORMOND KING CENTER, LLC, BEING THE OWNER IN FEE SIMPLE OF THE LANDS SHOWN AND DESCRIBED HEREIN AS THE PLAT ENTITLED "ORMOND RENAISSANCE A CONDOMINIUM" LOCATED IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, DOES HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES HEREIN EXPRESSED, AND DEDICATES EASEMENTS SHOWN HEREIN CONSERVATION, AND UTILITY EASEMENTS SHOWN HEREIN TO ORMOND KING RENAISSANCE LLC, CONSERVATION, AND UTILITY PURPOSES PERMITTED BY THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF ORMOND RENAISSANCE A CONDOMINIUM, RECORDED IN THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, AS MAY BE AMENDED AND CONSISTENT WITH THE REQUIREMENTS OF THE ORMOND RENAISSANCE A CONDOMINIUM ASSOCIATION, INC A FLORIDA NOT FOR PROFIT CORPORATION REFER TO HERON AS ORMOND RENAISSANCE A CONDOMINIUM ASSOCIATION INC. AGREEMENT, RECORDED AT OFFICIAL RECORDS BOOK _____, PAGE _____, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY.

ALL CONSERVATION AND UTILITY EASEMENTS SHOWN HEREIN ARE DEEMED TO BE COMMON AREAS AND ARE HEREBY DEDICATED TO THE JOINT USE AND ENJOYMENT OF ALL MEMBERS OF THE ORMOND RENAISSANCE OWNERS' CONDOMINIUM ASSOCIATION, INC., AND SAID ASSOCIATION SHALL BE SOLELY RESPONSIBLE FOR THE MAINTENANCE OF SAID COMMON AREAS.

CONSERVATION EASEMENTS SHALL BE SUBJECT TO THE ENVIRONMENTAL RESTRICTIONS FOUND IN THE CONSERVATION EASEMENT GRANTED TO ST. JOHNS RIVER MANAGEMENT DISTRICT RECORDED THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA AND THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF _____.

EASEMENTS IDENTIFIED AS "____", "____", "____", SHALL BE FOR THE USE OF _____.

ORMOND RENAISSANCE OWNERS' ASSOCIATION, INC. AND THE CITY OF ORMOND BEACH FOR DRAINAGE MAINTANCE, UTILITIES AND ACCESS AS EACH IS DESIGNATED

UTILITY EASEMENTS IDENTIFIED AS "____" AND "____" SHALL BE FOR THE EXCLUSIVE USE OF THE CITY OF ORMOND BEACH UTILITIES FOR WATER, REUSE WATER, SANITARY SEWER AND STORM SEWERS

IN WITNESS WHEREOF, "____" HAS CAUSED THESE PRESENTS TO BE EXECUTED IN IT'S NAME AND IN IT'S CORPORATE SEAL TO BE HEREUNTO AFFIXED BY IT'S OFFICERS THEREUNTO DULY AUTHORIZED ON THIS _____

SIGNED AND SEALED IN _____ DAY OF _____ 2014
THE PRESENCE OF:

BY: _____ BY: _____

PRINTED NAME: _____ PRINTED NAME: _____

BY: _____ BY: _____

PRINTED NAME: _____ PRINTED NAME: _____

STATE OF FLORIDA, COUNTY OF VOLUSIA

THIS IS TO CERTIFY THAT, ON _____ BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED _____ AND _____ AS _____ AND _____ RESPECTIVELY OF ORMOND KING CENTER, LLC, A FLORIDA LIMITED LIABILITY COMPANY.

THEY ARE KNOWN TO ME OR HAVE PRODUCED _____ AS IDENTIFICATION AND THEY (HAVE) _____ (HAVE NOT) _____ TAKEN OATH.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE ABOVE DATE. NOTARY PUBLIC STATE OF FLORIDA AT LARGE MY COMMISSION EXPIRES: _____ TITLE/RANK: COMMISSION NUMBER: _____

JOINER AND CONSENT TO DEDICATION

REUNION BANK OF FLORIDA, A FLORIDA BANKING CORPORATION REFERRED TO HERON AS REUNION BANK OF FLORIDA, HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE, LIEN OR OTHER ENCUMBRANCE UPON THE PROPERTY SHOWN AND DESCRIBED HEREON AS THE PLAT ENTITLED "ORMOND RENAISSANCE A CONDOMINIUM" LOCATED IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA. REUNION BANK OF FLORIDA BANK OF FLORIDA, HEREBY JOINS AND CONSENTS TO THE DEDICATION OF THE LANDS AND PLAT AND AGREES THAT ITS MORTGAGE, LIEN OR OTHER ENCUMBRANCE RECORDED IN OFFICIAL RECORDS BOOK 8929, PAGE 862, OFFICIAL OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE SAID DEDICATION, IN WITNESS WHEREOF, ORMOND KING CENTER, LLC AS CAUSED THESE PRESENTS TO BE EXECUTED IN ITS CORPORATE SEAL TO BE AFFIXED BY ITS DULY

AUTHORIZED OFFICERS THIS _____ DAY _____ OF 2014.

BY: _____

NAME: _____

WITNESS - PRINT NAME TITLE: _____

BY: _____

NAME: _____

WITNESS - PRINT NAME TITLE: _____

CITY COMMISSION CERTIFICATE OF APPROVAL

THIS STATEMENT HEREBY CERTIFIES THAT THE PLAT ENTITLED "ORMOND RENAISSANCE A CONDOMINIUM" WAS APPROVED BY THE ORMOND BEACH CITY COMMISSION ON _____

BY: _____
MAYOR OF THE CITY OF ORMOND BEACH
ED KELLEY, MAYOR

ATTEST: _____
CITY CLERK OF THE CITY OF ORMOND BEACH
J. SCOTT MCKEE, CITY CLERK

CERTIFICATE OF APPROVAL

THIS IS TO CERTIFY THAT ON _____ THIS PLAT WAS APPROVED.

BY: _____
CITY ENGINEER CITY OF ORMOND BEACH
JOHN NOBLE, P.E.

THIS IS TO CERTIFY THAT ON _____ THIS PLAT WAS APPROVED.

BY: _____
CITY ATTORNEY, CITY OF ORMOND BEACH
RANDY HAYES

SHEET 1 OF 4

NO.	DATE	DESCRIPTION	BY

NO. DATE DESCRIPTION BY

UPHAM
CIVIL ENGINEERING SURVEYING & LANDSCAPE ARCHITECTURE
265 Kenilworth Avenue • Ormond Beach • Florida 32174
Voice: 386.672.9515 • Fax: 386.673.6554 • uphaminc.com
LB # 0003612 LC # 0000357

PRELIMINARY RECORD PLAT

**ORMOND RENAISSANCE
A CONDOMINIUM**

ORMOND BEACH VOLUSIA COUNTY

W.O. No.: _____ DATE: OCTOBER 9, 2014

FILE NAME: _____

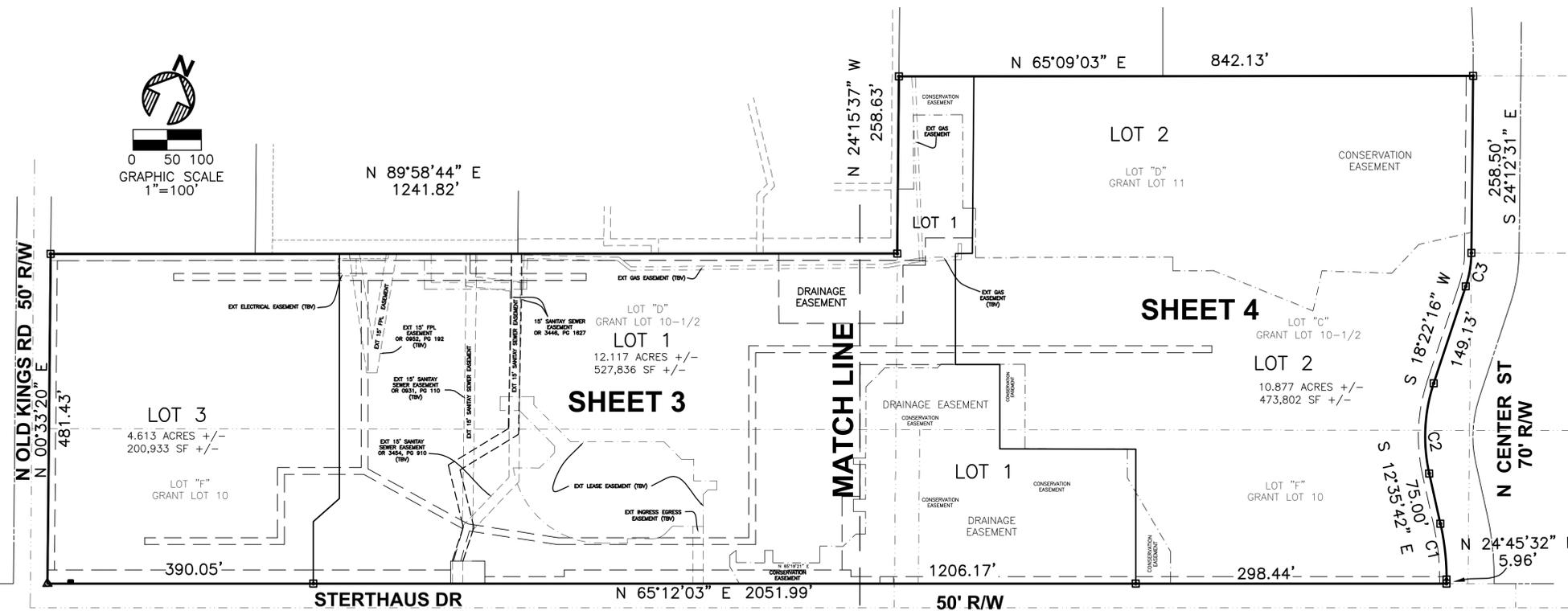
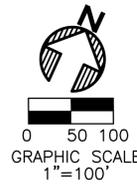
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SCALE: N/A SHEET: 1 OF 4 NOT VALID UNLESS EMBOSSED SEAL

ORMOND RENAISSANCE A CONDOMINIUM

MAP BOOK PAGE

A PORTION LOT D, OF GRANT LOT 10-1/2, A PORTION OF LOT F, GRANT LOT 10, PORTION OF LOT D OF GRANT LOT 11, AND A PORTION OF GRANT LOT C OF GRANT LOT 10-1/2 ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT RECORDED IN MAP BOOK 2, PAGE 118, IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA



KEY MAP
1"=100'

- LEGEND**
- CA...CENTRAL OR DELTA ANGLE
 - L...LENGTH
 - R...RADIUS
 - CH...CHORD DISTANCE
 - CB...CHORD BEARING
 - IP... 5/8" IRON ROD AND CAP LB 3612
 - PRM...PERMANENT REFERENCE MONUMENT
 - POB...POINT OF BEGINNING
 - OR... OFFICIAL RECORDS
 - PG... PAGE
 - FPL... FLORIDA POWER & LIGHT COMPANY
 - EXT... EXISTING
 - TBV... TO BE VACATED
 - OR... OFFICIAL RECORD
 - PG...PAGE
 - RW RIGHT-OF-WAY
 - CM CONCRETE MONUMENT
 - PERMANENT CONTROL POINT

GENERAL NOTES

1. DENOTES PERMANENT REFERENCE MONUMENT (PRM) SET 4" X 4" CONCRETE MONUMENT WITH BRASS DISK STAMPED LB 3612, PRM.
2. DENOTES PERMANENT CONTROL POINT (PCP) PK/MAG NAIL AND BRASS DISK "LB 3612 PCP".
3. DIMENSIONS ARE SHOWN IN FEET AND DECIMALS PARTS THEREOF. CONVERSION TO ONE METER = 39.37 INCHES / 12 = 3.2808333333 FEET.
4. NOTE: ALL MEASUREMENTS REFER TO THE HORIZONTAL PLANE IN ACCORDANCE WITH THE DEFINITION OF THE U. S. SURVEY FOOT AND/OR METER ADOPTED BY THE NATIONAL INSTITUTE OF STANDARD AND TECHNOLOGY.
5. ACCURACY: THE BOUNDARY LINEAR ERROR OF CLOSURE DOES NOT EXCEED 1:10,000. THE BOUNDARY ANGULAR ERROR OF CLOSURE DOES NOT EXCEED 15 SECONDS MULTIPLIED BY THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.
6. BEARING STRUCTURE (N 65°12'03" E) ALONG THE SOUTHERLY LINE OF GRANT LOT 10-1/2, ASSESSOR'S MAP OF THE HENRY YONGE GRANT AS RECORDED IN OFFICIAL RECORDS BOOK 6818, PAGES 1405 THROUGH 1407, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
7. ALL LOT LINES ARE RADIAL UNLESS SHOWN OTHERWISE. (NR) NON-RADIAL LINE RELATIVE TO CURVES.
8. UTILITY EASEMENTS ON THIS PLAT INCLUDES EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED HOWEVER NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY.
9. THE TERM "UTILITIES" AS USED ON THIS PLAT SHALL INCLUDE, BUT NOT BE LIMITED TO SEWER, SECURITY, TELEPHONE, TELECOMMUNICATIONS, ELECTRIC, TELEVISION SYSTEMS, POTABLE WATER, RECLAIMED WATER AND DRAINAGE STRUCTURES.
10. STATE PLANE COORDINATES SHOWN ARE GRID, NAD 83 (1990 ADJUSTMENT) FLORIDA EAST ZONE.

CURVE TABLE

CURVE NO.	CENTRAL ANGLE	RADIUS	LENGTH	CHORD BEARING	CHORD
1	12°38'08"	372.90'	82.24'	S 31°04'35" E	82.07'
2	30°57'58"	247.03'	133.51'	S 21°54'40" E	131.89'
3	17°16'50"	159.90'	49.62'	S 15°19'06" E	49.42'

SHEET 2 OF 4



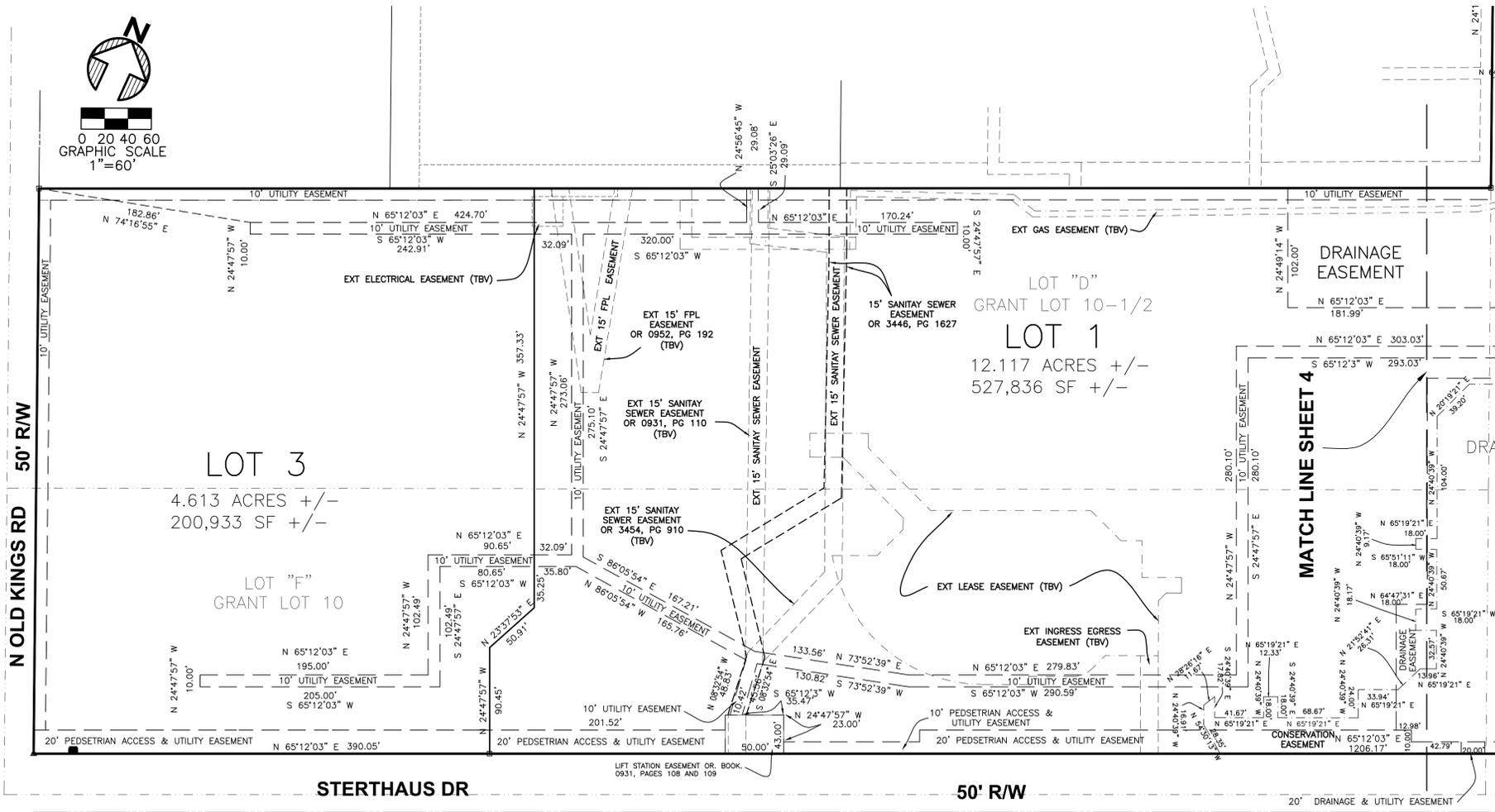
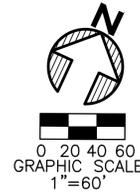
PREPARED BY:

NO.	DATE	DESCRIPTION	BY
REVISIONS			
UPHAM			
CIVIL ENGINEERING-SURVEYING-LANDSCAPE ARCHITECTURE			
265 Kenilworth Avenue • Ormond Beach • Florida 32174			
Phone: 386.672.9515 • Fax: 386.673.6554 • uphaminc.com			
LB # 0003612 LC # 0000357			
PRELIMINARY RECORD PLAT			
ORMOND RENAISSANCE A CONDOMINIUM			
ORMOND BEACH	VOLUSIA COUNTY		
W.O. No.:	DATE: OCTOBER 9, 2014		
FILE NAME:			
DISK No.:	DESIGN: RWS	DRAFT: WSH	CHECK: WSH
SCALE: N/A	SHEET: 2 OF 4		NOT VALID UNLESS EMBOSSED SEAL

ORMOND RENAISSANCE A CONDOMINIUM

MAP BOOK PAGE

A PORTION LOT D, OF GRANT LOT 10-1/2, A PORTION OF LOT F, GRANT LOT 10, PORTION OF LOT D OF GRANT LOT 11, AND A PORTION OF GRANT LOT C OF GRANT LOT 10-1/2 ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT RECORDED IN MAP BOOK 2, PAGE 118, IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA



- LEGEND**
- CA...CENTRAL OR DELTA ANGLE
 - L ... LENGTH
 - R ... RADIUS
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 - IP ... 5/8" IRON ROD AND CAP LB 3612
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 - OR... OFFICIAL RECORDS
 - PG... PAGE
 - FPL... FLORIDA POWER & LIGHT COMPANY
 - EXT... EXISTING
 - TBV... TO BE VACATED
 - OR...OFFICIAL RECORD
 - PG...PAGE
 - RW RIGHT-OF-WAY
 - CM CONCRETE MONUMENT
 - PERMANENT CONTROL POINT



PREPARED BY:

SHEET 3 OF 4

NO.	DATE	DESCRIPTION	BY

UPHAM
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PRELIMINARY RECORD PLAT

**ORMOND RENAISSANCE
A CONDOMINIUM**

ORMOND BEACH VOLUSIA COUNTY

W.O. No.: DATE: OCTOBER 9, 2014

FILE NAME:

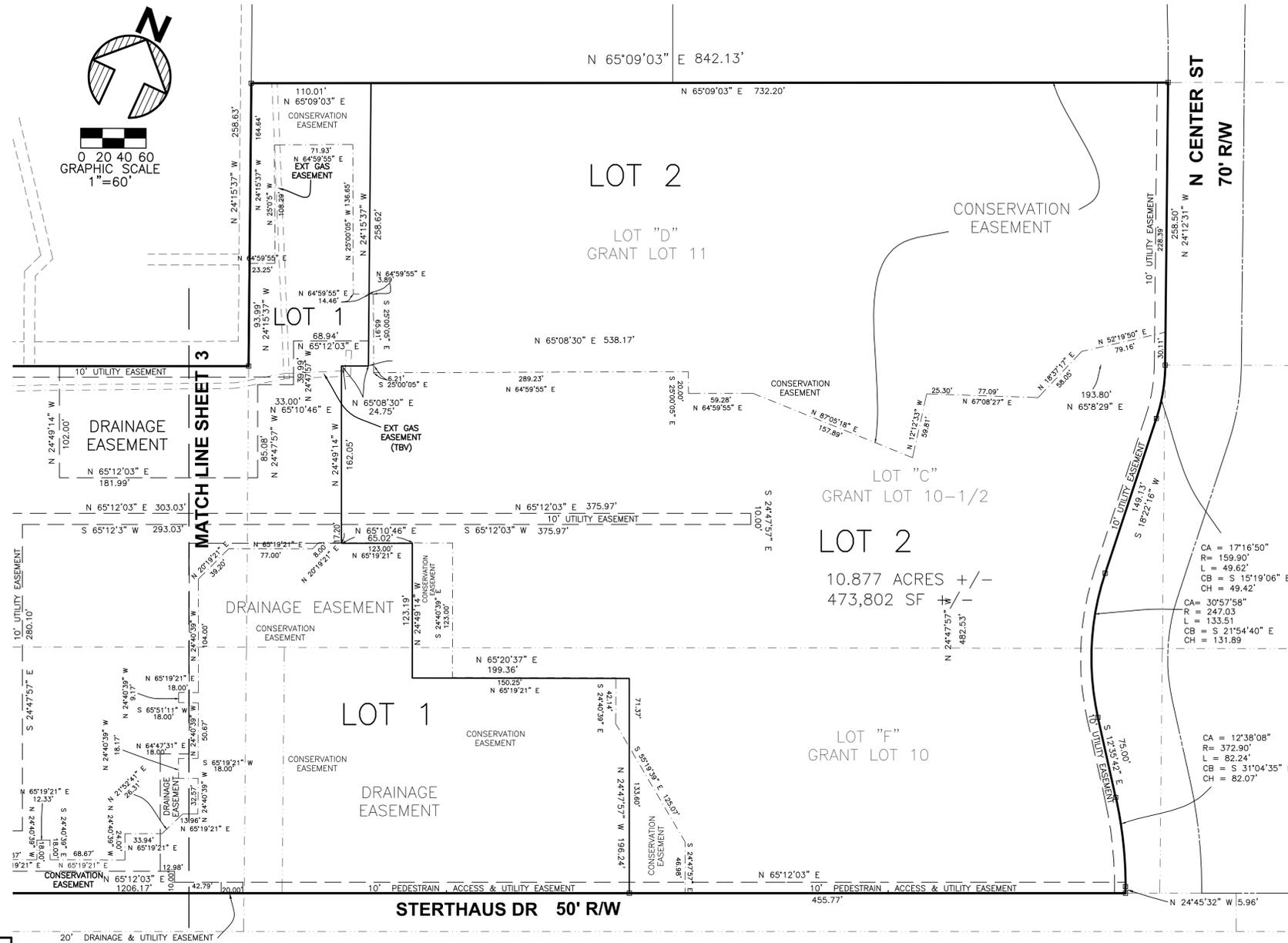
DISK No.: DESIGN: RWS DRAFT: WSH CHECK: WSH

SCALE: N/A SHEET: 3 OF 4 NOT VALID UNLESS EMBOSSED SEAL

ORMOND RENAISSANCE A CONDOMINIUM

MAP BOOK PAGE

A PORTION LOT D, OF GRANT LOT 10-1/2, A PORTION OF LOT F, GRANT LOT 10, PORTION OF LOT D OF GRANT LOT 11, AND A PORTION OF GRANT LOT C OF GRANT LOT 10-1/2 ASSESSOR'S SUBDIVISION OF THE HENRY YONGE GRANT RECORDED IN MAP BOOK 2, PAGE 118, IN THE CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA



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 - CM...CONCRETE MONUMENT
 - △...PERMANENT CONTROL POINT



PREPARED BY:

SHEET 4 OF 4

NO.	DATE	DESCRIPTION	BY

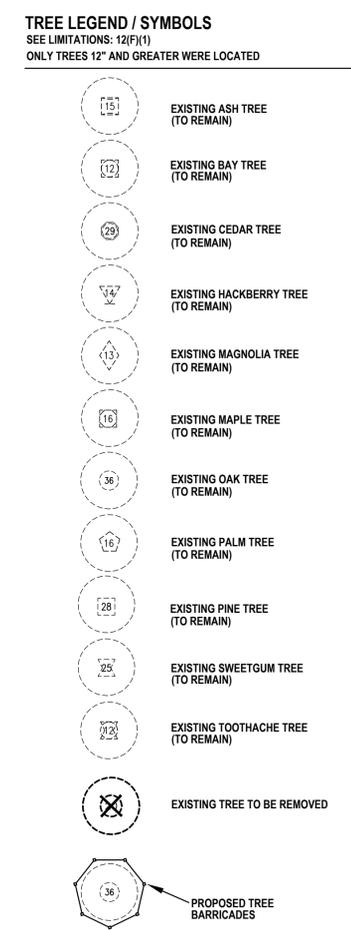
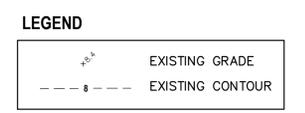
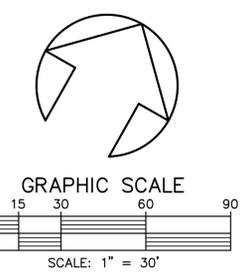
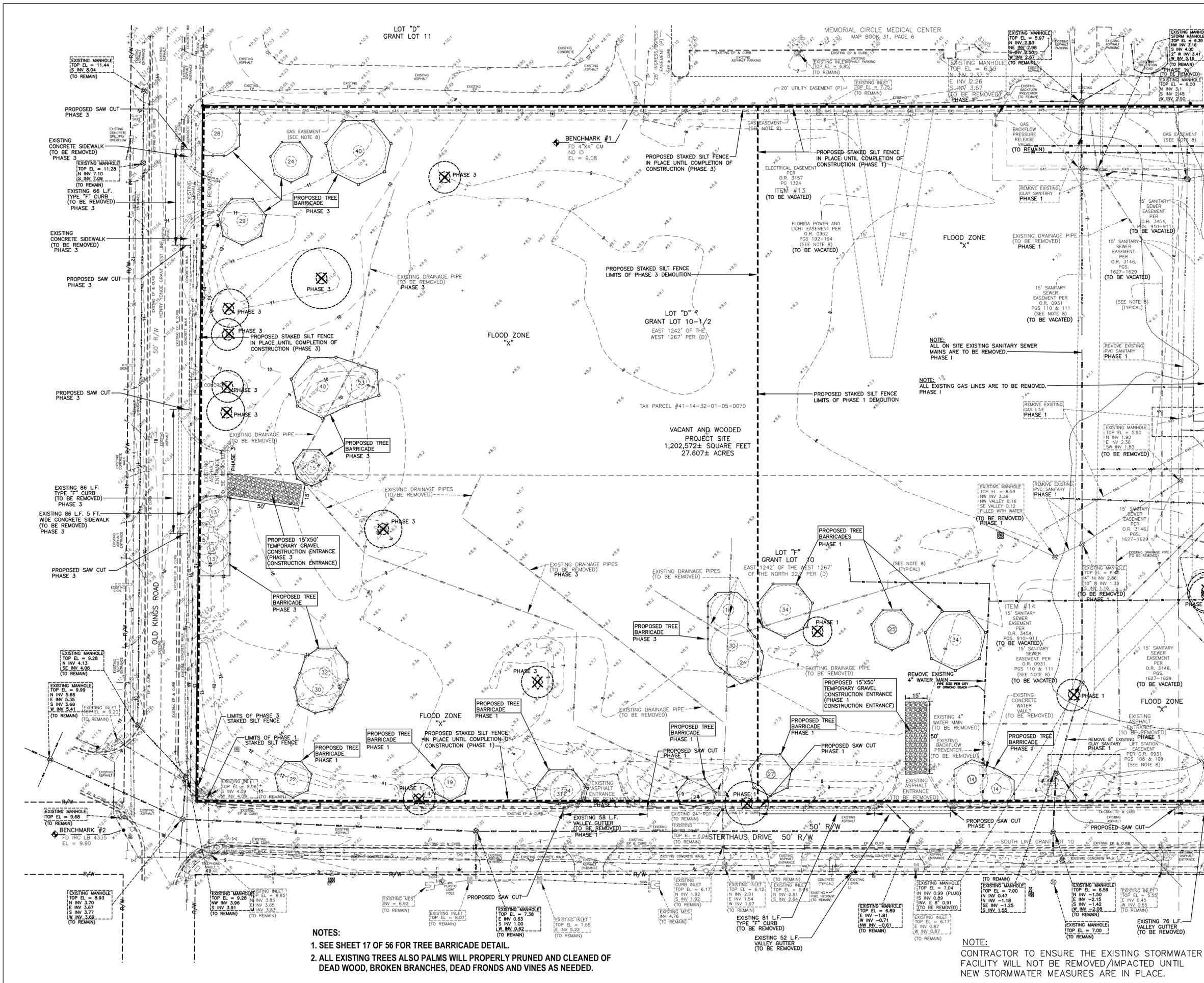


PRELIMINARY RECORD PLAT

**ORMOND RENAISSANCE
A CONDOMINIUM**

ORMOND BEACH	VOLUSIA COUNTY
W.O. No.:	DATE: OCTOBER 9, 2014
FILE NAME:	
DISK No.:	DESIGN: RWS DRAFT: WSH CHECK: WSH
SCALE: N/A	SHEET: 4 OF 4

NOT VALID UNLESS EMBOSSED SEAL



SEE SHEET 14

NOTES:

- SEE SHEET 17 OF 56 FOR TREE BARRICADE DETAIL.
- ALL EXISTING TREES ALSO PALMS WILL PROPERLY PRUNED AND CLEANED OF DEAD WOOD, BROKEN BRANCHES, DEAD FRONDS AND VINES AS NEEDED.

NOTE:
CONTRACTOR TO ENSURE THE EXISTING STORMWATER FACILITY WILL NOT BE REMOVED/IMPACTED UNTIL NEW STORMWATER MEASURES ARE IN PLACE.

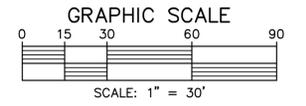
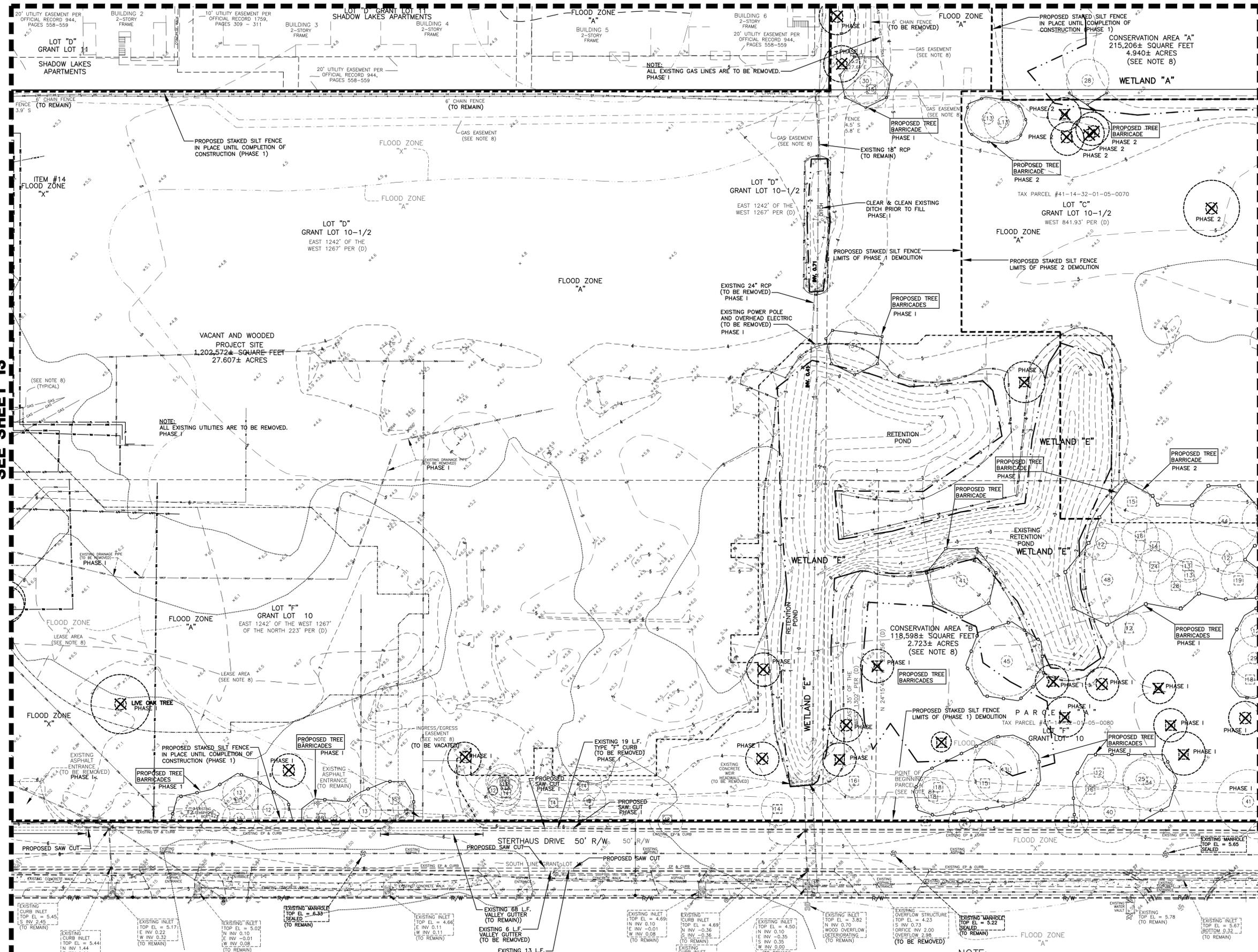
NO.	DATE	REVISION DESCRIPTION	BY
1	9.24.14	REVISED	CH
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
DEMOLITION, EROSION CONTROL & TREE REMOVAL PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-495P.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	13 OF 56
			SEAL

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SEE SHEET 16

SEE SHEET 13

SEE SHEET 15



LEGEND

	EXISTING GRADE
	EXISTING CONTOUR

TREE LEGEND / SYMBOLS
SEE LIMITATIONS: 12(F)(1)
ONLY TREES 12" AND GREATER WERE LOCATED

- EXISTING ASH TREE (TO REMAIN)
- EXISTING BAY TREE (TO REMAIN)
- EXISTING CEDAR TREE (TO REMAIN)
- EXISTING HACKBERRY TREE (TO REMAIN)
- EXISTING MAGNOLIA TREE (TO REMAIN)
- EXISTING MAPLE TREE (TO REMAIN)
- EXISTING OAK TREE (TO REMAIN)
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- EXISTING PINE TREE (TO REMAIN)
- EXISTING SWEETGUM TREE (TO REMAIN)
- EXISTING TOOTHACHE TREE (TO REMAIN)
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE BARRICADES

NOTES:
1. SEE SHEET 17 OF 56 FOR TREE BARRICADE DETAIL.
2. ALL EXISTING TREES ALSO PALMS WILL PROPERLY PRUNED AND CLEANED OF DEAD WOOD, BROKEN BRANCHES, DEAD FRONDS AND VINES AS NEEDED.

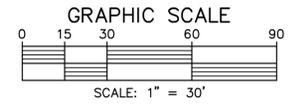
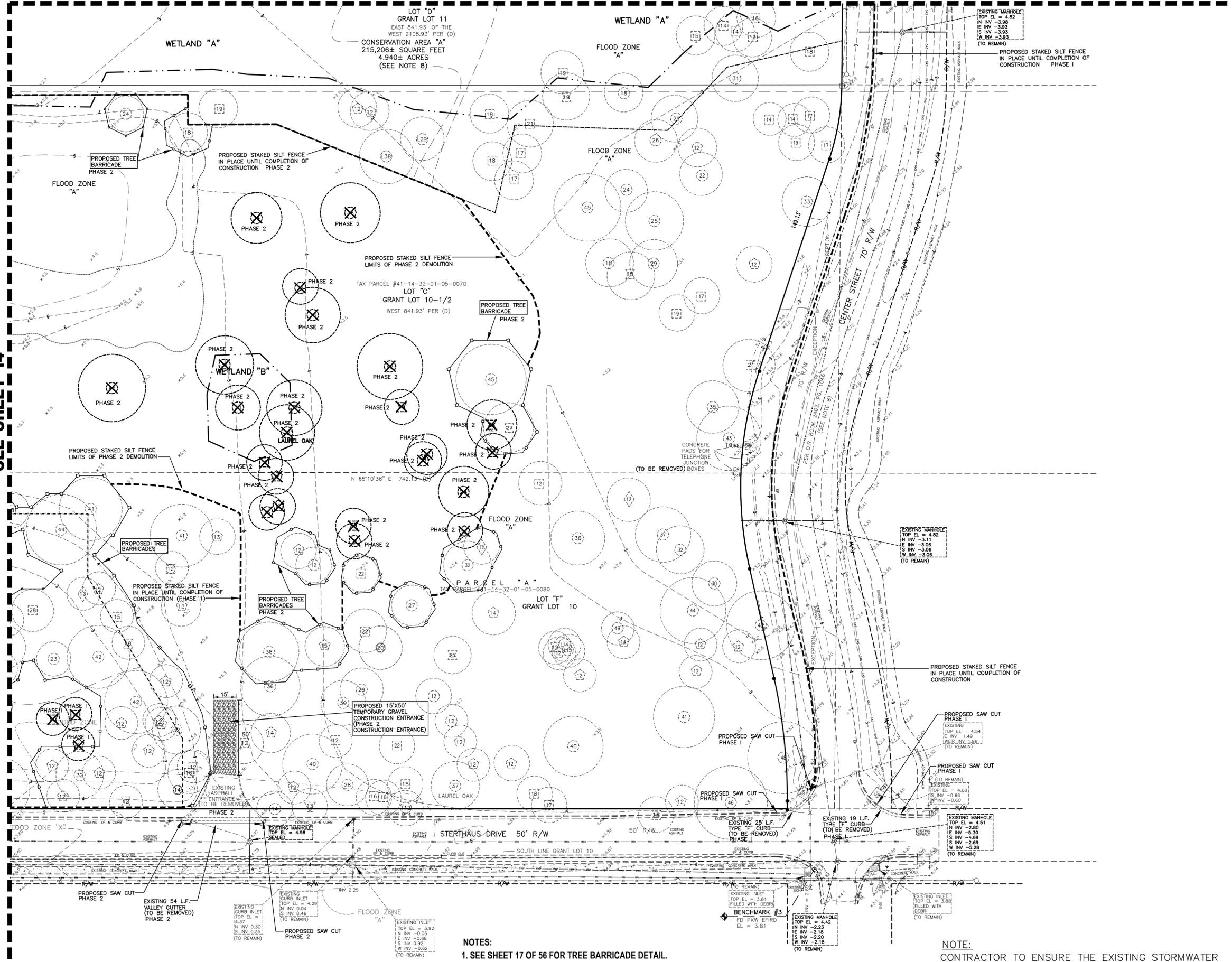
NOTE:
CONTRACTOR TO ENSURE THE EXISTING STORMWATER FACILITY WILL NOT BE REMOVED/IMPACTED UNTIL NEW STORMWATER MEASURES ARE IN PLACE.

NO.	DATE	REVISIONS	CH BY
1	9.24.14	REVISED DESCRIPTION	
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
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DEMOLITION, EROSION CONTROL & TREE REMOVAL PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	DATE	DESIGNER:	CADD TECH:
13-49SP.DWG	5.23.14	P.MYNCHENBERG	C.HARDEN
SCALE: 1"=30'		SHEET 14 OF 56	SEAL

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SEE SHEET 17

SEE SHEET 14



LEGEND

	EXISTING GRADE
	EXISTING CONTOUR

TREE LEGEND / SYMBOLS
SEE LIMITATIONS: 12(F)(1)
ONLY TREES 12" AND GREATER WERE LOCATED

	EXISTING ASH TREE (TO REMAIN)
	EXISTING BAY TREE (TO REMAIN)
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	EXISTING TREE TO BE REMOVED
	PROPOSED TREE BARRICADES

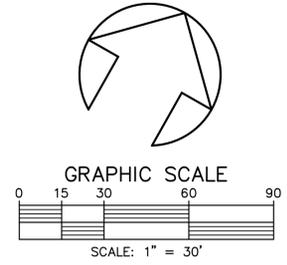
NOTES:
1. SEE SHEET 17 OF 56 FOR TREE BARRICADE DETAIL.
2. ALL EXISTING TREES ALSO PALMS WILL PROPERLY PRUNED AND CLEANED OF DEAD WOOD, BROKEN BRANCHES, DEAD FRONDS AND VINES AS NEEDED.

NOTE:
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1	9.24.14	REVISED	CH
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DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	15 OF 56
			SEAL

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NOTE:
 CONTRACTOR TO ENSURE THE EXISTING STORMWATER FACILITY WILL NOT BE REMOVED/IMPACTED UNTIL NEW STORMWATER MEASURES ARE IN PLACE.



LEGEND

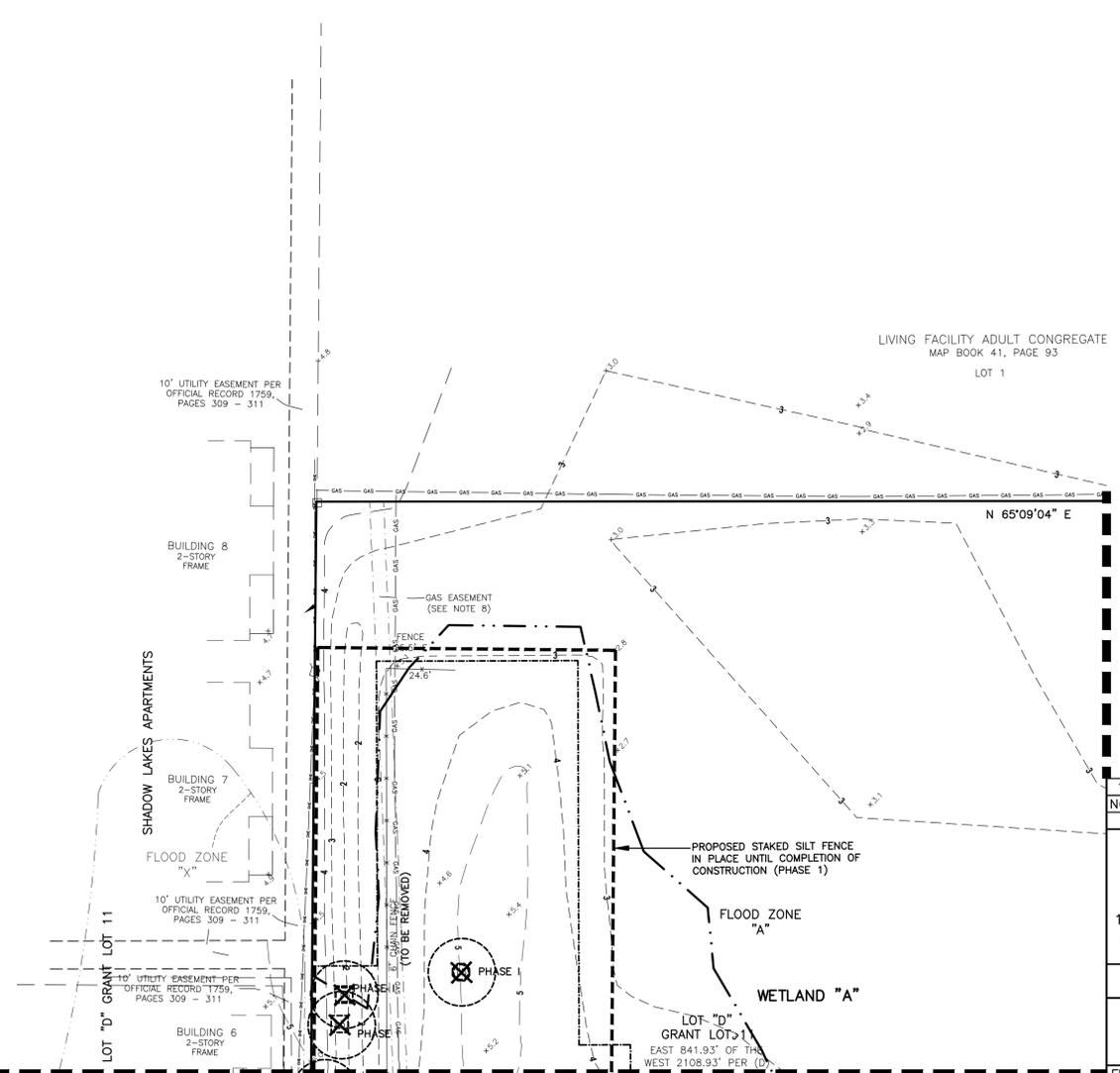
	EXISTING GRADE
	EXISTING CONTOUR

TREE LEGEND / SYMBOLS
 SEE LIMITATIONS: 12(F)(1)
 ONLY TREES 12" AND GREATER WERE LOCATED

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- EXISTING BAY TREE (TO REMAIN)
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NOTES:

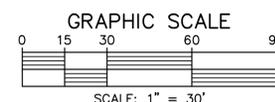
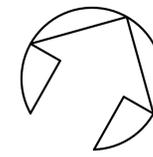
1. SEE SHEET 17 OF 56 FOR TREE BARRICADE DETAIL.
2. ALL EXISTING TREES ALSO PALMS WILL PROPERLY PRUNED AND CLEANED OF DEAD WOOD, BROKEN BRANCHES, DEAD FRONDS AND VINES AS NEEDED.



SEE SHEET 14

SEE SHEET 17

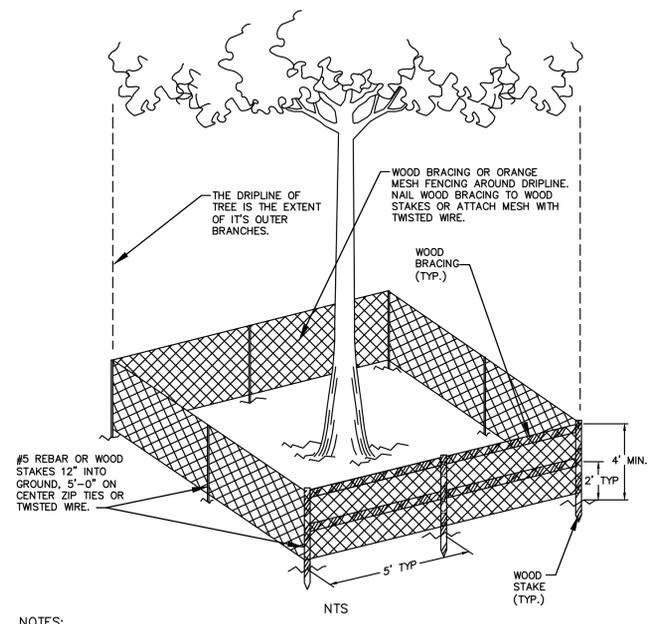
1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
R E V I S I O N S			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
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ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49SP.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: 1"=30'	SHEET 16 OF 56	SEAL	



LEGEND

	EXISTING GRADE
	EXISTING CONTOUR

NOTE:
CONTRACTOR TO ENSURE THE EXISTING STORMWATER FACILITY WILL NOT BE REMOVED/IMPACTED UNTIL NEW STORMWATER MEASURES ARE IN PLACE.



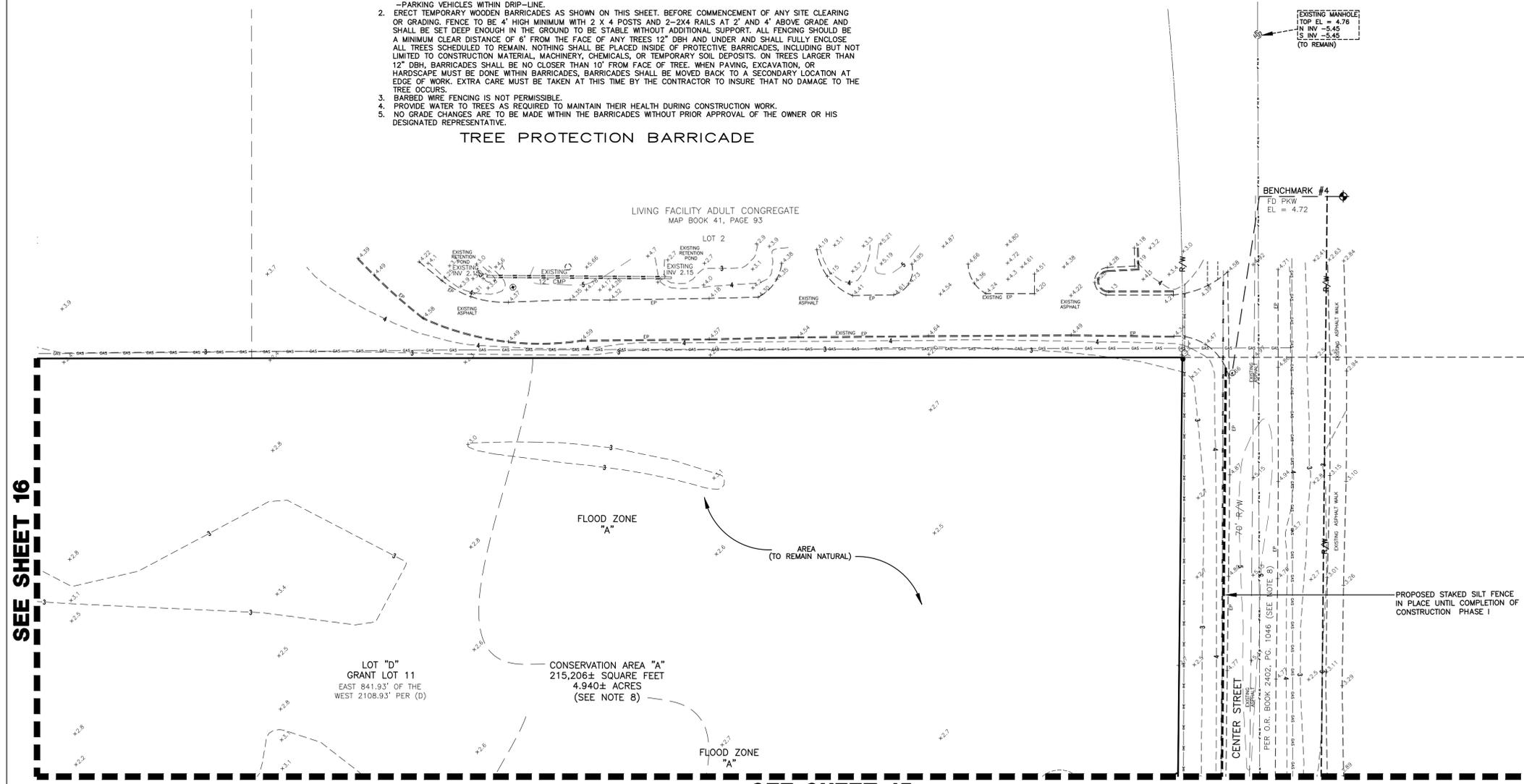
- NOTES:
- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS.
 - SKINNING AND BRUISING OF BARK.
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE.
 - FOOT OR VEHICULAR TRAFFIC.
 - PARKING VEHICLES WITHIN DRIP-LINE.
 - ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET. BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 2 X 4 POSTS AND 2-2X4 RAILS AT 2' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE A MINIMUM CLEAR DISTANCE OF 6' FROM THE FACE OF ANY TREES 12" DBH AND UNDER AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 12" DBH, BARRICADES SHALL BE NO CLOSER THAN 10' FROM FACE OF TREE. WHEN PAVING, EXCAVATION, OR HARDSCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
 - BARBED WIRE FENCING IS NOT PERMISSIBLE.
 - PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
 - NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.

- NOTES:
- SEE SHEET 17 OF 56 FOR TREE BARRICADE DETAIL.
 - ALL EXISTING TREES ALSO PALMS WILL PROPERLY PRUNED AND CLEANED OF DEAD WOOD, BROKEN BRANCHES, DEAD FRONDS AND VINES AS NEEDED.

TREE PROTECTION BARRICADE

TREE LEGEND / SYMBOLS
SEE LIMITATIONS: 12(F)(1)
ONLY TREES 12" AND GREATER WERE LOCATED

- EXISTING ASH TREE (TO REMAIN)
- EXISTING BAY TREE (TO REMAIN)
- EXISTING CEDAR TREE (TO REMAIN)
- EXISTING HACKBERRY TREE (TO REMAIN)
- EXISTING MAGNOLIA TREE (TO REMAIN)
- EXISTING MAPLE TREE (TO REMAIN)
- EXISTING OAK TREE (TO REMAIN)
- EXISTING PALM TREE (TO REMAIN)
- EXISTING PINE TREE (TO REMAIN)
- EXISTING SWEETGUM TREE (TO REMAIN)
- EXISTING TOOTHACHE TREE (TO REMAIN)
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE BARRICADES

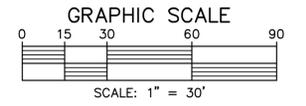


SEE SHEET 16

SEE SHEET 15

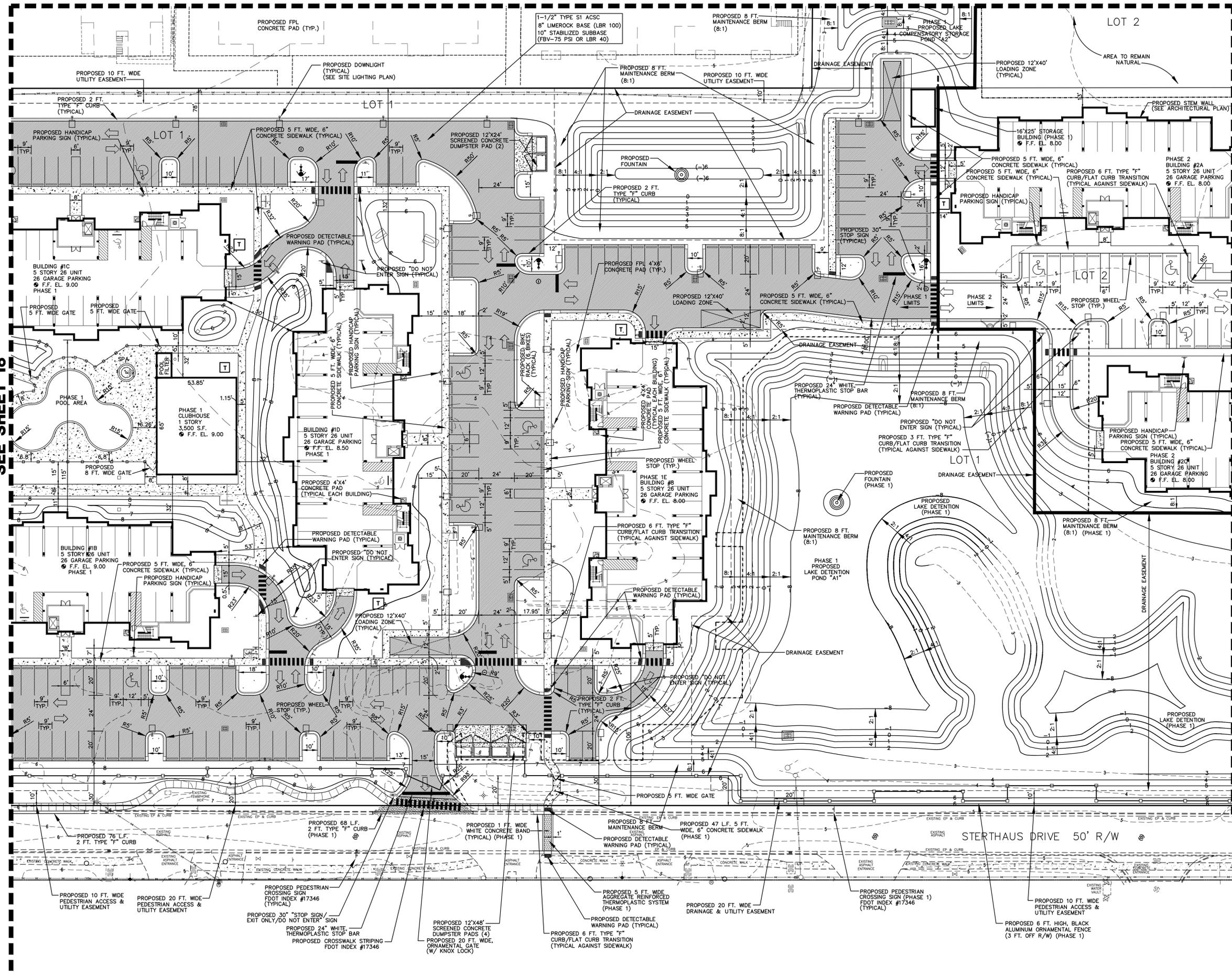
1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
DEMOLITION, EROSION CONTROL & TREE REMOVAL PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49SP.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: 1"=30'	SHEET 17 OF 56	SEAL	

SEE SHEET 21



SEE SHEET 18

SEE SHEET 20



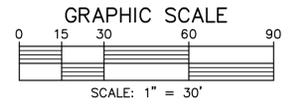
LEGEND

	PROPOSED GRADE
	4" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	6" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	PROPOSED AGGREGATE REINFORCED THERMOPLASTIC SYSTEM
	1-1/2" TYPE S1 ACSC 8" LIMEROCK BASE (LBR 100) 10" STABILIZED SUBBASE (FBV-75 PSI OR LBR 40)
	CURB RAMP DETECTABLE WARNING

1	9.24.14	REVISED	CH
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(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
SITE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49SP.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: 1"=30'	SHEET 19 OF 56	SEAL	

X:\Brow\Avalon\Brow\Avalon\ANSANETS13-49 SITE PLAN JAN 15 REV 15.dwg 10/26/2014 11:50:40 AM DWG TO PDF PLOT CH (18.00 x 24.00 inches) 1:50

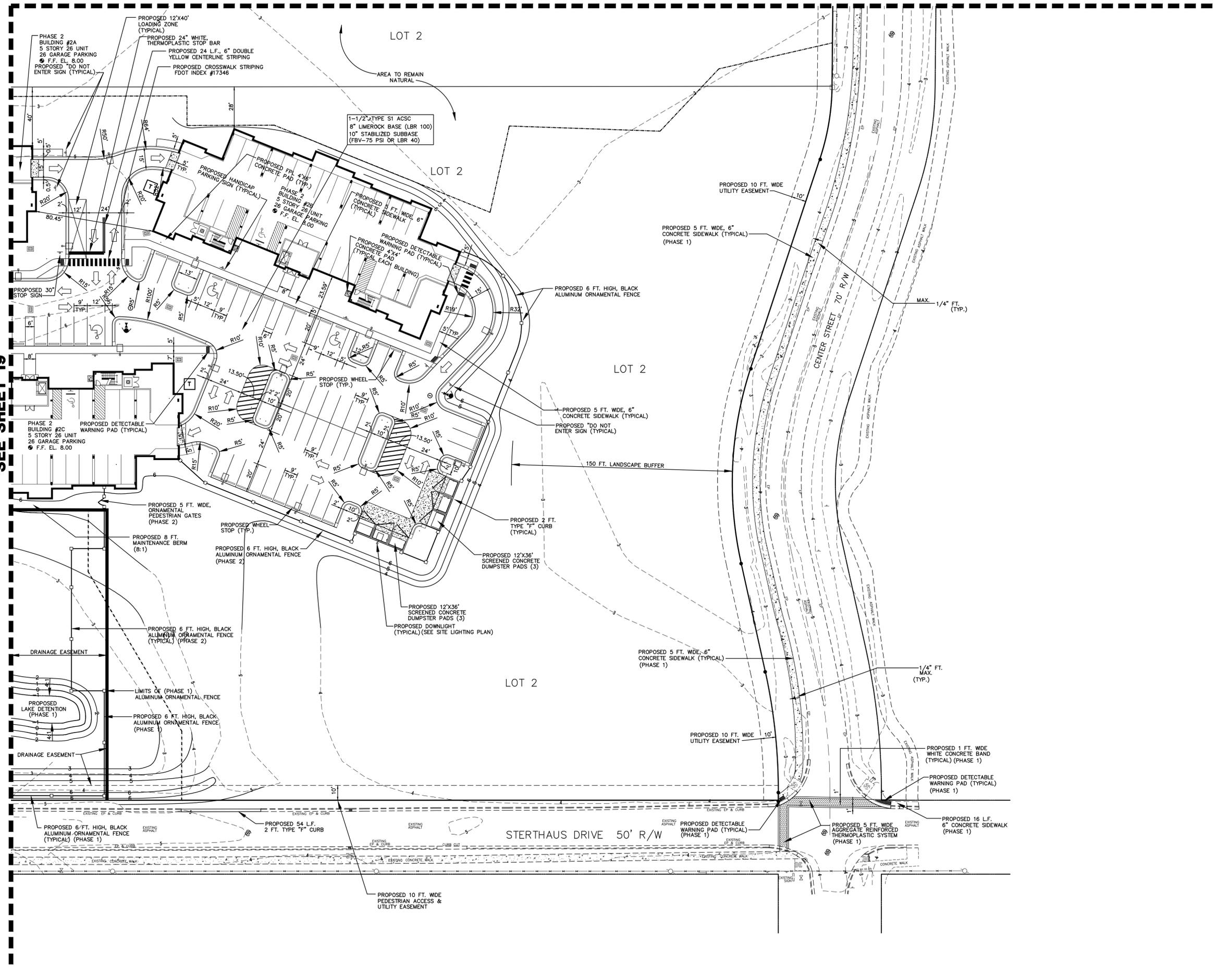
SEE SHEET 22



LEGEND

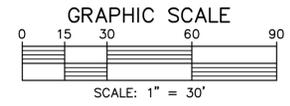
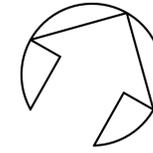
	PROPOSED GRADE
	4" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	6" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	PROPOSED AGGREGATE REINFORCED THERMOPLASTIC SYSTEM
	1-1/2" TYPE S1 ACSC 8" LIMEROCK BASE (LBR 100) 10" STABILIZED SUBBASE (FBV-75 PSI OR LBR 40)
	CURB RAMP DETECTABLE WARNING

SEE SHEET 19



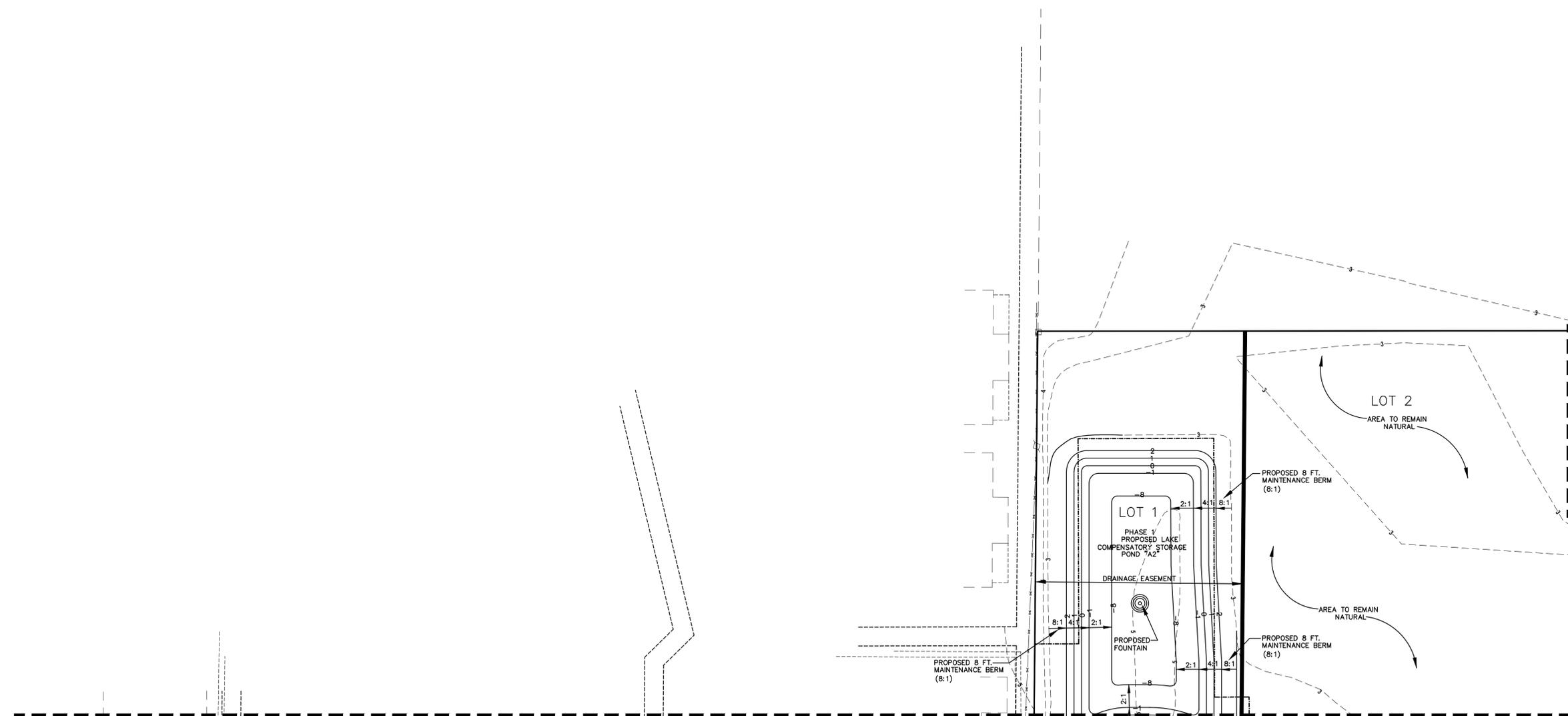
1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
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(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
SITE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	20 OF 56
			SEAL

X:\Brazos\Work\Brazos\Work\Brazos\ANCD13-49 SITE PLAN JAN 15 REV 15.dwg 10/16/2014 11:12:41 AM DWG TO PDF PLOT CH 1 (36,000 x 24,000 InCh) 130



LEGEND

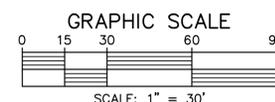
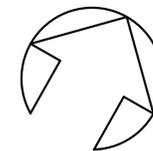
	PROPOSED GRADE
	4" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	6" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	PROPOSED AGGREGATE REINFORCED THERMOPLASTIC SYSTEM
	1-1/2" TYPE S1 ACSC 8" LIMEROCK BASE (LBR 100) 10" STABILIZED SUBBASE (FBV-75 PSI OR LBR 40)
	CURB RAMP DETECTABLE WARNING



SEE SHEET 19

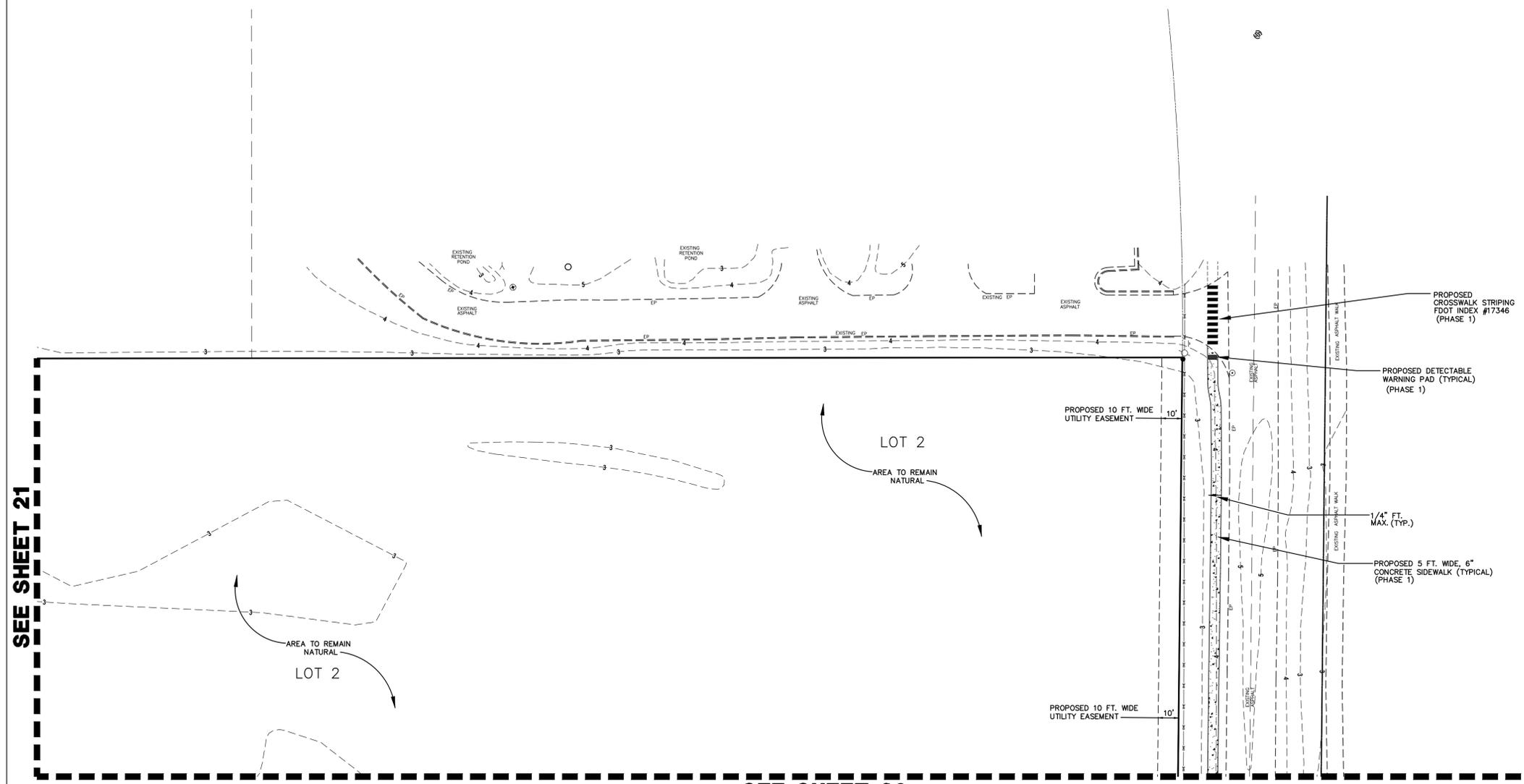
SEE SHEET 22

1	9.24.14	REVISED	CH
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(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
SITE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARNDEN
SCALE:	1"=30'	SHEET	21 OF 56
			SEAL



LEGEND

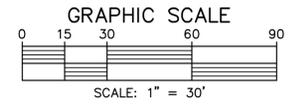
	PROPOSED GRADE
	4" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	6" THICK, CONCRETE (3,000 PSI @ 28 DAYS) ON 12" COMPACTED SUBGRADE
	PROPOSED AGGREGATE REINFORCED THERMOPLASTIC SYSTEM
	1-1/2" TYPE S1 ACSC 8" LIMEROCK BASE (LBR 100) 10" STABILIZED SUBBASE (FBV-75 PSI OR LBR 40)
	CURB RAMP DETECTABLE WARNING



SEE SHEET 21

SEE SHEET 20

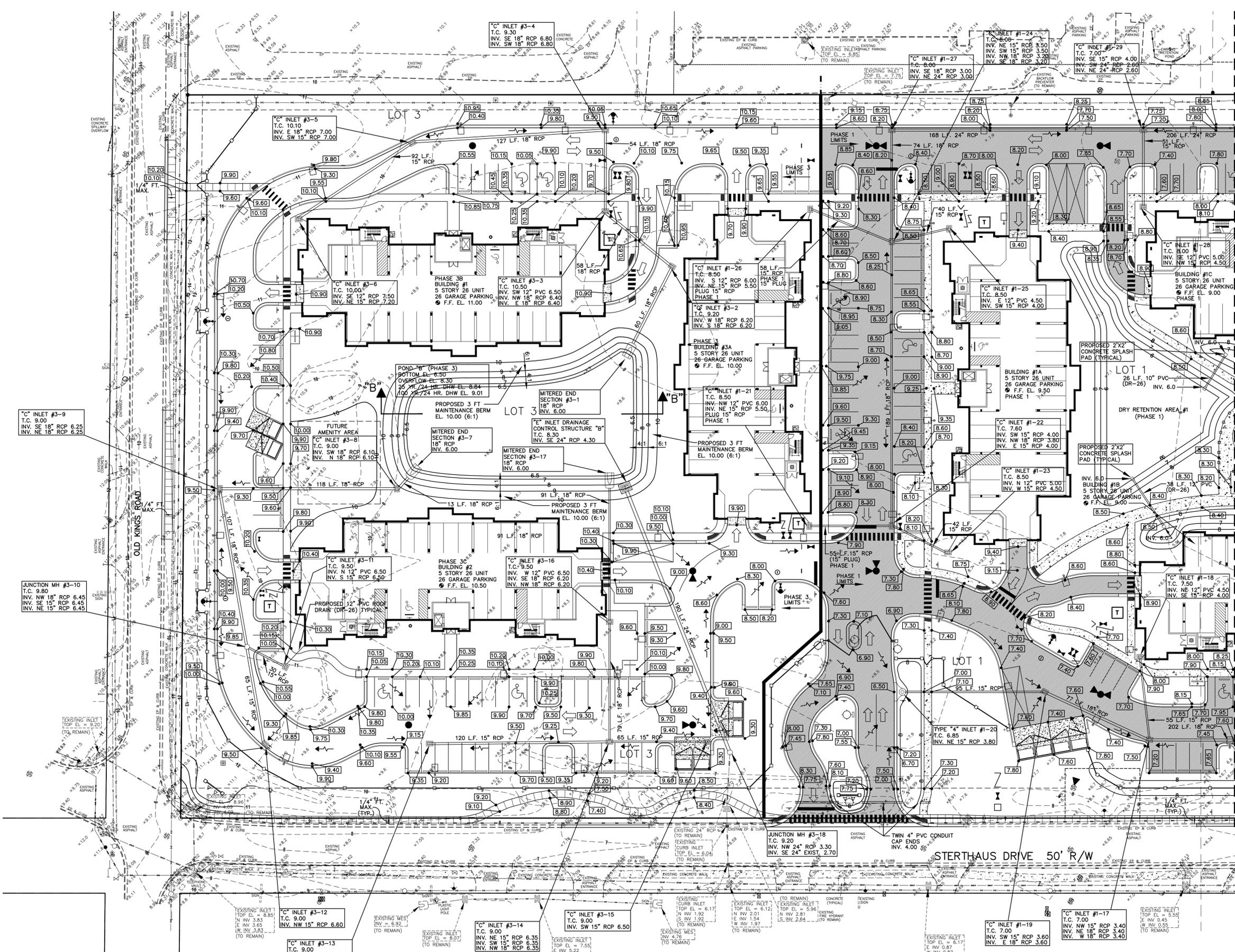
1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
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CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
SITE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER: P.MYNCHENBERG	
DATE:	5.23.14	CADD TECH: C.HARDEN	
SCALE:	1"=30'	SHEET 22 OF 56	SEAL



LEGEND

- - - - - EXISTING GRADE
- - - - - EXISTING CONTOUR
- [8.10] PROPOSED GRADE
- - - - - PROPOSED CONTOUR
- - - - - PROPOSED DRAINAGE FLOW PATTERN
- [Hatched Box] 1-1/2" TYPE S1 ACSC
8" LIMEROCK BASE (LBR 100)
10" STABILIZED SUBBASE
(FBV-75 PSI OR LBR 40)

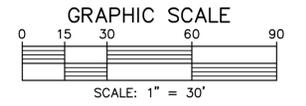
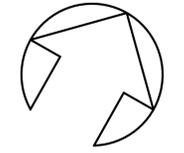
SEE SHEET 24



NOTE:
CONTRACTOR TO ENSURE THE EXISTING STORMWATER FACILITY WILL NOT BE REMOVED/IMPACTED UNTIL NEW STORMWATER MEASURES ARE IN PLACE.

1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
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PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
CIVIL SITE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49SP.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: 1"=30'	SHEET 23 OF 56	SEAL	

SEE SHEET 26

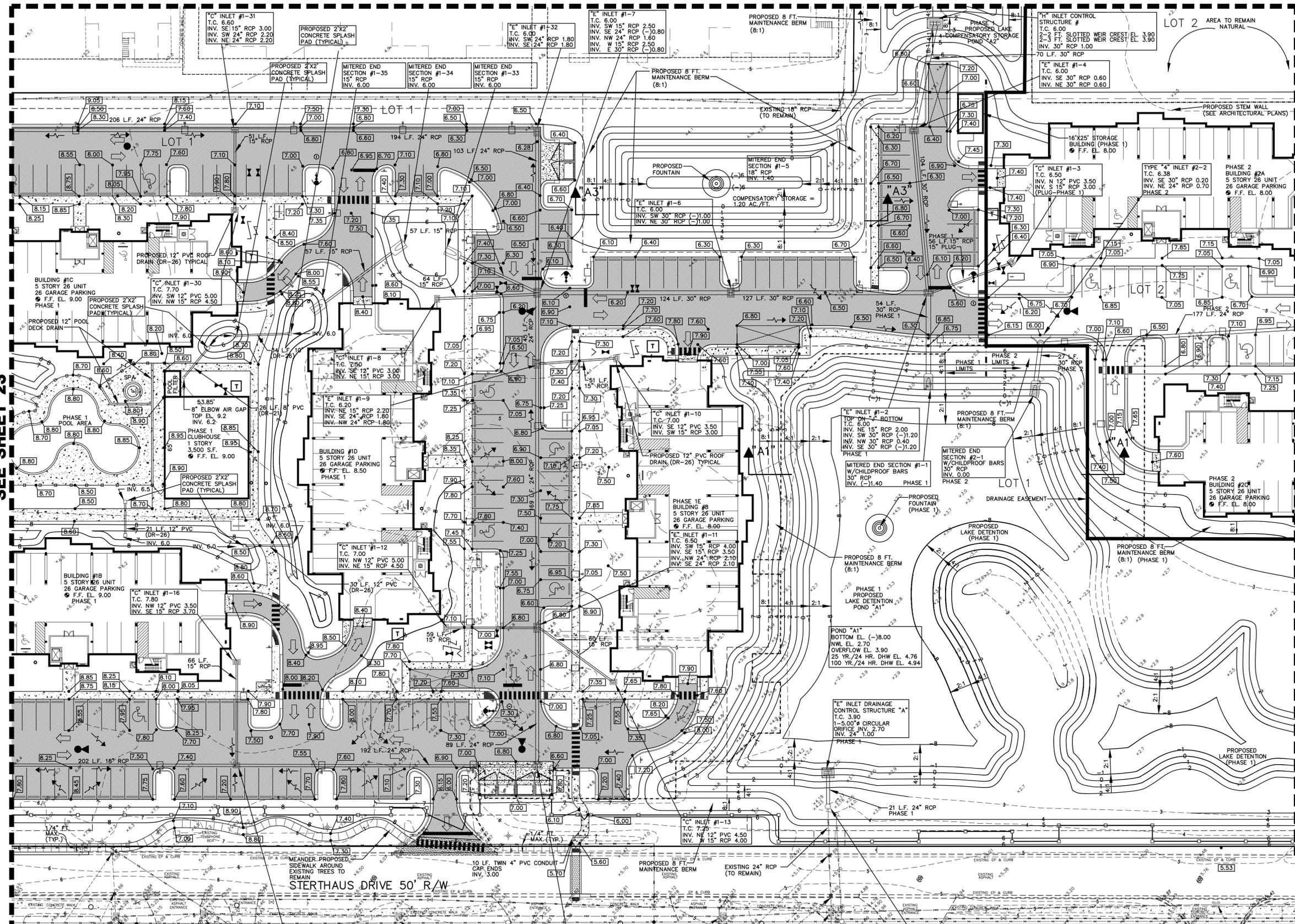


LEGEND

	EXISTING GRADE
	EXISTING CONTOUR
	PROPOSED GRADE
	PROPOSED CONTOUR
	PROPOSED DRAINAGE FLOW PATTERN
	1-1/2" TYPE S1 ACSC
	8" LIMEROCK BASE (LBR 100)
	10" STABILIZED SUBBASE (FBV-75 PSI OR LBR 40)

SEE SHEET 23

SEE SHEET 25

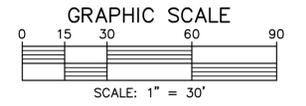


STERTHAUS DRIVE 50' R/W

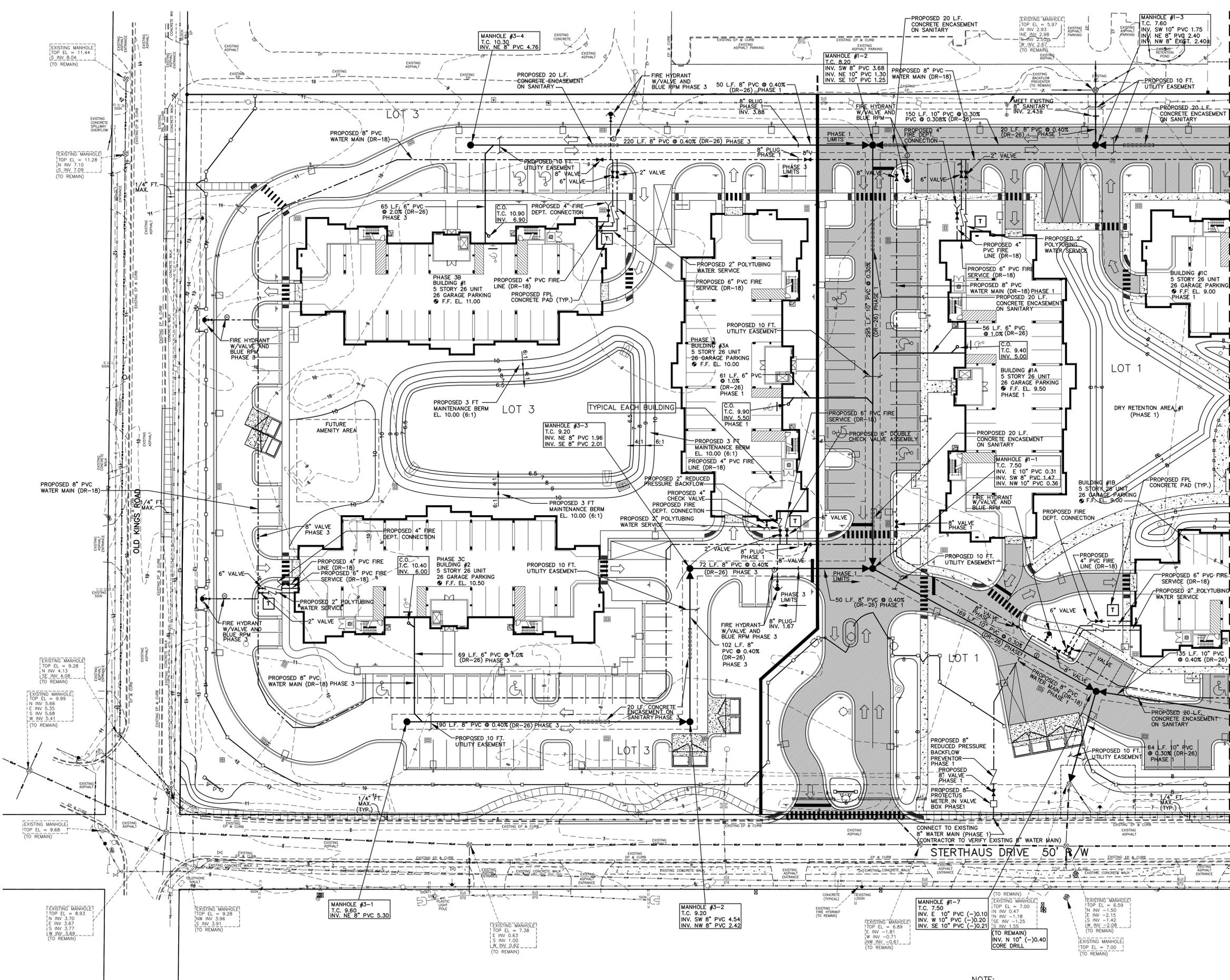
NO.	DATE	REVISION DESCRIPTION	CH BY
1	9.24.14	REVISED	
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
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(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
CIVIL SITE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-495P.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	24 OF 56
			SEAL

NOTE:
CONTRACTOR TO ENSURE THE EXISTING STORMWATER FACILITY WILL NOT BE REMOVED/IMPACTED UNTIL NEW STORMWATER MEASURES ARE IN PLACE.

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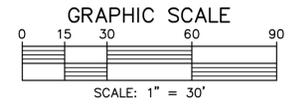
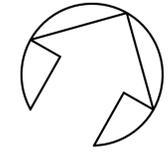
SEE SHEET 29



1	9.24.14	REVISED	CH
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1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
UTILITY PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49SP.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: 1"=30'	SHEET 28 OF 56	SEAL	

NOTE: WATER SYSTEM TO PRIVATELY OWNED AND MAINTAINED.

X:\Bentley\Bentley\Work\ORMONDRENAISSANCE\49 SITE PLAN JAN 15 REV 14.dwg 10/16/2014 11:57:46 AM DWG TO PDF.plt, CH (36,00 x 24,00 in) plc1, 1:50



ISR CALCULATION ENTIRE SITE

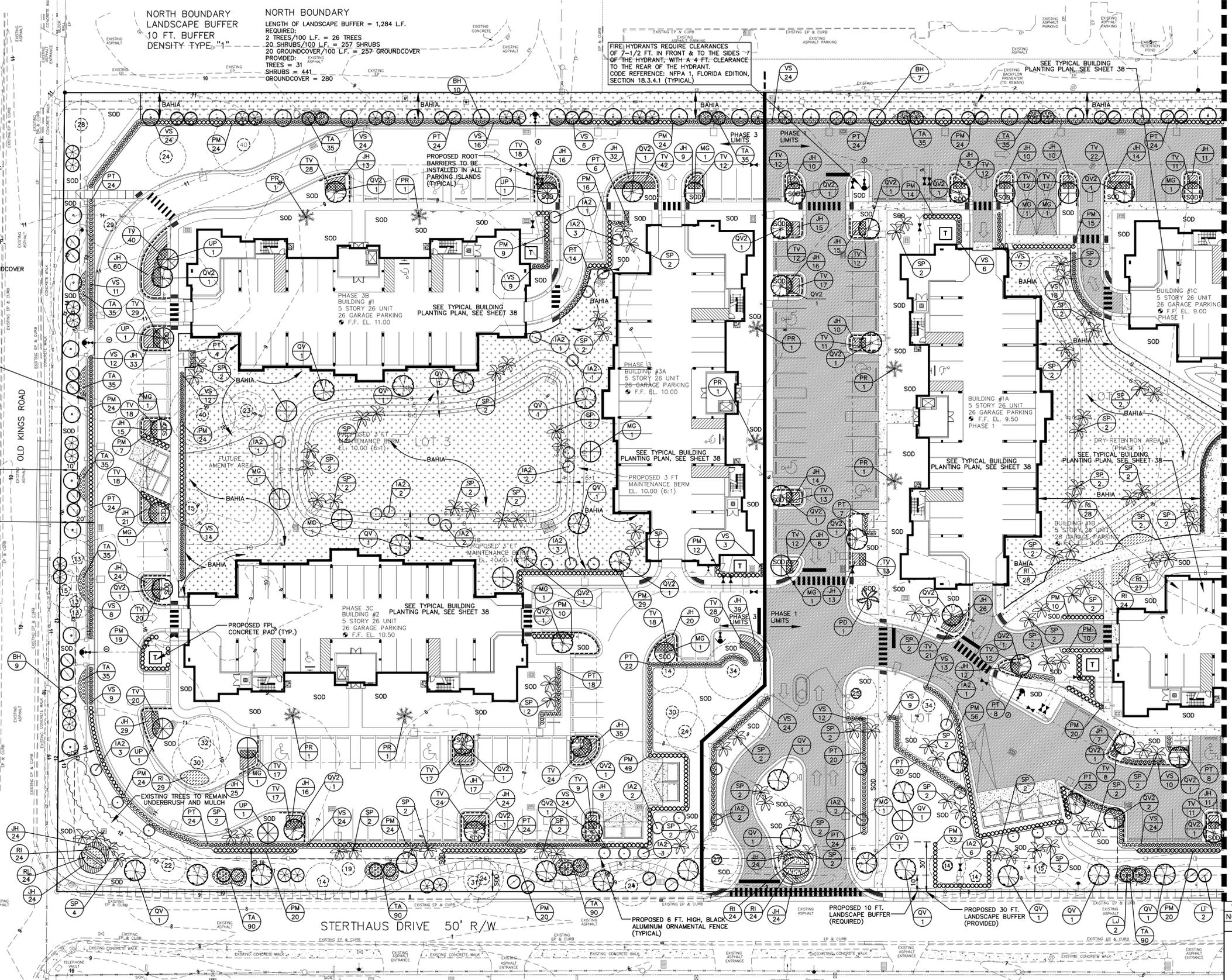
SITE AREA = 1,202,572 S.F.
10 FT. BUFFERS ALONG R/W = -32,703 S.F.
TOTAL SURFACE AREA = 1,169,869 S.F.
432,587 S.F. (BUILDING & PAVEMENT) = 36.98%
1,169,869 S.F. (TOTAL SURFACE AREA)

TREES PROVIDED:
EXISTING = > 320 TREES
PROPOSED = 503 TREES
TOTAL = 823 TREES

50% XERIC SOD CALCULATION:
SODDED AREA =
1. ST. AUGUSTINE 176,977 = 48%
2. BAHIA SOD 193,152 = 52%
TOTAL 370,129 = 100%

TREES REQUIRED:
SITE AREA X 1/TREE 2,500 S.F.
1,202,572 S.F. = 802 TREES REQUIRED
1,500 S.F.
OR LANDSCAPE AREA X 1 TREE/400 S.F.
360,665 S.F. / 400 = 752 TREES REQUIRED

SEE SHEET 34



NORTH BOUNDARY LANDSCAPE BUFFER 10 FT. BUFFER DENSITY TYPE "1"
LENGTH OF LANDSCAPE BUFFER = 1,284 L.F.
REQUIRED:
2 TREES/100 L.F. = 26 TREES
20 SHRUBS/100 L.F. = 257 SHRUBS
20 GROUNDCOVER/100 L.F. = 257 GROUNDCOVER
PROVIDED:
TREES = 31
SHRUBS = 441
GROUNDCOVER = 280

OLD KINGS ROAD LANDSCAPE BUFFER 10 FT. BUFFER DENSITY TYPE "2"

OLD KINGS ROAD
LENGTH OF LANDSCAPE BUFFER = 481 L.F.
REQUIRED:
3 TREES/100 L.F. = 14 TREES
30 SHRUBS/100 L.F. = 145 SHRUBS
30 GROUNDCOVER/100 L.F. = 145 GROUNDCOVER
PROVIDED:
TREES = 16
SHRUBS = 169
GROUNDCOVER = 175

PROPOSED 6 FT. HIGH, BLACK ALUMINUM ORNAMENTAL FENCE (TYPICAL)

PROPOSED 10 FT. LANDSCAPE BUFFER (REQUIRED)

PROPOSED 20 FT. LANDSCAPE BUFFER (PROVIDED)

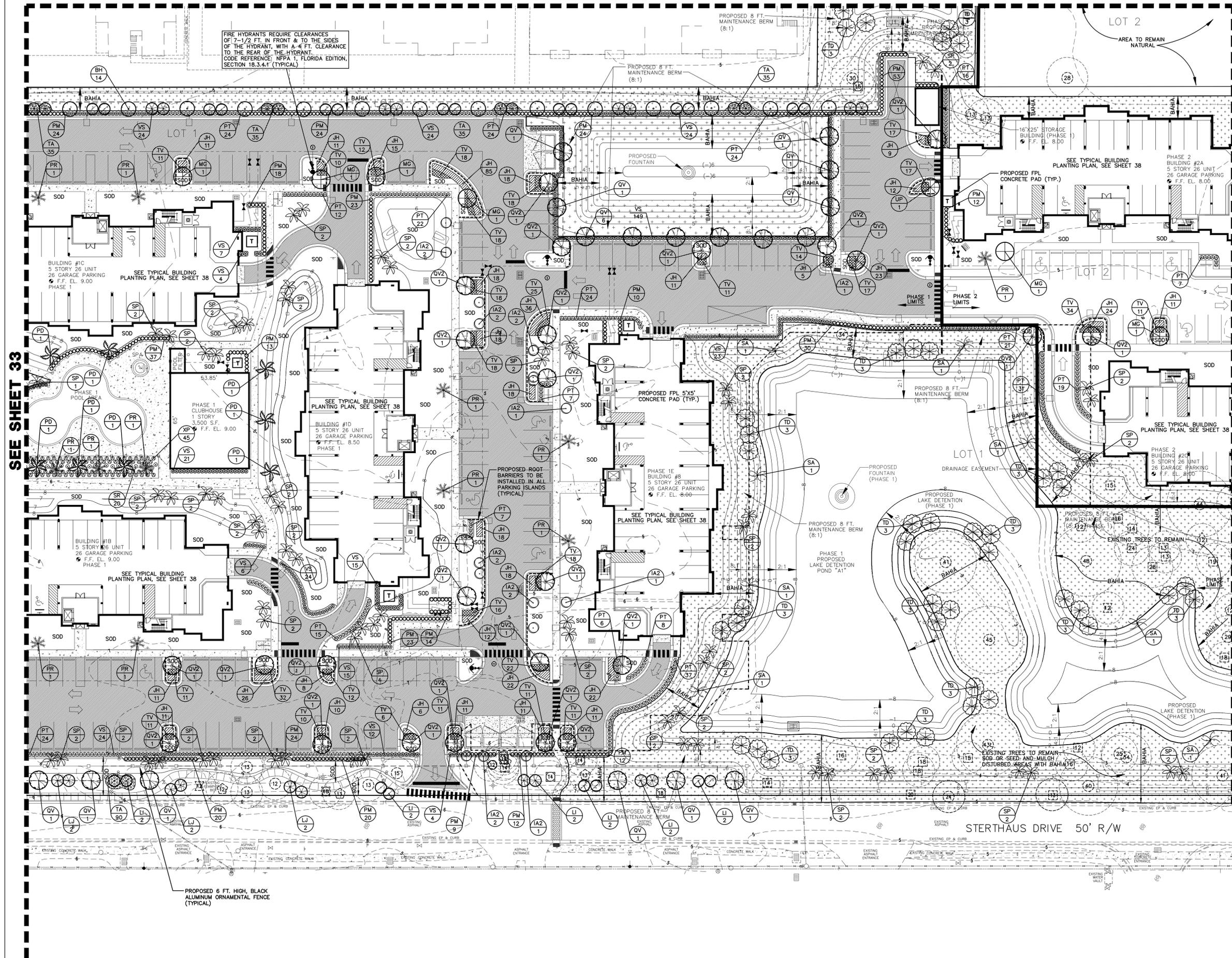
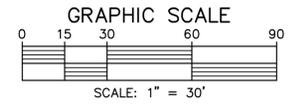
STERTHAUS DRIVE LANDSCAPE BUFFER 10 FT. BUFFER DENSITY TYPE "2"

STERTHAUS DRIVE
LENGTH OF LANDSCAPE BUFFER = 1,147 L.F.
REQUIRED:
3 TREES/100 L.F. = 36 TREES
30 SHRUBS/100 L.F. = 360 SHRUBS
30 GROUNDCOVER/100 L.F. = 360 GROUNDCOVER
PROVIDED:
TREES = 36
SHRUBS = 379
GROUNDCOVER = 450

NO.	DATE	DESCRIPTION	BY
1	9.24.14	REVISED	CH
REVISIONS			
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1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
LANDSCAPE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	33 OF 56
			SEAL

X:\Brow\Avalon\Brow\Avalon\ANSAN\013-49 SITE PLAN JAN 15 REV 15.dwg 10/26/2016 11:41:40 AM DWG TO PDF PLOT CH (36,00 x 24,00) high-1.50

SEE SHEET 36

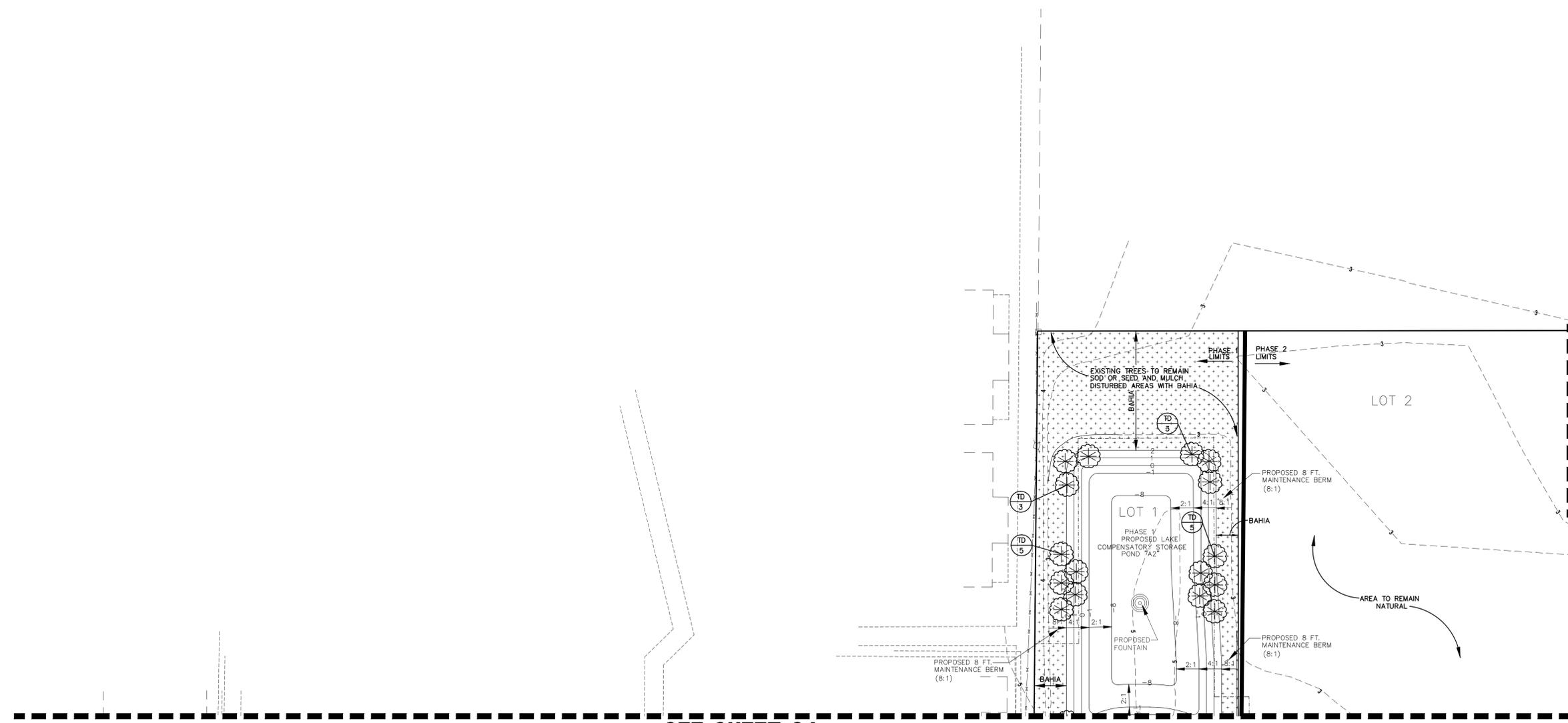
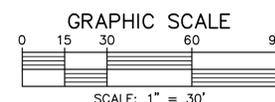


SEE SHEET 33

SEE SHEET 35

1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
LANDSCAPE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49SP.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: 1"=30'	SHEET 34 OF 56	SEAL	

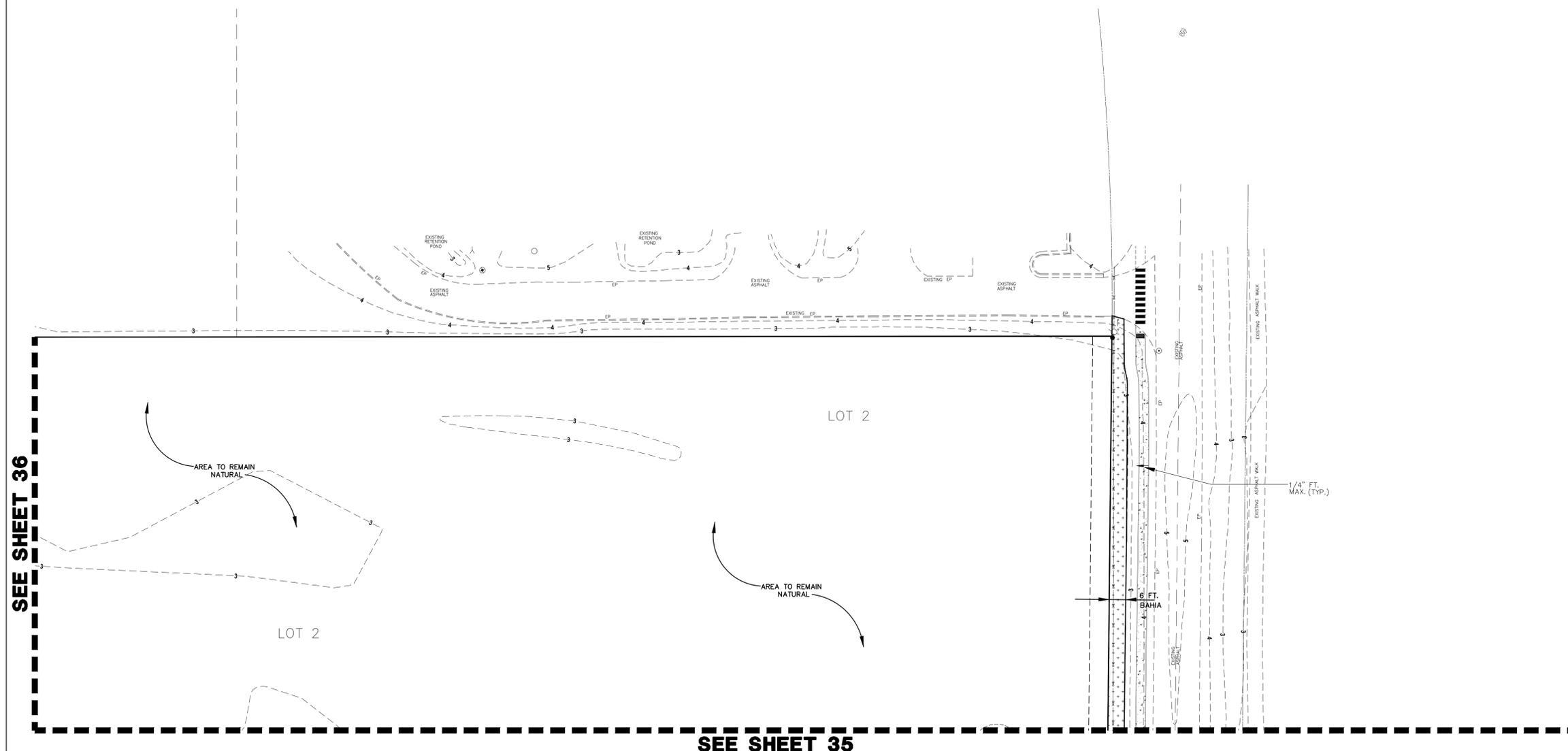
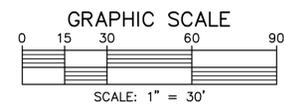
X:\Brow\Avalon\Brow\Avalon\ANSANDES13-49 SITE PLAN JAN 15 REV 14.dwg 10/06/2014 11:42:36 AM DWG TO PDF PLOT CH (386.00 x 24.00) Includ... 130



SEE SHEET 34

SEE SHEET 37

NO.	DATE	REVISIONS	CH
1	9.24.14	REVISED DESCRIPTION	CH
REVISIONS			
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(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
LANDSCAPE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER: P.MYNCHENBERG	
DATE:	5.23.14	CADD TECH: C.HARNDEN	
SCALE:	1"=30'	SHEET 36 OF 56	SEAL



SEE SHEET 36

SEE SHEET 35

1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
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CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
LANDSCAPE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARNDEN
SCALE:	1"=30'	SHEET	37 OF 56
			SEAL

PLANT LIST (PHASE 1) 5 BUILDINGS TOTAL					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	BF	640	BULBINE FRUTESCENS "HALLMARK"	ORANGE STALKED BULBINE	1 GAL., 12"-15" SPD. 18" O.C.
	AS	340	AGAPANTHUS SPP.	AFRICAN LILY	1 GAL., 12"-15" SPD., 20" O.C.
	TV	270	TULBAGHIA VIOLEACEA	SOCIETY GARLIC	1 GAL., 12"-15" SPD., 20" O.C.
	VS	340	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 30" O.C. 24" HT., MIN.
	PM	235	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	7 GAL., 30" O.C. 24" HT., MIN.
	SA	520	SCHAEFFERA ARBORICOLA "TRINETTE"	VARIEGATED ARBORICOLA	3 GAL., 30" O.C. 24" HT., MIN.
	SN	65	STRETIZIO NICOLAI	(WHITE) BIRD OF PARADISE TREE	7 GAL., 36" O.C. 24" HT., MIN.
	IVS*	1,160	ILEX VOMITORIA "SCHILLINGS"	DWARF YAUPON HOLLY	3 GAL., 24" O.C. 10" HT., MIN.
	CS	60	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	IA1	20	ILEX ATTENUATA "EAGLESTON"	EAGLESTON HOLLY	30 GAL. MIN., 2.5" MIN. CAL. 10"-12" HT.
	IA2*	10	ILEX ATTENUATA	EAST PALATKA HOLLY	30 GAL. MIN., 2.5" MIN. CAL. 10"-12" HT.
	IA3	20	ILEX X "NELLIE R. STEVENS"	NELLIE STEVENS HOLLY	45 GAL. MIN., 3" MIN. CAL. 12"-14" HT.
	LI1	10	LAGERSTROEMIA INDICA "NATCHEZ"	CREPE MYRTLE (WHITE FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LI2	10	LAGERSTROEMIA INDICA "TUSCARORA"	CREPE MYRTLE (ORANGE/PINK FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LI3	10	LAGERSTROEMIA INDICA X FAURIEI "MUSKOGEE"	MUSKOGEE CREPE (LAVENDER FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LL	30	LIGUSTUM LUCIDUM	LIGUSTRUM TREE	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.

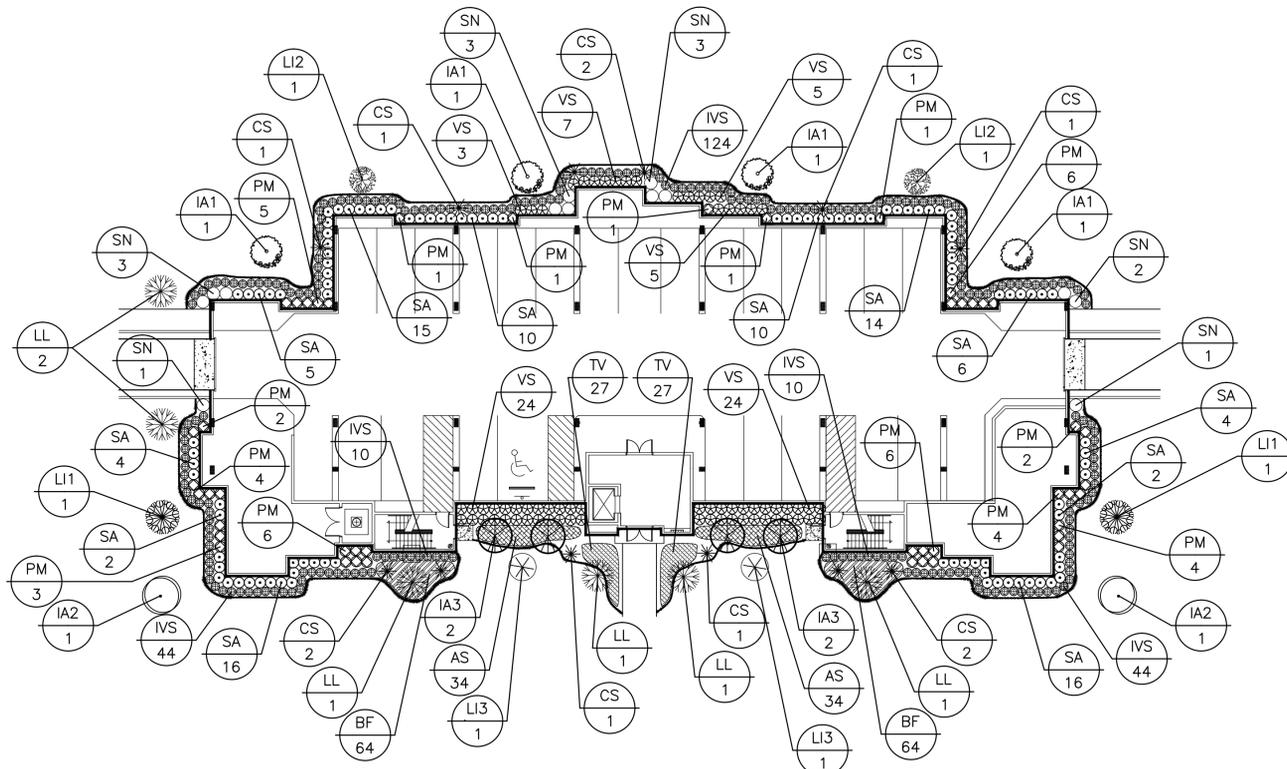
* DENOTES NATIVE PLANT SPECIES

PLANT LIST (PHASE 2) 3 BUILDINGS TOTAL					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	BF	384	BULBINE FRUTESCENS "HALLMARK"	ORANGE STALKED BULBINE	1 GAL., 12"-15" SPD. 18" O.C.
	AS	204	AGAPANTHUS SPP.	AFRICAN LILY	1 GAL., 12"-15" SPD., 20" O.C.
	TV	162	TULBAGHIA VIOLEACEA	SOCIETY GARLIC	1 GAL., 12"-15" SPD., 20" O.C.
	VS	204	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 30" O.C. 24" HT., MIN.
	PM	141	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	7 GAL., 30" O.C. 24" HT., MIN.
	SA	312	SCHAEFFERA ARBORICOLA "TRINETTE"	VARIEGATED ARBORICOLA	3 GAL., 30" O.C. 24" HT., MIN.
	SN	39	STRETIZIO NICOLAI	(WHITE) BIRD OF PARADISE TREE	7 GAL., 36" O.C. 24" HT., MIN.
	IVS*	696	ILEX VOMITORIA "SCHILLINGS"	DWARF YAUPON HOLLY	3 GAL., 24" O.C. 10" HT., MIN.
	CS	36	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	IA1	12	ILEX ATTENUATA "EAGLESTON"	EAGLESTON HOLLY	30 GAL. MIN., 2.5" MIN. CAL. 10"-12" HT.
	IA2*	6	ILEX ATTENUATA	EAST PALATKA HOLLY	30 GAL. MIN., 2.5" MIN. CAL. 10"-12" HT.
	IA3	12	ILEX X "NELLIE R. STEVENS"	NELLIE STEVENS HOLLY	45 GAL. MIN., 3" MIN. CAL. 12"-14" HT.
	LI1	6	LAGERSTROEMIA INDICA "NATCHEZ"	CREPE MYRTLE (WHITE FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LI2	6	LAGERSTROEMIA INDICA "TUSCARORA"	CREPE MYRTLE (ORANGE/PINK FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LI3	6	LAGERSTROEMIA INDICA X FAURIEI "MUSKOGEE"	MUSKOGEE CREPE (LAVENDER FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LL	18	LIGUSTUM LUCIDUM	LIGUSTRUM TREE	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.

* DENOTES NATIVE PLANT SPECIES

PLANT LIST (PHASE 3) 3 BUILDINGS TOTAL					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	BF	384	BULBINE FRUTESCENS "HALLMARK"	ORANGE STALKED BULBINE	1 GAL., 12"-15" SPD. 18" O.C.
	AS	204	AGAPANTHUS SPP.	AFRICAN LILY	1 GAL., 12"-15" SPD., 20" O.C.
	TV	162	TULBAGHIA VIOLEACEA	SOCIETY GARLIC	1 GAL., 12"-15" SPD., 20" O.C.
	VS	204	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 30" O.C. 24" HT., MIN.
	PM	141	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	7 GAL., 30" O.C. 24" HT., MIN.
	SA	312	SCHAEFFERA ARBORICOLA "TRINETTE"	VARIEGATED ARBORICOLA	3 GAL., 30" O.C. 24" HT., MIN.
	SN	39	STRETIZIO NICOLAI	(WHITE) BIRD OF PARADISE TREE	7 GAL., 36" O.C. 24" HT., MIN.
	IVS*	696	ILEX VOMITORIA "SCHILLINGS"	DWARF YAUPON HOLLY	3 GAL., 24" O.C. 10" HT., MIN.
	CS	36	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	IA1	12	ILEX ATTENUATA "EAGLESTON"	EAGLESTON HOLLY	30 GAL. MIN., 2.5" MIN. CAL. 10"-12" HT.
	IA2*	6	ILEX ATTENUATA	EAST PALATKA HOLLY	30 GAL. MIN., 2.5" MIN. CAL. 10"-12" HT.
	IA3	12	ILEX X "NELLIE R. STEVENS"	NELLIE STEVENS HOLLY	45 GAL. MIN., 3" MIN. CAL. 12"-14" HT.
	LI1	6	LAGERSTROEMIA INDICA "NATCHEZ"	CREPE MYRTLE (WHITE FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LI2	6	LAGERSTROEMIA INDICA "TUSCARORA"	CREPE MYRTLE (ORANGE/PINK FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LI3	6	LAGERSTROEMIA INDICA X FAURIEI "MUSKOGEE"	MUSKOGEE CREPE (LAVENDER FLOWERS)	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.
	LL	18	LIGUSTUM LUCIDUM	LIGUSTRUM TREE	15 GAL. MIN., 1.5" MIN. CAL. 6"-8" HT.

* DENOTES NATIVE PLANT SPECIES



TYPICAL BUILDING LANDSCAPE PLAN

SCALE: 1" = 20'

NOTE:
1. ADJUST LANDSCAPING IN ACCORDANCE WITH PROPER
BUILDING ORIENTATION AND LOCATION.

1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
TYPICAL BUILDING LANDSCAPE PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	38 OF 56
			SEAL

PHASE 1

PROPOSED PLANT LIST					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	LJ	33	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	15 GAL., MULTI-TRUNK, 6'-11' MIN HT.
	LI	32	LAGERSTROEMIA INDICA	CREPE MYRTLE	1.5" MIN. CAL. 6'-10' MIN HT., 15 GAL. MULTI-TRUNK,
	BH*	21	ILEX CORNUTA "BURFORDII"	BURFORD HOLLY	2" MIN. CAL., 15 GAL. 6'-11' MIN HT.
	QV*	25	QUERCUS VIRGINIANA	LIVE OAK	2" MIN. CAL., 15 GAL. 8'-15' MIN HT.
	QV2*	41	QUERCUS VIRGINIANA	LIVE OAK	3.5" MIN. CAL., 65 GAL. 11'-18' MIN. HT.
	TD*	55	TAXODIUM DISTICHUM	BALD CYPRESS	2.5" MIN. CAL., 25 GAL. 8'-16' MIN. HT.
	UP	1	ULMUS PARVIFOLIA	ALLEE ELM	3.5" MIN. CAL., 65 GAL. 8'-16' MIN. HT.
	MG*	9	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3.5" MIN. CAL., 65 GAL. 10'-18' MIN. HT.
	SA	8	SALIX BABYLONICA	WEeping WILLOW	3.5" MIN. CAL., 65 GAL. 11'-18' MIN. HT.
	SP*	119	SABLE PALMETTO	CABAGE PALM	8'-10' OA
	PD	9	PHOENIX DACTYLIFERA	MEDJOOl DATE PALM	65 GAL. 10'-12' CT.
	PR	13	PHOENIX ROBELENNI	PIGMY DATE PALM	65 GAL. 10'-12' HT. 3.5" MIN. CAL.
	JH*	740	JUNIPER HORIZONTALIS	CREEPING JUNIPER	1 GAL. 12"-18" SPD. 18" O.C.
	TV*	606	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL. 12"-18" SPD. 18" O.C.
	RI*	155	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	3 GAL., 10" HT. MIN., 24"O.C.
	TA	390	TRACHELOSPERUM ASIATICUM "MINIMA"	ASIAN JASMINE	6" HT. X 12" SPREAD, 1 GAL. CONT. 18" O.C.
	IA2*	28	ILEX ATTENUATA	EAST PALATKA HOLLY	1.25" MIN. CAL., 30 GAL. 4.5'-8' HT.
	PM	495	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	7 GAL., 30" O.C.. 30" HT.
	PT*	440	PITTOSPORUM TOBIRA	GREEN PITTOSPORUM	3 GAL., 24" HT. MIN., 30"O.C.
	SR*	20	STRELITZIA REINAE	BIRD-OF-PARADISE	3 GAL., SPACING PER PLAN
	XP	90	XANADU PHILODENDRON	PHILODENDRON	3 GAL., SPACING PER PLAN
	VS	535	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 24" HT. MIN., 30"O.C.

*DENOTES XERIC/DROUGHT TOLERANT PLANT

PHASE 2

PROPOSED PLANT LIST					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	LJ	0	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	15 GAL., MULTI-TRUNK, 6'-11' MIN HT.
	LI	0	LAGERSTROEMIA INDICA	CREPE MYRTLE	1.5" MIN. CAL. 6'-10' MIN HT., 15 GAL. MULTI-TRUNK,
	BH*	0	ILEX CORNUTA "BURFORDII"	BURFORD HOLLY	2" MIN. CAL., 15 GAL. 6'-11' MIN HT.
	QV*	0	QUERCUS VIRGINIANA	LIVE OAK	2" MIN. CAL., 15 GAL. 8'-15' MIN HT.
	QV2*	8	QUERCUS VIRGINIANA	LIVE OAK	3.5" MIN. CAL., 65 GAL. 11'-18' MIN. HT.
	TD*	6	TAXODIUM DISTICHUM	BALD CYPRESS	2.5" MIN. CAL., 25 GAL. 8'-16' MIN. HT.
	UP	5	ULMUS PARVIFOLIA	ALLEE ELM	3.5" MIN. CAL., 65 GAL. 8'-16' MIN. HT.
	MG*	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3.5" MIN. CAL., 65 GAL. 10'-18' MIN. HT.
	SA	0	SALIX BABYLONICA	WEeping WILLOW	3.5" MIN. CAL., 65 GAL. 11'-18' MIN. HT.
	SP*	8	SABLE PALMETTO	CABAGE PALM	8'-10' OA
	PD	0	PHOENIX DACTYLIFERA	MEDJOOl DATE PALM	65 GAL. 10'-12' CT.
	PR	3	PHOENIX ROBELENNI	PIGMY DATE PALM	65 GAL. 10'-12' HT. 3.5" MIN. CAL.
	JH*	263	JUNIPER HORIZONTALIS	CREEPING JUNIPER	1 GAL. 12"-18" SPD. 18" O.C.
	TV*	294	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL. 12"-18" SPD. 18" O.C.
	RI*	0	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	3 GAL., 10" HT. MIN., 24"O.C.
	TA	0	TRACHELOSPERUM ASIATICUM "MINIMA"	ASIAN JASMINE	6" HT. X 12" SPREAD, 1 GAL. CONT. 18" O.C.
	IA2*	0	ILEX ATTENUATA	EAST PALATKA HOLLY	1.25" MIN. CAL., 30 GAL. 4.5'-8' HT.
	PM	42	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	7 GAL., 30" O.C.. 30" HT.
	PT*	155	PITTOSPORUM TOBIRA	GREEN PITTOSPORUM	3 GAL., 24" HT. MIN., 30"O.C.
	SR*	0	STRELITZIA REINAE	BIRD-OF-PARADISE	3 GAL., SPACING PER PLAN
	XP	0	XANADU PHILODENDRON	PHILODENDRON	3 GAL., SPACING PER PLAN
	VS	111	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 24" HT. MIN., 30"O.C.

*DENOTES XERIC/DROUGHT TOLERANT PLANT

TREE CALCULATION:

SITE AREA X 1/1500 S.F. = 1,202,572 X 1/1500 = 802 TREES

EXITING TREES TO REMAIN (OUTSIDE CONSERVATION AREA "A") = 220

EXITING TREES TO REMAIN IN CONSERVATION AREA "A"> 100 = 100

PROPOSED TREES = 503

TOTAL TREES PROVIDED = 823

HISTORIC TREES:

REMOVED = 9 = 23%

REMAIN = 30 = 77%

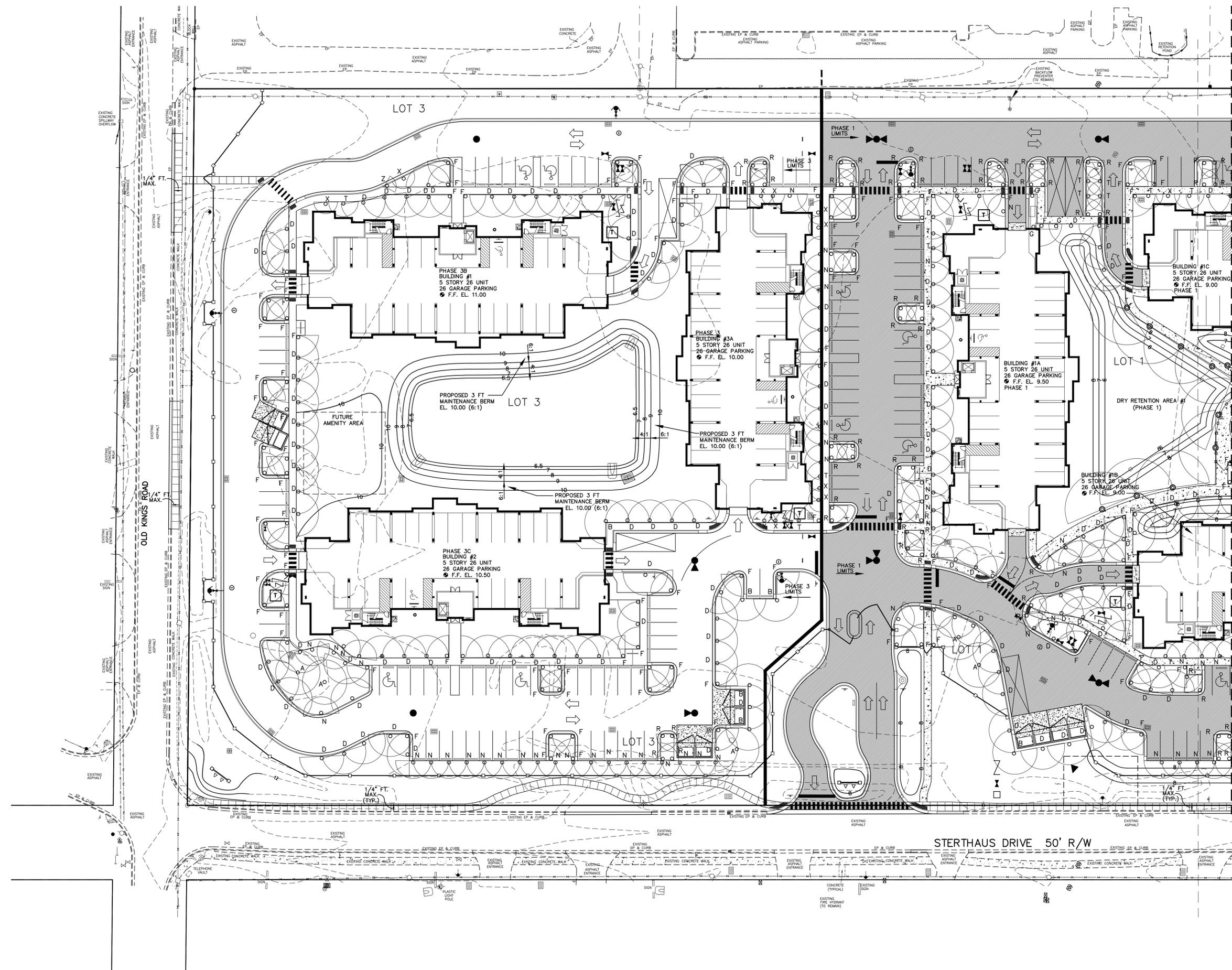
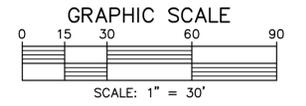
TOTAL = 39 = 100%

PHASE 3

PROPOSED PLANT LIST					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	LJ	25	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	15 GAL., MULTI-TRUNK, 6'-11' MIN HT.
	LI	26	LAGERSTROEMIA INDICA	CREPE MYRTLE	1.5" MIN. CAL. 6'-10' MIN HT., 15 GAL. MULTI-TRUNK,
	BH*	19	ILEX CORNUTA "BURFORDII"	BURFORD HOLLY	2" MIN. CAL., 15 GAL. 6'-11' MIN HT.
	QV*	12	QUERCUS VIRGINIANA	LIVE OAK	2" MIN. CAL., 15 GAL. 8'-15' MIN HT.
	QV2*	12	QUERCUS VIRGINIANA	LIVE OAK	3.5" MIN. CAL., 65 GAL. 11'-18' MIN. HT.
	TD*	0	TAXODIUM DISTICHUM	BALD CYPRESS	2.5" MIN. CAL., 25 GAL. 8'-16' MIN. HT.
	UP	5	ULMUS PARVIFOLIA	ALLEE ELM	3.5" MIN. CAL., 65 GAL. 8'-16' MIN. HT.
	MG*	10	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3.5" MIN. CAL., 65 GAL. 10'-18' MIN. HT.
	SA	0	SALIX BABYLONICA	WEeping WILLOW	3.5" MIN. CAL., 65 GAL. 11'-18' MIN. HT.
	SP*	38	SABLE PALMETTO	CABAGE PALM	8'-10' OA
	PD	0	PHOENIX DACTYLIFERA	MEDJOOl DATE PALM	65 GAL. 10'-12' CT.
	PR	6	PHOENIX ROBELENNI	PIGMY DATE PALM	65 GAL. 10'-12' HT. 3.5" MIN. CAL.
	JH*	484	JUNIPER HORIZONTALIS	CREEPING JUNIPER	1 GAL. 12"-18" SPD. 18" O.C.
	TV*	399	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL. 12"-18" SPD. 18" O.C.
	RI*	77	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	3 GAL., 10" HT. MIN., 24"O.C.
	TA	515	TRACHELOSPERUM ASIATICUM "MINIMA"	ASIAN JASMINE	6" HT. X 12" SPREAD, 1 GAL. CONT. 18" O.C.
	IA2*	24	ILEX ATTENUATA	EAST PALATKA HOLLY	1.25" MIN. CAL., 30 GAL. 4.5'-8' HT.
	PM	342	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	7 GAL., 30" O.C.. 30" HT.
	PT*	180	PITTOSPORUM TOBIRA	GREEN PITTOSPORUM	3 GAL., 24" HT. MIN., 30"O.C.
	SR*	0	STRELITZIA REINAE	BIRD-OF-PARADISE	3 GAL., SPACING PER PLAN
	XP	0	XANADU PHILODENDRON	PHILODENDRON	3 GAL., SPACING PER PLAN
	VS	243	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 24" HT. MIN., 30"O.C.

* DENOTES XERIC/DROUGHT TOLERANT PLANT

1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
R E V I S I O N S			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATE OF AUTHORIZATION NUMBER: 00003910			
PLANT LIST			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49PL.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: DE CILLA		
SCALE: NOT TO SCALE	SHEET 38A OF 56	SEAL	

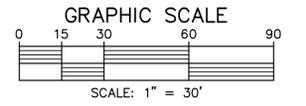


SEE SHEET 41

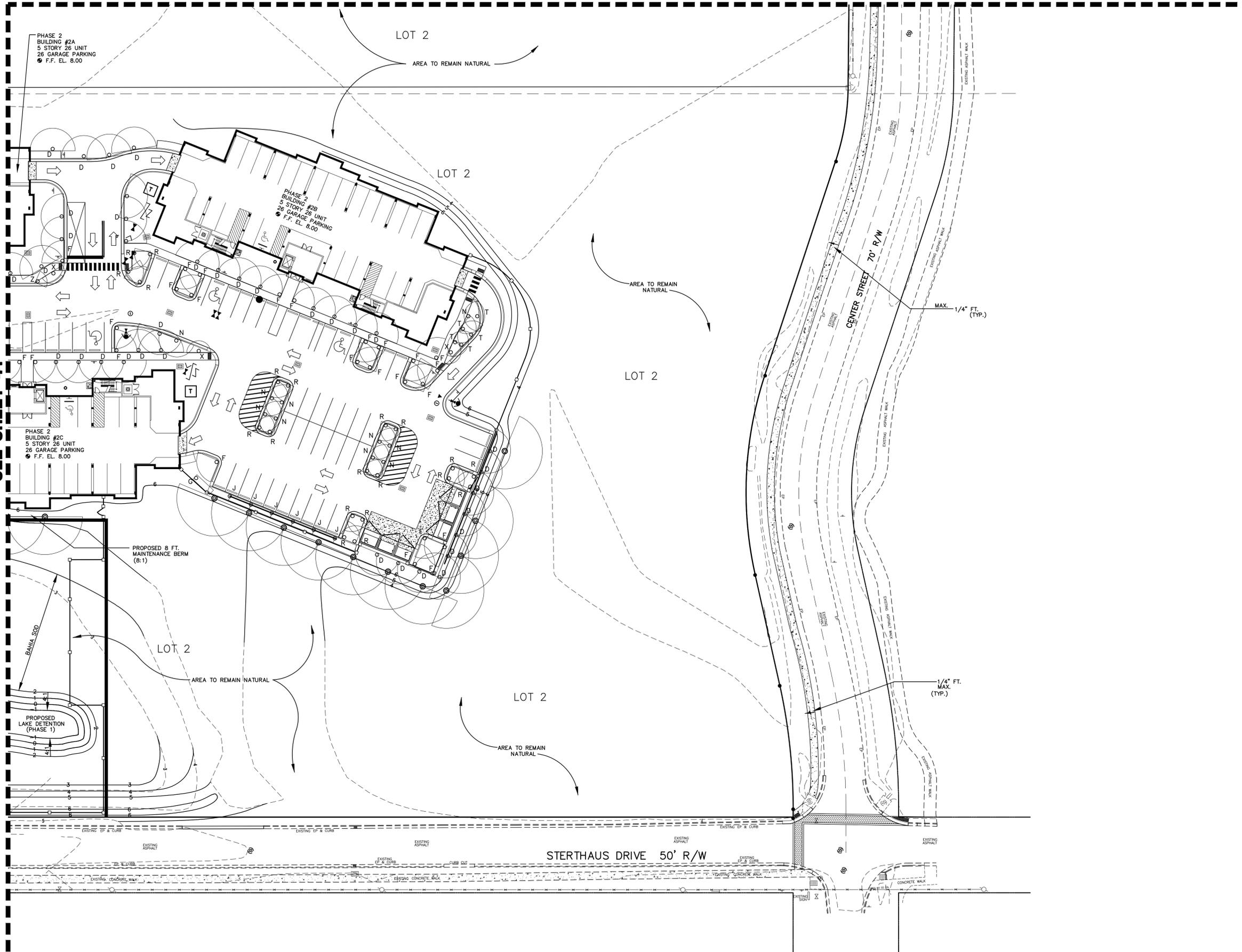
1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
IRRIGATION PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	40 OF 56
			SEAL

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SEE SHEET 44

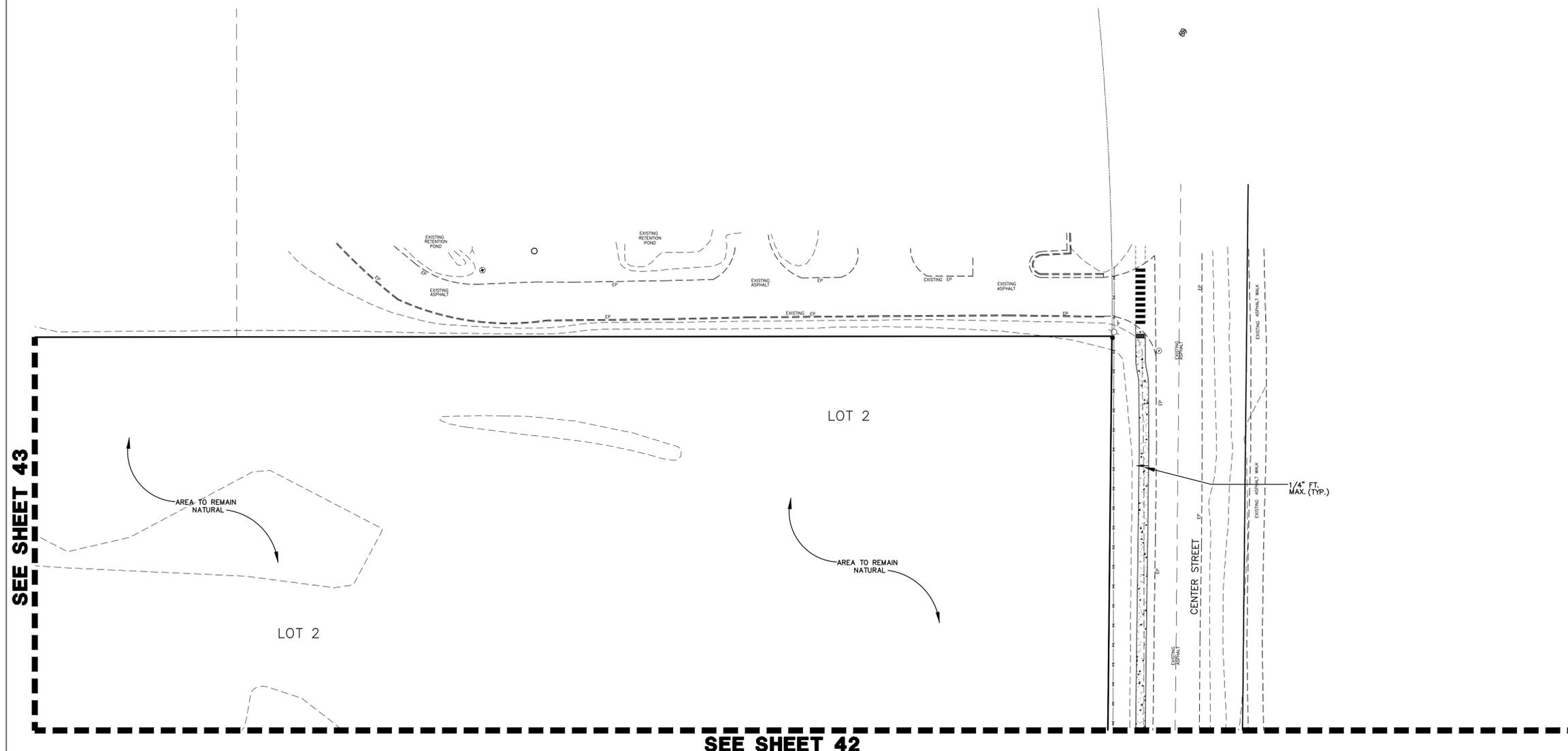
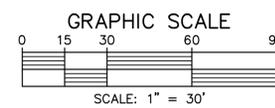


SEE SHEET 41



1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
IRRIGATION PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	1"=30'	SHEET	42 OF 56
			SEAL

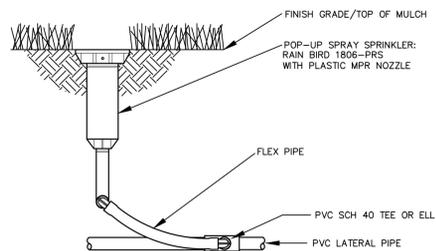
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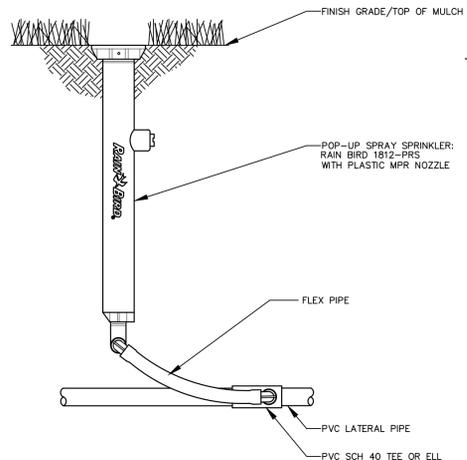
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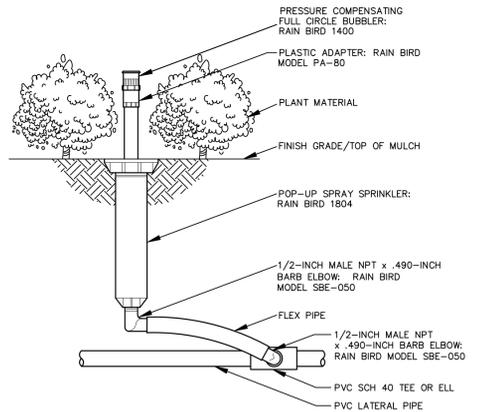
1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386) 677-6891 FAX (386) 677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION NUMBER: 00003910			
IRRIGATION PLAN			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49SP.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARNDEN
SCALE:	1"=30'	SHEET	44 OF 56
			SEAL



MODEL 1806-PRS 6" POP-UP
FIXED-SPRAY (MPR SERIES), FLEX PIPE, PRESSURE REGULATING



MODEL 5500 SERIES POP-UP ROTOR
GEAR DRIVE (5500 NOZZLE), FLEX PIPE, PRESSURE REGULATING



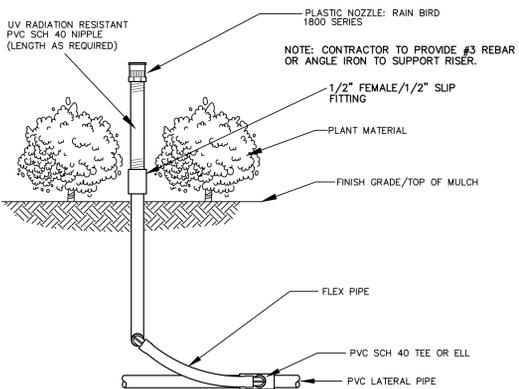
MODEL 1812-PRS 12" POP-UP
FIXED-SPRAY (MPR SERIES), FLEX PIPE, PRESSURE REGULATING

NOZZLE NO.	PSI	GPM	RADIUS
2	40	1.6	37'
3	40	2.7	39'
4	40	2.9	41'
5	40	3.5	41'
6	40	4.8	45'
8	40	6.4	45'
10	40	7.5	41'
12	40	10.1	39'

NOZZLE NO.	PSI	GPM	RADIUS
18S	40	1.5	19'
22S	40	1.6	21'
26S	40	1.9	25'
30S	40	1.8	29'

SYM	SPEC	P.S.I.	G.P.M.	RADIUS	PATTERN
A	15F	30	3.7	15'	FULL QUARTER
B	15TQ	30	2.78	15'	THREE QUARTER
C	N/A	-	-	-	N/A
D	15H	30	1.85	15'	HALF
E	15T	30	1.23	15'	THIRD
F	15Q	30	0.92	15'	QUARTER
G	15EST	30	0.61	4'x15'	END STRIP
H	15CST	30	1.21	4'x30'	CENTER STRIP
J	15SST	30	1.21	4'x30'	SIDE STRIP
K	12F	30	2.6	12'	FULL
L	12TQ	30	1.95	12'	THREE QUARTER
M	N/A	-	-	-	N/A
N	12H	30	1.3	12'	HALF
O	30-B	30	0.50	5'	BUBBLER
P	12T	30	0.87	12'	THIRD
R	12Q	30	0.65	12'	QUARTER
S	10F	30	1.58	10'	FULL
T	10H	30	0.79	10'	HALF
V	10Q	30	0.39	10'	QUARTER
W	8F	30	1.05	8'	FULL
X	8H	30	0.52	8'	HALF
Y	8T	30	0.35	8'	THIRD
Z	8Q	30	0.26	8'	QUARTER
5F	5F	30	0.41	5'	FULL
5H	5H	30	0.20	5'	HALF
5T	5T	30	0.13	5'	THIRD
5Q	5Q	30	0.10	5'	QUARTER

SPRINKLERS: PRESSURE COMPENSATING FULL-CIRCLE BUBBLER



MODEL: 1800 NOZZLE ON RISER
FIXED SPRAY, FLEX PIPE

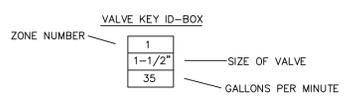
GENERAL IRRIGATION NOTES

1. THE CONTRACTOR SHALL REFER TO THE LANDSCAPING PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW & EXISTING TREES & LARGE SHRUBS.
2. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING ONLY RAIN BIRD CONNECTORS & SEALANT.
3. UNLESS OTHERWISE INDICATED, PIPING TO A SINGLE SPRAY HEAD SHALL BE 1/2" PVC PIPING. UNLESS OTHERWISE INDICATED, PIPING TO A SINGLE ROTOR HEAD SHALL BE 3/4" PVC PIPING.
4. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18". ALL LATERAL PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
5. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON THE EXACT LOCATION OF THE IRRIGATION CONTROLLERS.
6. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS SHOWN ON PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.
7. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES & REGULATIONS.
8. ALL PIPING ON THE PLANS IS DIAGRAMMATICALLY ROUTED FOR CLARITY & SHALL BE ROUTED TO AVOID PLANTS. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS & ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT. PIPING SHOWN RUNNING PARALLEL UNDER SIDEWALKS ADJACENT TO PLANTED AREAS IS FOR DESIGN CONVENIENCE ONLY & SHALL BE INSTALLED WITHIN THE PLANTED AREA.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE SPRINKLERS ARC & RADIUS TO ASSURE 100 PERCENT COVERAGE.
10. 115 VOLT, SINGLE PHASE ELECTRICAL POWER FOR THE IRRIGATION CONTROLLERS SHALL BE COORDINATED BY THE IRRIGATION CONTRACTOR WITH THE ELECTRICAL ENGINEERING DRAWINGS. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL HOOK-UP INCLUDING ELECTRICAL MATERIALS.
11. VALVES LOCATED OUTSIDE OF RIGHT-OF-WAY ARE FOR DESIGN PURPOSES ONLY & SHALL BE LOCATED INSIDE OF RIGHT-OF-WAY.
12. ANY CHANGES TO IRRIGATION ZONE PIPING TO BE APPROVED BY THE CITY LANDSCAPE ARCHITECT PRIOR TO WORK BEING DONE.
13. ALL XERIC IRRIGATION ZONES SHALL HAVE RUN TIMES REDUCED OR ELIMINATED AFTER SUFFICIENT PLANT ESTABLISHMENT. THIS NOTE TO APPEAR INSIDE THE CONTROLLER FOR MAINTENANCE PERSONNEL INFORMATION.

SPECIFIC IRRIGATION NOTES

1. IRRIGATION SPRAY HEADS SHALL BE PRESSURE REGULATING.
2. SYSTEM SUPPLY REQUIREMENTS ARE: 40 GPM @ 40 PSI AT WATER SOURCE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF DESIGN FLOW RATE AND PRESSURE DOES NOT EXIST.
3. LATERAL PIPES SHALL BE SIZED SUCH THAT THE WATER VELOCITY DOES NOT EXCEED 5 FEET/SECOND. CONTRACTOR SHALL APPLY THE FOLLOWING TABLE:

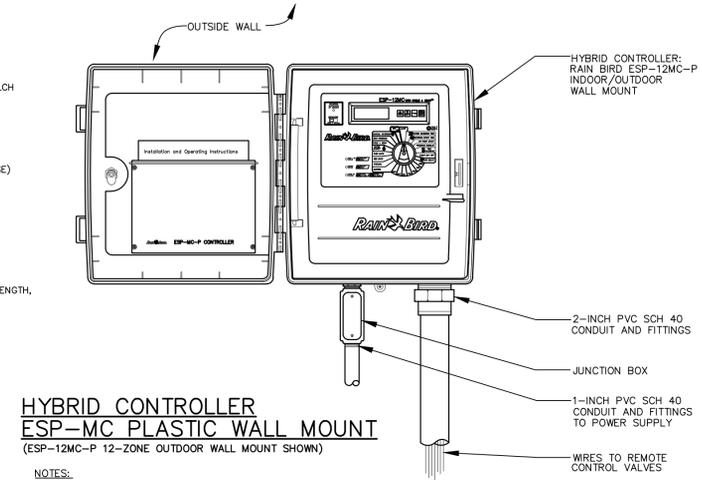
1/2"	<6 GPM
3/4"	<10 GPM
1"	<15 GPM
1 1/4"	<26 GPM
1 1/2"	<36 GPM
2"	<50 GPM
2 1/2"	<80 GPM
3"	<120 GPM
4"	<200 GPM



VALVES: PEB OR PESB SERIES
PLASTIC VALVE, ELECTRIC (MODEL PEB SHOWN)

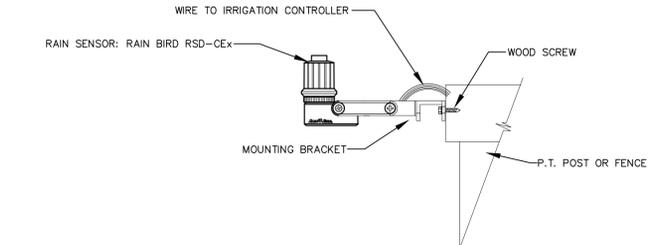
IRRIGATION LEGEND

- RAIN BIRD 1812-PRS SERIES - 12" POP-UP SPRAY HEAD, INSTALLED AS SHOWN, SEE NOZZLE CHART
- RAIN BIRD 1806-PRS SERIES - 6" POP-UP SPRAY HEAD, INSTALLED AS SHOWN, SEE NOZZLE CHART
- ⊙ RAIN BIRD MODEL 5500 SERIES SPRINKLER-GEAR DRIVE, FULLY ADJUSTABLE
- ⊗ RAIN BIRD PEB OR PESB SERIES - ELECTRIC CONTROL VALVE INSTALLED IN VB-STANDARD VALVE BOX.
- ◀ DENOTES PROPOSED VALVE (SIZE AS SHOWN)
- DENOTES PROPOSED IRRIGATION MAIN, SCH. 40 (SIZE AS SHOWN)
- - - DENOTES PROPOSED IRRIGATION LATERAL, SCH. 40 (SIZE AS SHOWN)
- == P.V.C. SLEEVE SIZE AS SHOWN
- DENOTES PROPOSED RAIN SENSOR, RAIN BIRD RSD SERIES
- DENOTES PROPOSED RAIN BIRD ESP-MC SERIES CONTROLLER

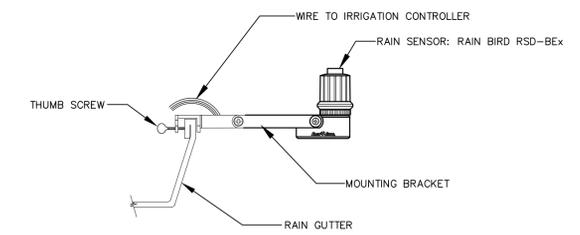


HYBRID CONTROLLER ESP-MC PLASTIC WALL MOUNT
(ESP-12MC-P 12-ZONE OUTDOOR WALL MOUNT SHOWN)

- NOTES:
1. MODEL NUMBERS FOR DIFFERENT NUMBER OF ZONES ARE AS FOLLOWS:
ESP-BMC-P FOR 8-ZONE
ESP-16MC-P FOR 16-ZONE
ESP-24MC-P FOR 24-ZONE
ESP-32MC-P FOR 32-ZONE
ESP-40MC-P FOR 40-ZONE
2. FOR INDOOR WALL MOUNT, JUST CHANGE NOTATION ON DETAIL.
3. CONTRACTOR MAY SUBSTITUTE STEEL WALL MOUNT IN LIEU OF PLASTIC WALL MOUNT AT NO ADDITIONAL COST TO THE OWNER.

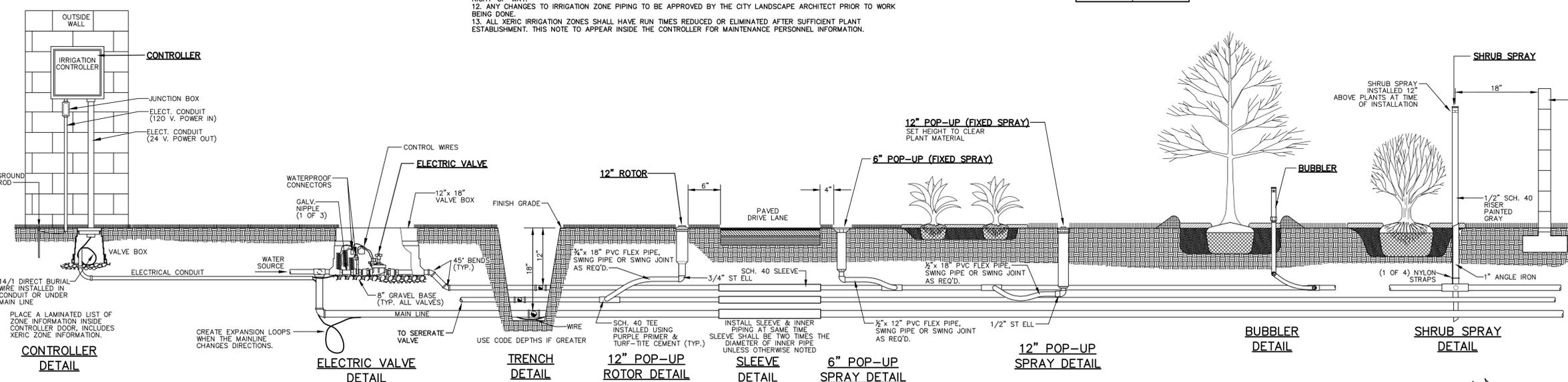


MODEL RSD-CEx POST/FENCE MOUNTING



MODEL RSD-Bex GUTTER MOUNTING

RAIN SENSOR MOUNTING DETAILS



TYPICAL IRRIGATION DETAILS
NOTE: REQUIREMENTS VARY; CHECK LOCAL CODES PRIOR TO INSTALLATION.

1	9.24.14	REVISED	CH
NO.	DATE	DESCRIPTION	BY
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATE OF AUTHORIZATION NUMBER: 00003910			
IRRIGATION DETAILS			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO. 13-49LID.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 5.23.14	CADD TECH: C.HARDEN		
SCALE: NONE	SHEET 45 OF 56	SEAL	



ES BMP 1.01

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

DEFINITION

A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE

TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

CONDITIONS WHERE PRACTICE APPLIES

WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVES DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.

PLANNING CONSIDERATIONS

CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THE ENTER A PUBLIC ROAD. IF THE ACTION OF THE VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DESIGN CRITERIA

AGGREGATE SIZE

FDOT AGGREGATE NO. 1 (1.5 - 3.5 INCH STONE) SHOULD BE USED.

ENTRANCE DIMENSIONS

AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. (SEE DETAIL).

WASHING

IF CONDITIONS OF THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE. SEE DETAIL.

LOCATION

THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

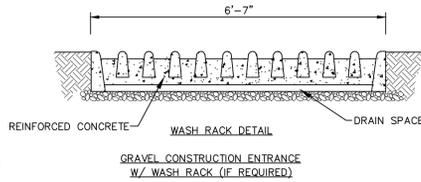
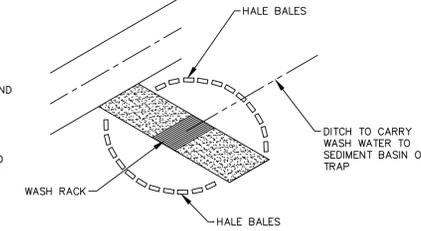
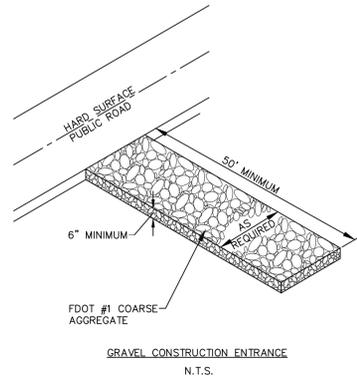
INDICATE PROPOSED LOCATION OF GRAVEL CONSTRUCTION ENTRANCE ON THE GRADING PLAN.

CONSTRUCTION SPECIFICATIONS

THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE TO MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE

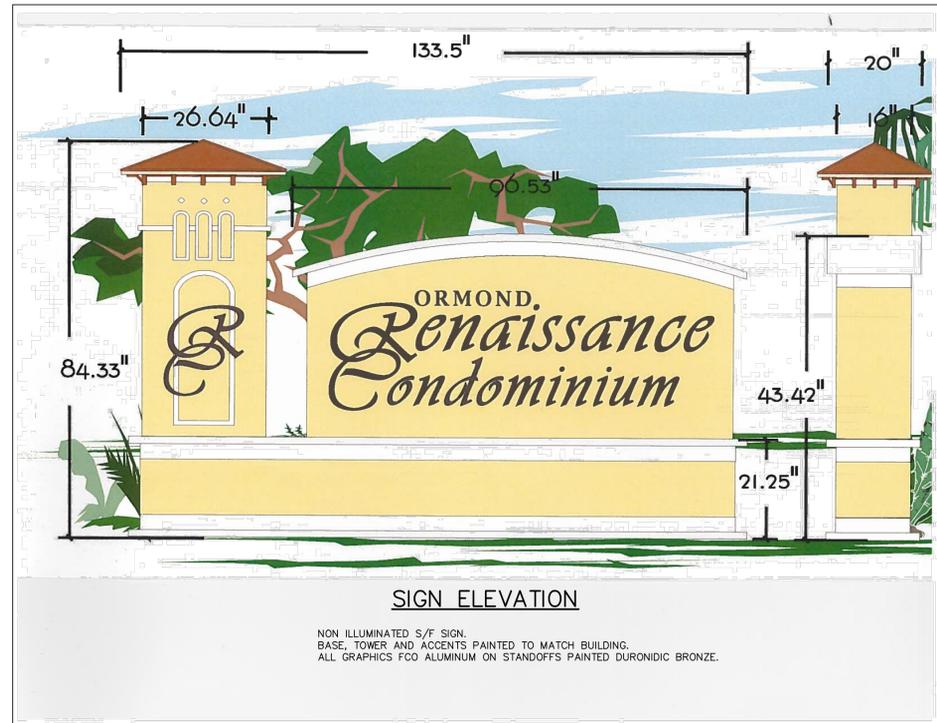
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.



NOTE: COMPLY WITH FDOT REQUIREMENTS FOR SOIL TRACKING PREVENTION DEVICE IN FDOT ROADWAY ROW (INDEX NO. 106)

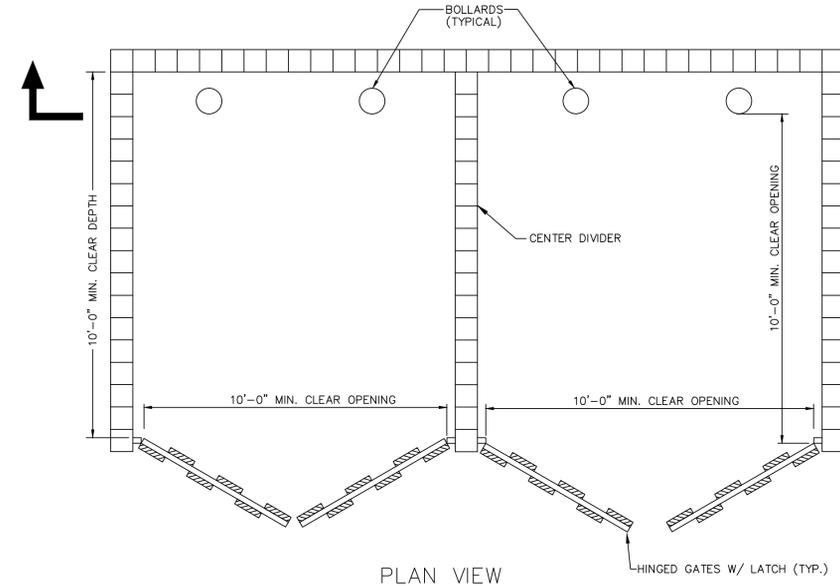
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TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

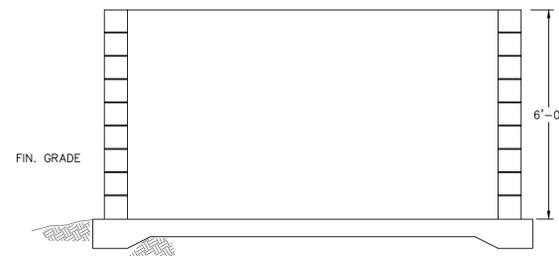


SIGN ELEVATION

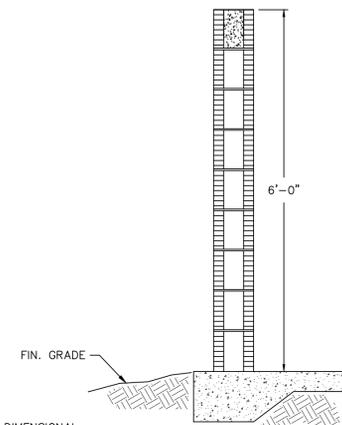
NON ILLUMINATED S/F SIGN. BASE, TOWER AND ACCENTS PAINTED TO MATCH BUILDING. ALL GRAPHICS FCO ALUMINUM ON STANDOFFS PAINTED DURONIC BRONZE.



PLAN VIEW



SECTION



WALL SECTION

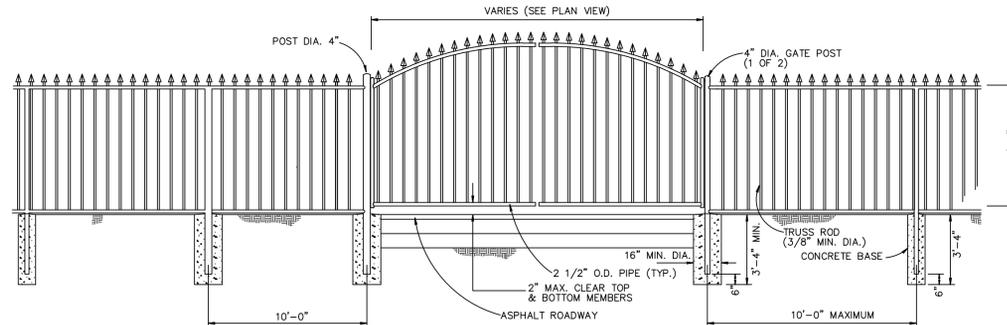
- NOTES:
- BLOCK MUST BE FINISHED WITH STUCCO OR BRICK VENEER PAINTED TO MATCH BUILDING.
 - DUMPSTER STRUCTURE SHALL MEET THE REQUIREMENTS OF CHAPTER 2, ARTICLE 3, 2-50, J OF THE LAND DEVELOPMENT CODE (LDC).
 - SHRUB PLANTINGS REQUIRED (MIN. 3-FOOT WIDE PLANTING AREA) AROUND PERIMETER WALLS (EXCEPT OPENING), OR APPROVED EQUAL.
 - THE CITY HAS A CONTRACTOR FOR ROLL OFF SERVICE. NO OTHER CONTRACTOR SHALL BE PERMITTED TO PROVIDE THIS SERVICE. VERIFY COMPANY UNDER CONTRACT WITH THE CITY. DUMPSTER ENCLOSURE HEIGHT MAY BE INCREASED TO A MAXIMUM HEIGHT OF EIGHT (8) FEET.
 - IF BOLLARDS ARE INSTALLED CLEAR DEPTH MUST BE MEASURED FROM BOLLARDS TO GATES.

- NOTE TO DESIGNER:
- THIS DETAIL REFLECTS CITY DIMENSIONAL REQUIREMENTS FOR THE DUMPSTER ENCLOSURE ONLY.
 - PROVIDE PROPOSED WALL MATERIAL AND HORIZONTAL AND VERTICAL WALL REINFORCING REQUIREMENTS.
 - PROVIDE PROPOSED SLAB DESIGN REQUIREMENTS INCLUDING REINFORCING.
 - PROVIDE ANY OTHER CONSTRUCTION DETAILS THAT MAY BE REQUIRED.

DUAL-USE DUMPSTER ENCLOSURE

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NOTE: SEE SITE PLAN FOR VARIATION



SWING GATE ELEVATION

STORM DRAINAGE CONSTRUCTION NOTES

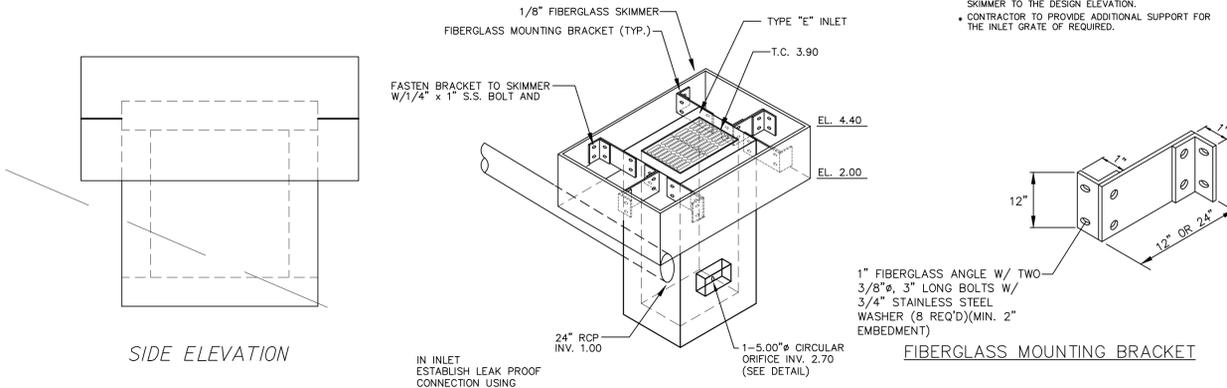
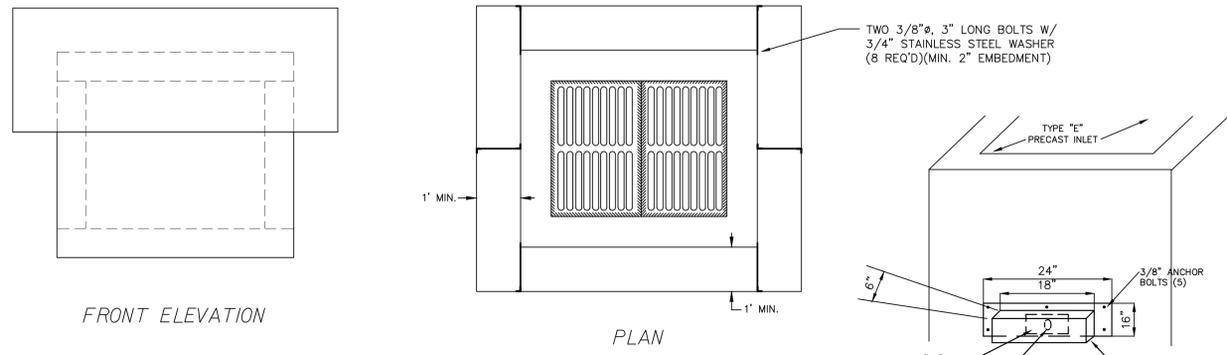
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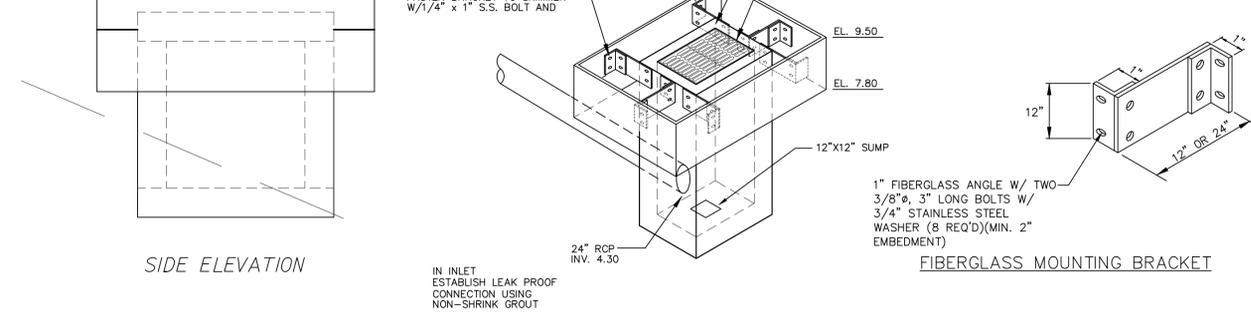
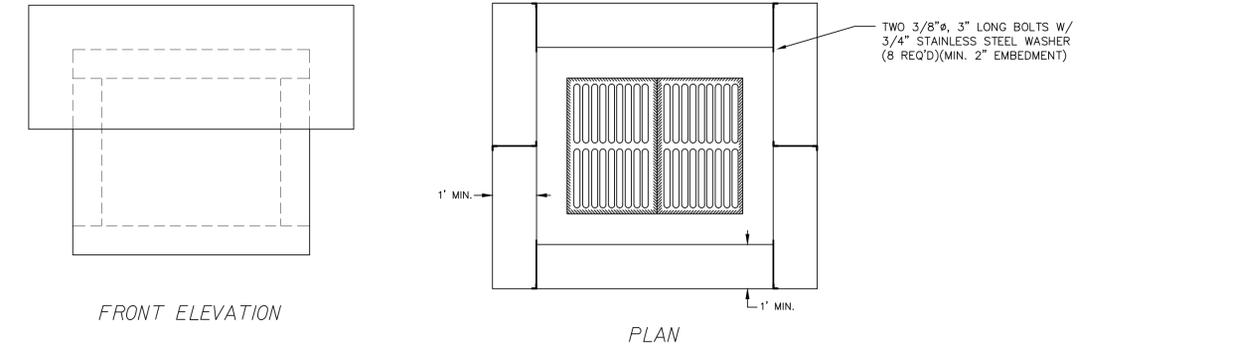
- CONSTRUCTION STANDARDS FOR ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO THE LATEST EDITION OF THE "FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND AS SPECIFIED HEREIN.
- ALL STORM WATER PIPES AND STRUCTURES SHALL BE INSTALLED ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIALS (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW THE COMPONENT BEING INSTALLED.
- ALL PIPES AND STRUCTURES SHALL BE PLACED TRUE TO LINES AND GRADES AS DEPICTED ON THE APPROVED PLANS.
- ALL PIPE JOINTS SHALL BE PROPERLY HONED AND FILTER FABRIC LINED USING A METHOD TO HOLD THE FABRIC IN PLACE DURING BACKFILL.
- BACKFILL AND COMPACT TO THE SPRING-LINE (CENTER OF PIPE) ELEVATION AND REQUEST CITY INSPECTION AND APPROVAL BEFORE CONTINUING.
- ALL WORK COVERED WITHOUT CITY INSPECTION WILL BE REQUIRED TO BE EXCAVATED AND INSPECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN GRANULAR MATERIAL IN MAX 6" LIFTS WITH A MINIMUM COMPACTION OF 98 PERCENT (AASHTO-T180) IN PAVED AREAS AND 95 PERCENT (AASHTO-T180) IN UNPAVED AREAS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS AT POINTS 1' ABOVE THE PIPE AND AT A MAX. 1' VERTICAL INTERVALS TO FINISH GRADE, AT A MAXIMUM SPACING OF 100 FEET, AND TO FURNISH COPIES OF TEST REPORTS PROMPTLY TO THE CITY'S INSPECTOR.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE (RCP), HIGH DENSITY POLYETHYLENE (HDPE), POLYVINYL CHLORIDE (PVC) OR ALUMINUM CORRUGATED METAL PIPE (ACMP), AS SHOWN ON THE PLANS.
- STORM DRAINAGE PIPES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE A MINIMUM OF FIFTEEN (15) INCH RCP DIAMETER OR EQUIVALENT.
- STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION.
- STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF.
- WET DETENTION PONDS SHALL BE EIGHT (8) FEET MINIMUM TO TWELVE (12) FEET MAXIMUM DEPTH BELOW THE DESIGN LOW OR NORMAL WATER STAGE.
- MAXIMUM DISTANCES BETWEEN INLETS AND/OR JUNCTION BOXES:

PIPES SIZE (INCHES)	LENGTH OF RUN (FEET)
15	150
18	300
24 OR GREATER	400
- ALL SWALES, DITCHES, AND DRY RETENTION POND SIDE SLOPES SHALL BE NO STEEPER THAN 4:1 (H:V) AND SHALL BE SODDED.
- ALL RETENTION POND BACKSLOPES SHALL BE NO STEEPER THAN 3:1 (H:V) AND SHALL BE SODDED.
- NORMAL ROADSIDE SWALES SHALL BE CONSTRUCTED TO A MAXIMUM DEPTH OF 18" BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB.
- CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES.
- A MINIMUM ONE FOOT (1') FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL POINTS AROUND WET RETENTION PONDS.
- A MINIMUM SIX INCH (6") FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL POINTS AROUND DRY RETENTION PONDS.
- POND INFLOW SHALL GENERALLY BE CONSTRUCTED WITH REINFORCED CONCRETE AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- OUTLET STRUCTURES ARE REQUIRED ON ALL PONDS. ALL OUTLET STRUCTURES SHALL BE PERMANENT CONCRETE OVERFLOW WEIRS OR CONCRETE OUTLET CONTROL STRUCTURES. NO SODDED WEIRS OR OTHER NON-PERMANENT OVERFLOW STRUCTURES SHALL BE ALLOWED.
- SOIL EROSION CONTROL MEASURES SATISFACTORY TO THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION AND UPON COMPLETION OF THE POND.
- THE CITY MAY REQUEST THAT THE DEVELOPER SUBMIT A REPORT BY A QUALIFIED HYDROLOGIST ON THE IMPACT THE POND WILL HAVE ON NEIGHBORING WATER TABLE ELEVATIONS BOTH DURING CONSTRUCTION AND AFTER POND COMPLETION. THE CITY MAY REQUIRE GROUNDWATER MONITORING DURING THE POND EXCAVATION.
- ADEQUATE MAINTENANCE ACCESS AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL PONDS AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF PONDS.
- IN GENERAL, ALL RETENTION/DETENTION PONDS MUST BE CONSTRUCTED PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING CONSTRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY DEWATERING PERMITS THAT MAY BE REQUIRED.
- CULVERTS CROSSING RIGHT-OF-WAYS SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY.
- ALL STORM WATER DISCHARGE FROM RETENTION/DETENTION PONDS ARE REQUIRED TO BE CHANNELLED INTO DEFINED DRAINAGE PATHS TO EXISTING WATER BODIES, WETLANDS, DITCHES, ETC.
- THE CITY OF ORMOND BEACH REQUIRES THE DEVELOPER TO TELETYPE ANY AND ALL STORM SEWER PIPE SYSTEMS IN THE PRESENCE OF THE CITY INSPECTOR BY A REPUTABLE COMPANY THAT ENGAGES IN THIS TYPE OF WORK. THE DVD SHALL BE IN HIGH QUALITY STANDARD RESOLUTION USING A CAMERA WITH SUITABLE LIGHTING TO ALLOW A CLEAR FOCUSED PICTURE OF THE ENTIRE INSIDE PIPE CIRCUMFERENCE. THE DVD SHALL BE NON-STOP WITH AUDIO DESCRIBING WHAT IS BEING VIEWED. COPIES OF DVD SHALL BE SUBMITTED IN DVD FORMAT ACCOMPANIED BY WRITTEN LOGS DESCRIBING THE CONDITION OF THE LINES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO REQUESTING FINAL INSPECTIONS. ANY DEFECTS NOTED SHALL BE CORRECTED PRIOR TO ACCEPTANCE BY THE CITY OR ISSUANCE OF CERTIFICATE OF OCCUPANCY.

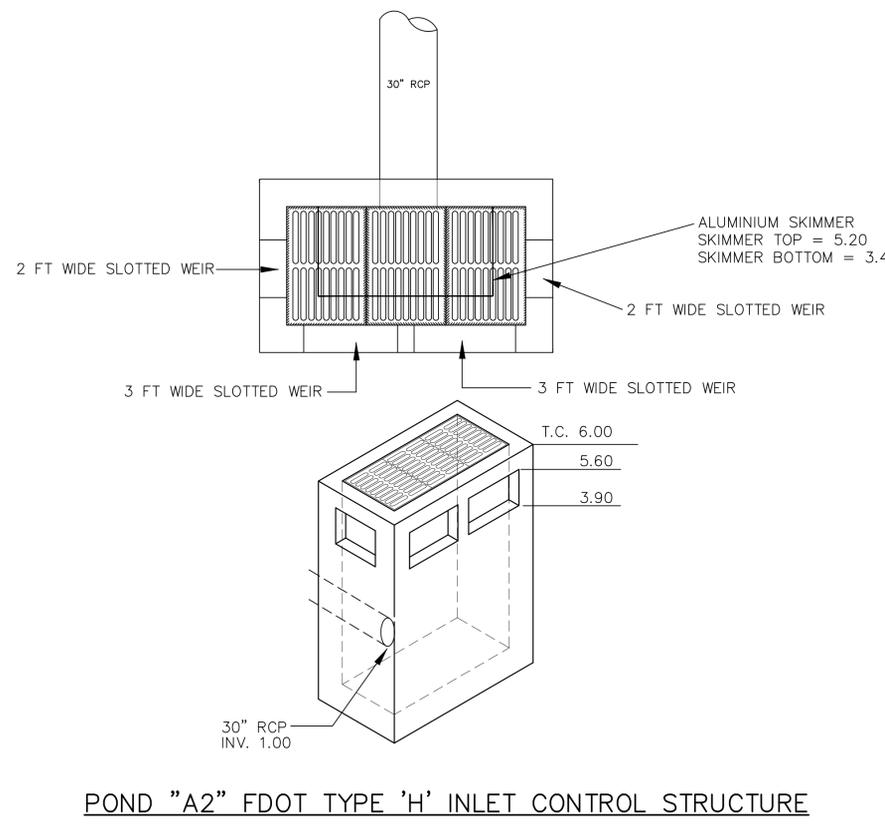
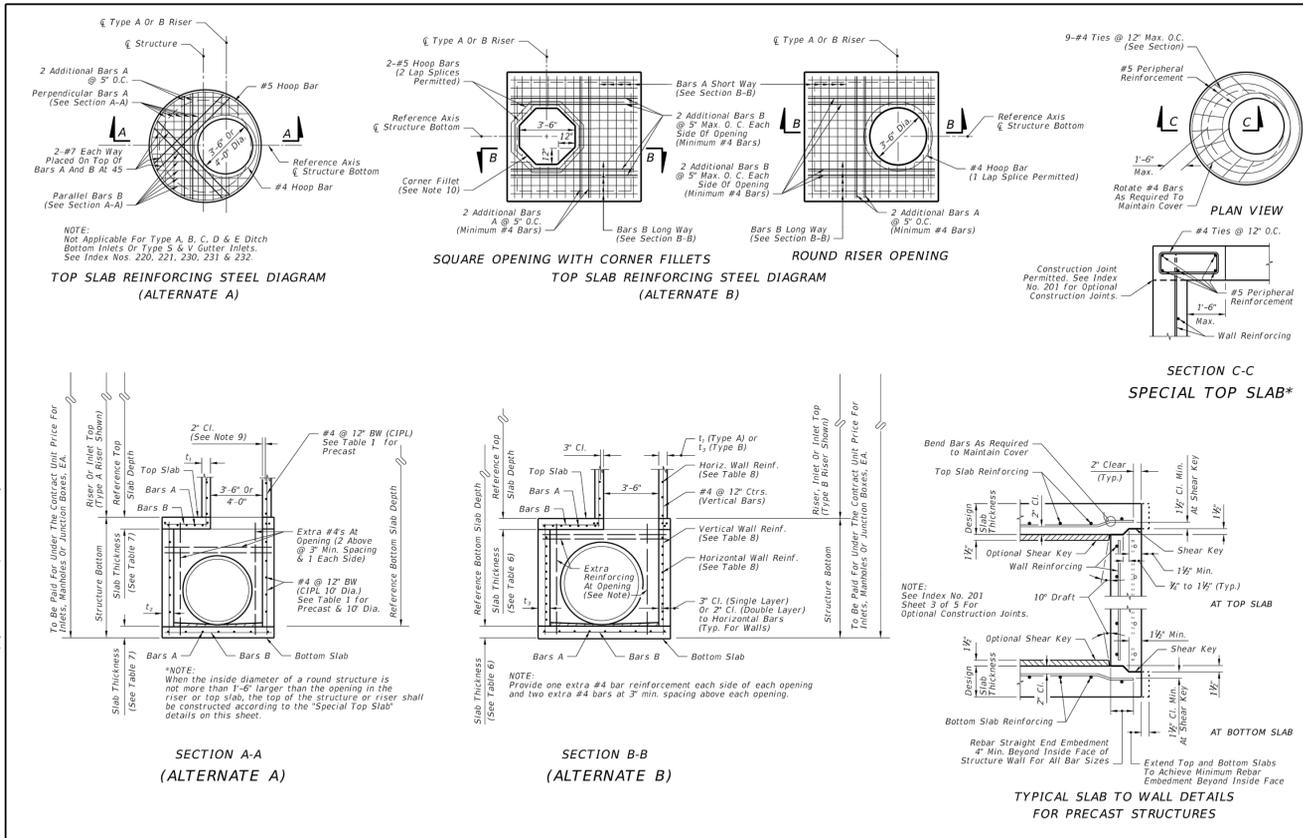
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1	9.24.14	REVISED		
REVISIONS				
PARKER MYNCHENBERG & ASSOCIATES, INC.				
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATE OF AUTHORIZATION NUMBER: 00003910				
PAVING & DRAINAGE DETAILS				
ORMOND RENAISSANCE CONDOMINIUM ORMOND BEACH * FLORIDA				
FILE NO.	13-49PD.DWG	DESIGNER:	P.MYNCHENBERG	
DATE:	5.23.14	CADD TECH:	C.HARDEN	
SCALE:	NONE	SHEET	48 OF 56	SEAL



"E" INLET CONTROL STRUCTURE "A"
(POND "A1" - PHASE 1)



"E" INLET CONTROL STRUCTURE "B"
(POND "B" - PHASE 3)

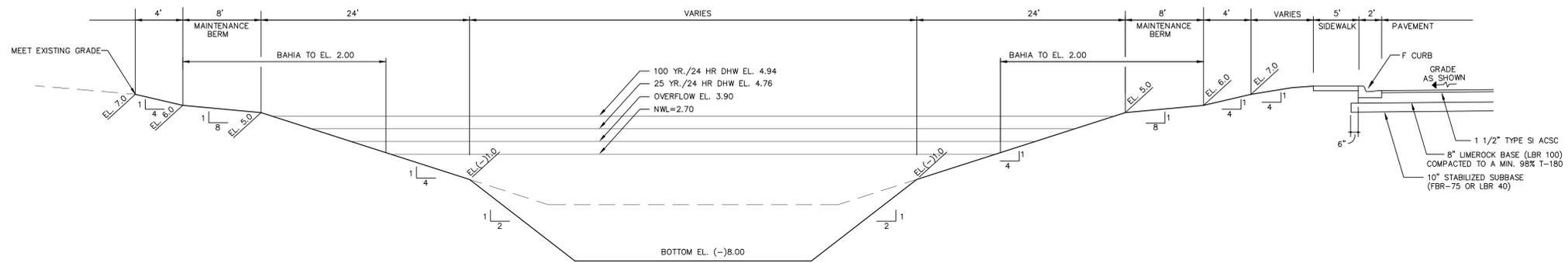


POND "A2" FDOT TYPE 'H' INLET CONTROL STRUCTURE

LAST REVISION	DESCRIPTION	FDOT 2014 DESIGN STANDARDS	INDEX NO.	SHEET NO.
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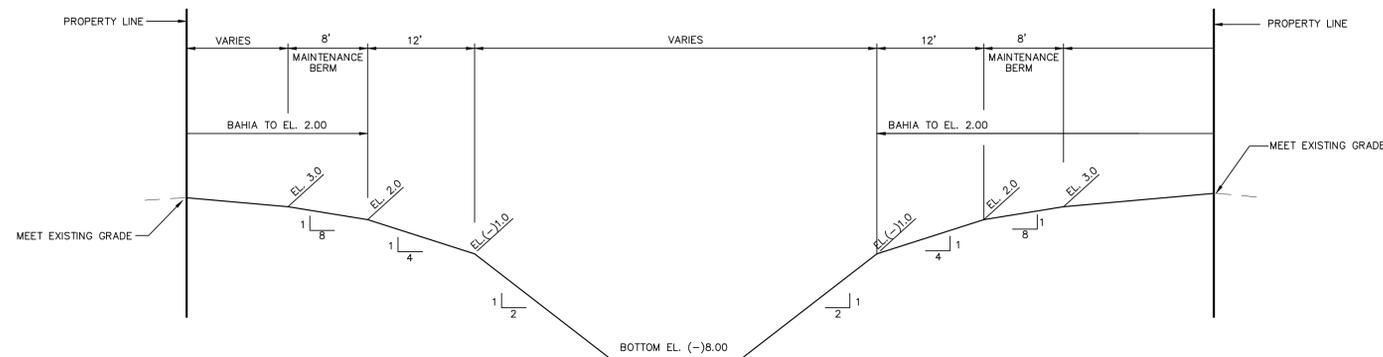
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SCALE:	NONE	SHEET	49 OF 56
			SEAL

X:\Brazos\Work\RENAISSANCE\RENAISSANCE\COVER & DETAILS\15E-49PD.DWG, 10/06/2014 1:48:24 PM, DWG PLOT PLOT.PLS, C:\USERS\ADMINISTRATOR\APPDATA\LOCAL\TEMP\15E-49PD.DWG



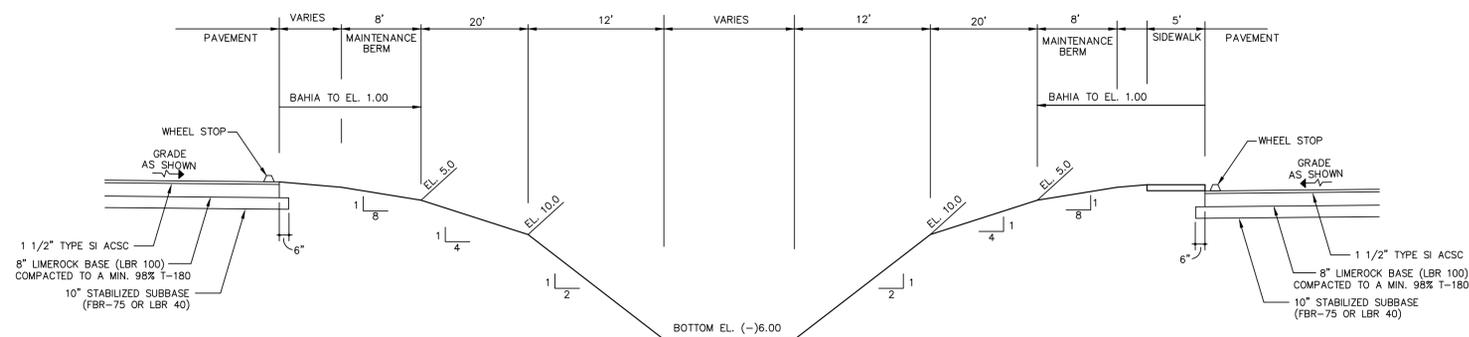
SECTION "A1" - "A1"

POND "A1" - PHASE 1



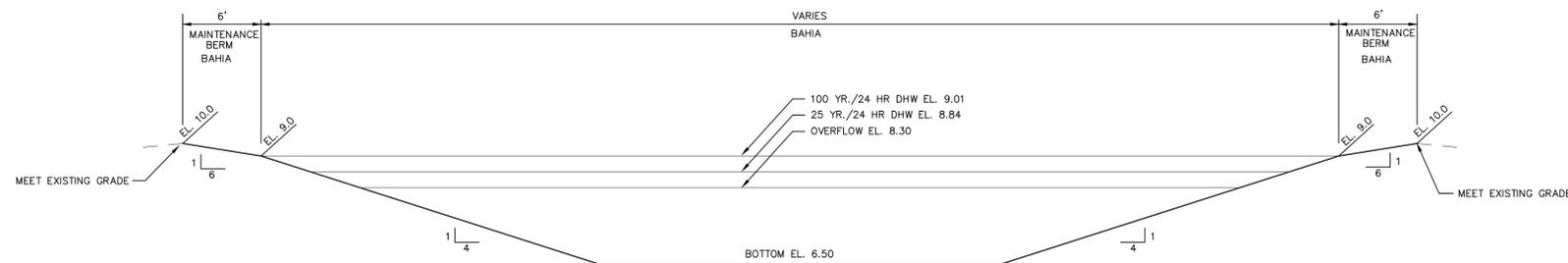
SECTION "A2" - "A2"

POND "A2" - PHASE 1
COMPENSATORY STORAGE



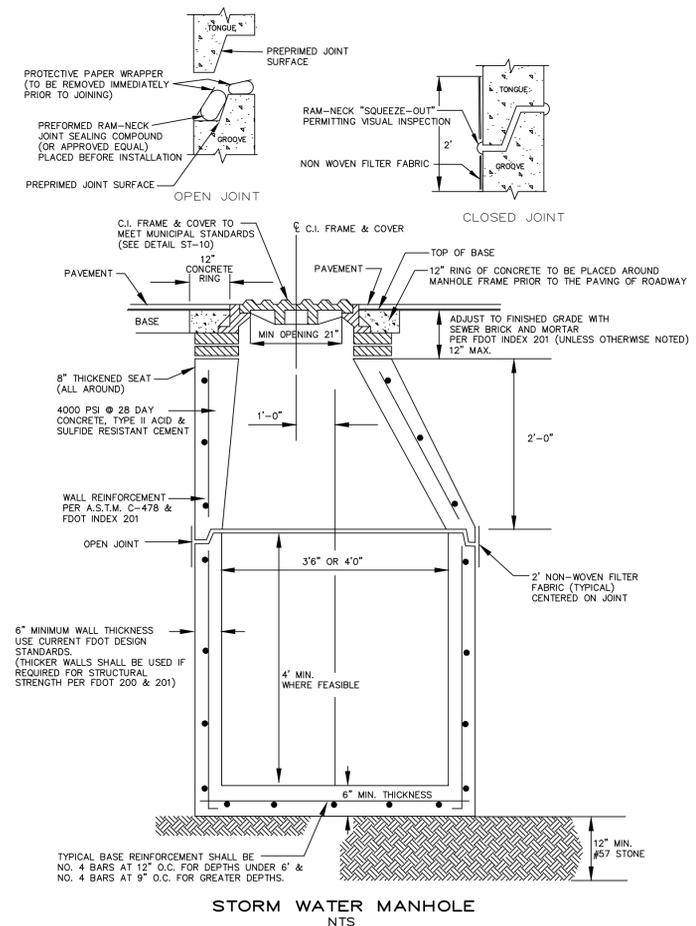
SECTION "A3" - "A3"

POND "A3" - PHASE 1
COMPENSATORY STORAGE

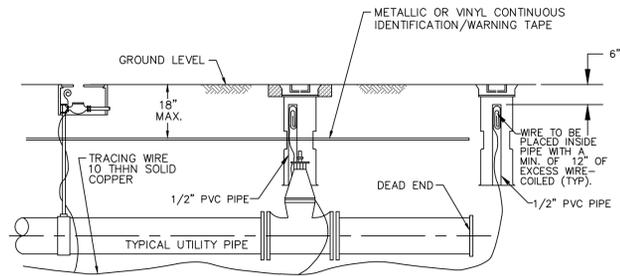


SECTION "B" - "B"

POND "R" - PHASE 3



NO.	DATE	DESCRIPTION	CH BY
1	9.24.14	REVISED	CH
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATE OF AUTHORIZATION NUMBER: 00003910			
PAVING & DRAINAGE DETAILS			
ORMOND RENAISSANCE CONDOMINIUM			
ORMOND BEACH * FLORIDA			
FILE NO.	13-49PD.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	NONE	SHEET	50 OF 56
			SEAL



ALL PVC PIPE, OR OTHER CITY APPROVED NONMETALLIC PIPE INSTALLED WITHIN THE CITY'S WATER, SANITARY SEWER, OR RECLAIMED WATER SYSTEMS, SHALL BE INSTALLED WITH 10 THHN SOLID COPPER TRACING WIRE. IF PIPE IS INSTALLED BY DIRECTIONAL BORE, USE (2) 10 THHN SOLID COPPER TRACING WIRE.

THE TRACING WIRE MUST BE INSTALLED DIRECTLY BELOW THE PIPE AND BROUGHT TO THE SURFACE AT 500' MINIMUM INTERVALS. WIRE SHALL EXTEND A MINIMUM OF 12" ABOVE GRADE AT EACH INTERVAL AND BE COILED AND PLACED IN A VALVE BOX, METER BOX, MANHOLE, CLEANOUT OR OTHER APPLICABLE STRUCTURE.

TRACING WIRE BETWEEN INTERVALS SHALL BE INSTALLED SO AS TO PROVIDE CONTINUOUS CURRENT WHEN LINE LOCATION EQUIPMENT IS CONNECTED TO THE TRACING WIRE. WIRE BRANCHING FROM MAIN LINES SHALL BE LINKED BY A CITY APPROVED CONNECTOR SUCH AS KING # 2011 SAFETY SEALED CONNECTORS OR APPROVED EQUAL.

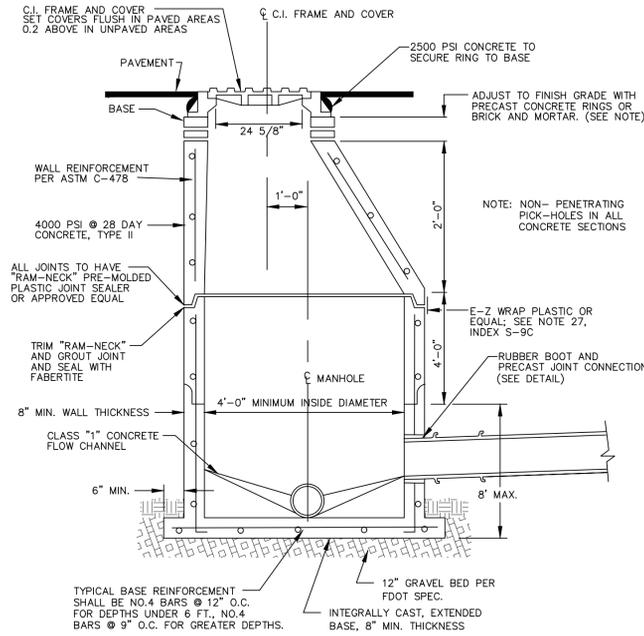
COLOR CODING:

POTABLE WATER SYSTEM: BLUE
 RECLAIMED WATER SYSTEM: LAVENDER
 SANITARY SEWER FORCE MAIN SYSTEM: GREEN

- POTABLE WATER AND RECLAIMED WATER SYSTEMS: WIRE SHALL BE INSTALLED BELOW ALL MAINS AND SERVICE LINES AND ATTACHED TO VALVES, HYDRANTS AND FITTINGS. WIRE INSTALLED WITH SERVICE LINES SHALL CONNECT TO THE WIRE INSTALLED BELOW THE MAIN AND EXTEND TO THE CURB STOP.
- FIRE SPRINKLER LINES: WIRE SHALL CONNECT TO THE WIRE INSTALLED BELOW THE MAIN AND EXTEND TO THE RISER CONNECTION.
- SANITARY SEWER FORCE MAINS: WIRE SHALL BE INSTALLED BELOW THE FORCE MAIN AND ATTACHED TO ALL VALVES AND FITTINGS AND BROUGHT TO THE SURFACE AND PLACED IN A METAL, CITY APPROVED, VALVE BOX.
- DEAD END MAINS: WIRE SHALL BE PLACED IN A PROPERLY IDENTIFIED METAL VALVE BOX AT THE END OF THE RUN.
- WIRE SHALL NOT BE FASTENED OR COILED TO VALVE OPERATING NUT.

UTILITY PIPE LOCATION MATERIALS

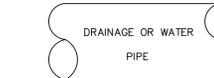
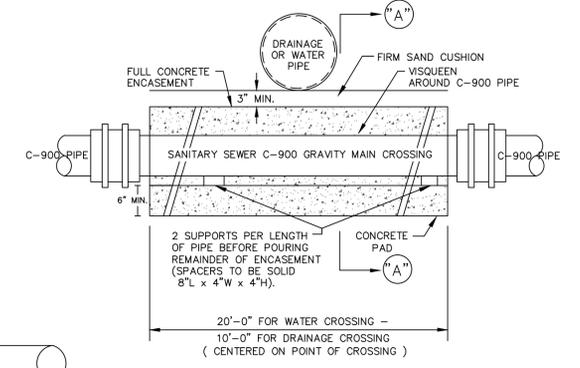
INDEX
 M-10
 MARCH 2014



- NOTES:
- THE TOP OF THE CONE SHOULD BE SET 2 1/2" MIN. - 12" MAX. BELOW THE BOTTOM OF THE MANHOLE COVER FRAME TO ACCOMMODATE FUTURE GRADE CHANGES (USE BRICK AND MORTAR OR PRECAST CONCRETE RINGS).
 - THE INSIDE OR OUTSIDE OF MANHOLES SHALL NOT BE COATED, EXCEPT MANHOLES WHICH RECEIVE DISCHARGE FROM A FORCE MAIN AND ANY MANHOLES LOCATED WITHIN 200' OF A LIFT STATION OR ANY MANHOLES OUTSIDE OF THE RIGHT-OF-WAY. A SULFIDE CORROSION-RESISTANT MATERIAL SHALL BE USED AS LINER FOR THOSE MANHOLES THAT MEET THE CONDITIONS STATED ABOVE. THE LINER SHALL BE EITHER FIBERGLASS OR PVC OR AS APPROVED BY THE CITY ENGINEER.
 - NO DOGHOUSE TYPE MANHOLES SHALL BE PERMITTED WITHIN THE CITY OF ORMOND BEACH.

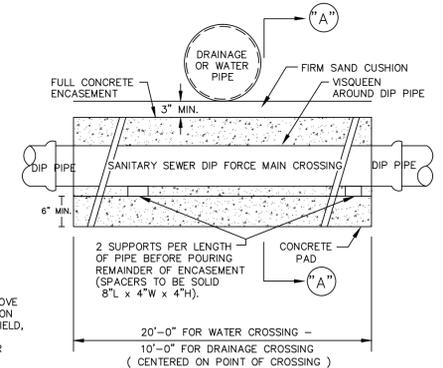
TYPE "A" PRECAST MANHOLE

INDEX
 S-9A
 MARCH 2014



NOTES:

- ALL CONCRETE SHALL BE 3000 PSI MINIMUM STRENGTH AT 28 DAYS.
- WATER MAIN SHALL BE LOCATED ABOVE OR BELOW ENCASEMENT AS SHOWN ON PLANS OR AS DETERMINED IN THE FIELD. USE ENCASEMENT WHERE VERTICAL CLEARANCE WATER MAIN AND SEWER MAIN IS LESS THAN 12 INCHES.



SANITARY SEWER
 CONCRETE ENCASEMENT

NO.	DATE	DESCRIPTION	BY
1	9.24.14	REVISED	CH
REVISIONS			
PARKER MYNCHENBERG & ASSOCIATES, INC.			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATE OF AUTHORIZATION NUMBER: 00003910			
SEWER SYSTEM DETAILS			
ORMOND RENAISSANCE CONDOMINIUM ORMOND BEACH * FLORIDA			
FILE NO.	13-49SD.DWG	DESIGNER:	P.MYNCHENBERG
DATE:	5.23.14	CADD TECH:	C.HARDEN
SCALE:	NONE	SHEET	56 OF 56
			SEAL



**Architects'
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Incorporated**

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Florida Lic. #: AR-0016913

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ORMOND RENAISSANCE CONDOMINIUMS

26 UNITS IN FOUR FLOORS OVER ONE LEVEL OF COVERED PARKING

LIST OF SHEETS

- A-1 COVER SHEET
- A-2 CONDO BUILDING ELEVATIONS
- A-3 CONDO BUILDING LEVEL 1 PLAN
- A-4 CONDO BUILDING LEVELS 2-4 PLAN
- A-5 CONDO BUILDING LEVEL 5 PLAN
- CL-1 CLUBHOUSE DRAWINGS

ORMOND RENAISSANCE CONDOMINIUMS
ORMOND KING CENTER, LLC
FLORIDA
ORMOND BEACH,

PROJECT NO:

13005

DRAWN BY:

PLOT DATE:

9-18-2014

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

CHECKED BY:

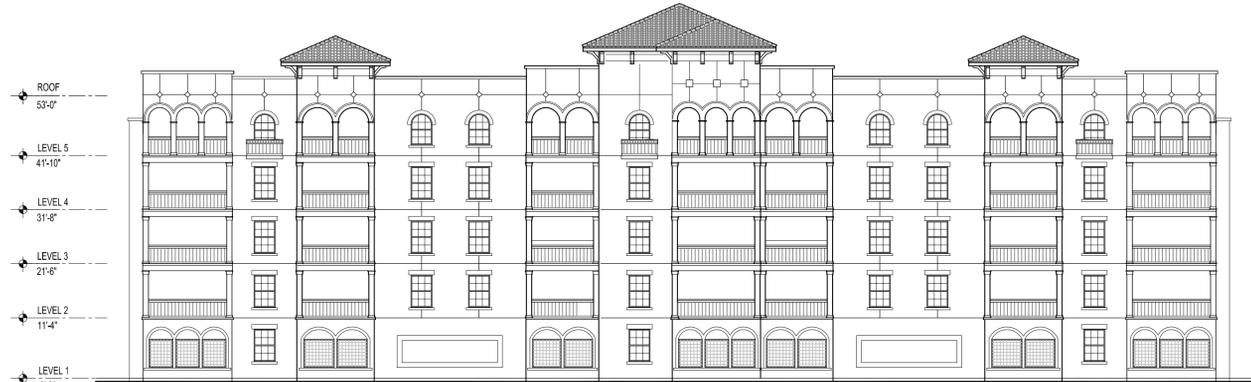
SHEET NO:

A-1
OF

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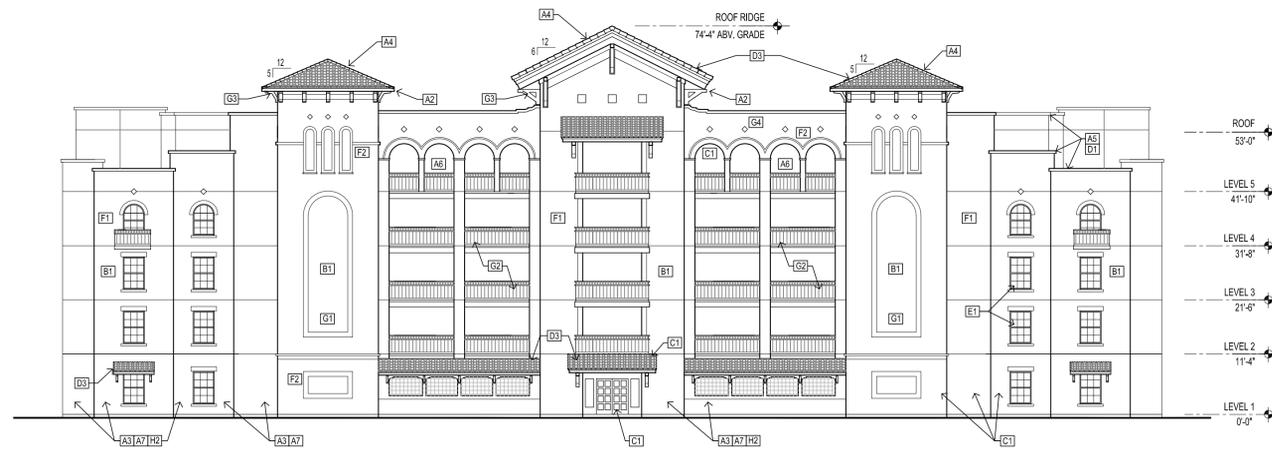
4 LEFT SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 REAR ELEVATION
SCALE: 1/16" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/16" = 1'-0"



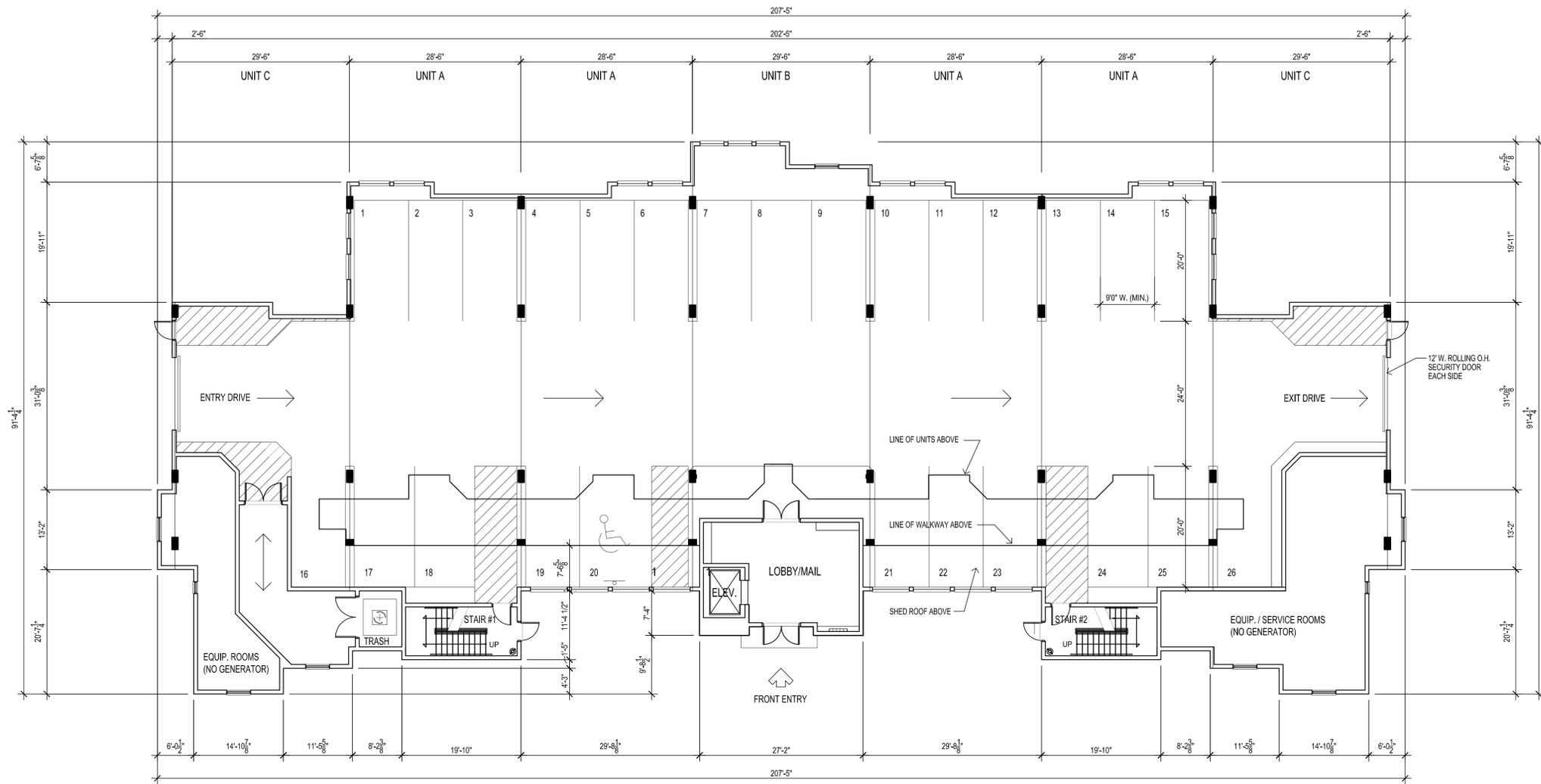
1 FRONT ELEVATION
SCALE: 1/16" = 1'-0"

ARCHITECTURAL DESIGN CRITERIA - NEO-ECLECTIC ARCHITECTURAL STYLE

A - MASSING	B - EXTERIOR FINISH MATERIALS	D - ROOF DESIGN/ MATERIALS	E - WINDOWS	G - OTHER ATTRIBUTES
A1 - BALCONIES (& REAR)	B1 - STUCCO	D1 - VERTICAL CHANGE FROM DOMINANT ROOFLINE	E1 - RECESSED WINDOWS (12" MIN.) W/ STUCCO TRIM (TYP)	G1 - ENCLOSED STAIRCASES
A2 - OVERHANGS	C - DOORS/ ENTRANCE	D2 - FLAT ROOF INTEGRAL TO ARCHITECTURAL STYLE	F - COLORS	G2 - OPEN RAILS
A3 - BUILDING WALL OFFSETS	C1 - ENTRYWAY FEATURES (COLUMNS, ARCHES, AWNING, OFFSETS) FRONT AND REAR	D3 - BARREL SHAPED ROOF MATERIAL W/ NATURAL APPEARANCE	F1 - EARTH TONES OR PASTELS	G3 - ROOF EAVE BRACKETS
A4 - TOWERS	C2 - ENTRYWAY DESIGN INCORPORATING LANDSCAPING (ALSO SEE LANDSCAPE PLAN)	D4 - ROOF STRUCTURE CONSISTENT W/ ARCHITECTURAL STYLE	F2 - ACCENT COLORS @ SOME TRIM	G4 - TILE INSETS
A5 - VARIATIONS IN ROOF HEIGHT				H - BUILDING FACADES
A6 - COLONNADES				H1 - EXPRESSION OF ARCHITECTURAL AND STRUCTURAL BAYS
A7 - PROJECTIONS AND RECESSED SECTIONS				H2 - BUILDING SETBACKS (3' MIN.)

ORMOND RENAISSANCE CONDOMINIUMS
ORMOND KING CENTER, LLC
FLORIDA
ORMOND BEACH,

PROJECT NO.: 13005
DRAWN BY:
PLOT DATE: 9-18-2014
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1 OVERALL LEVEL 1 PLAN 26 TOTAL PARKING SPACES
SCALE: 3/32" = 1'-0"



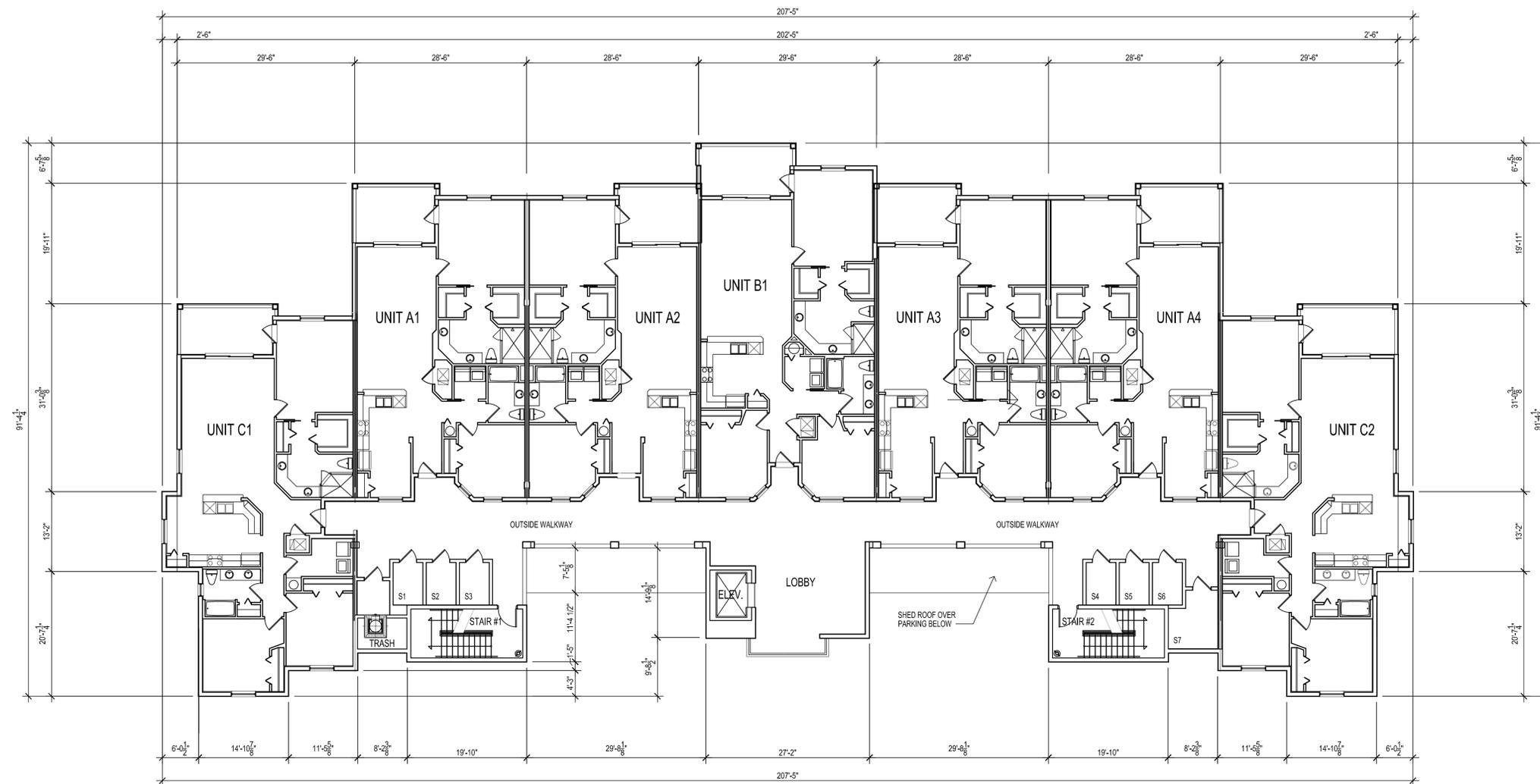
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David W. Howard
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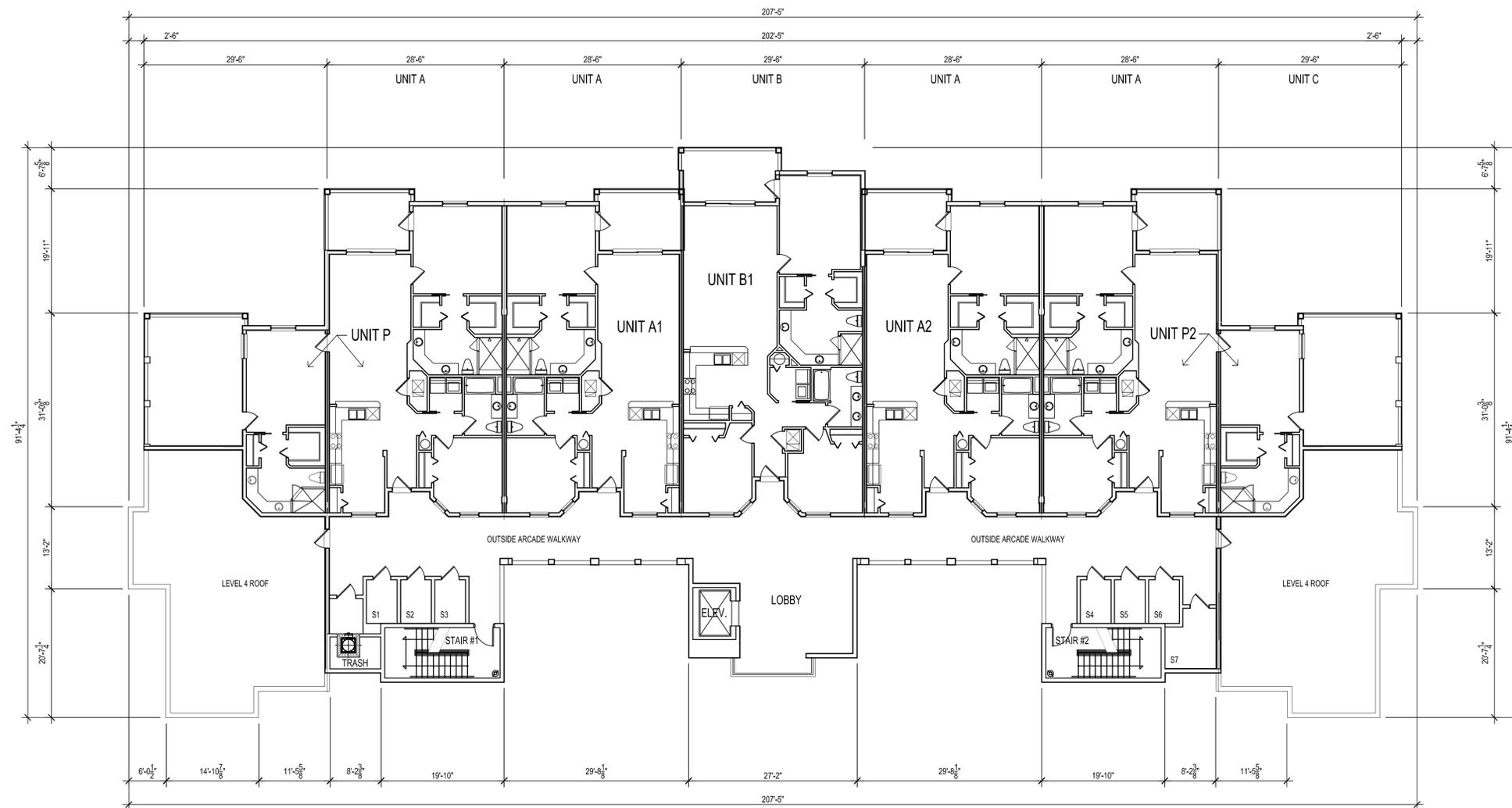
1 OVERALL LEVELS 2-4 PLAN
SCALE: 3/32" = 1'-0"

ORMOND RENAISSANCE CONDOMINIUMS
ORMOND KING CENTER, LLC
FLORIDA
ORMOND BEACH, FLORIDA

PROJECT NO:
13005
DRAWN BY:
PLOT DATE:
9-18-2014
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:
CHECKED BY:

SHEET NO:
A-4
OF 5

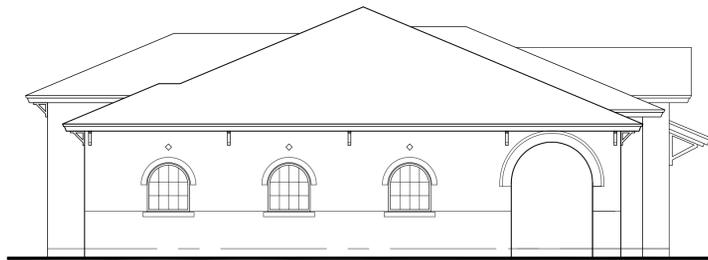
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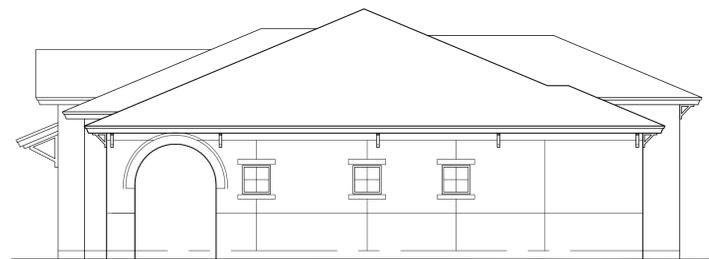
1 OVERALL LEVEL 5 PLAN
 SCALE: 3/32" = 1'-0"

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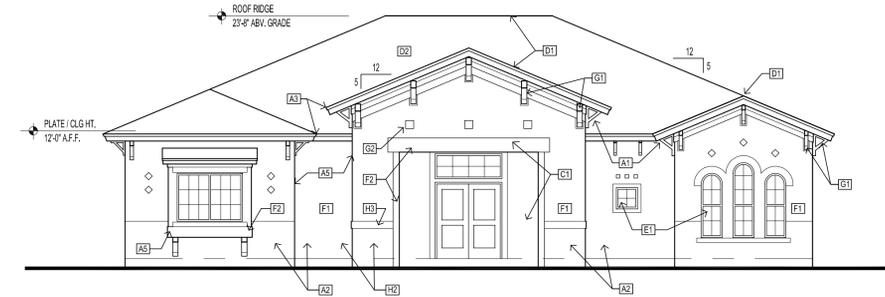
5 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



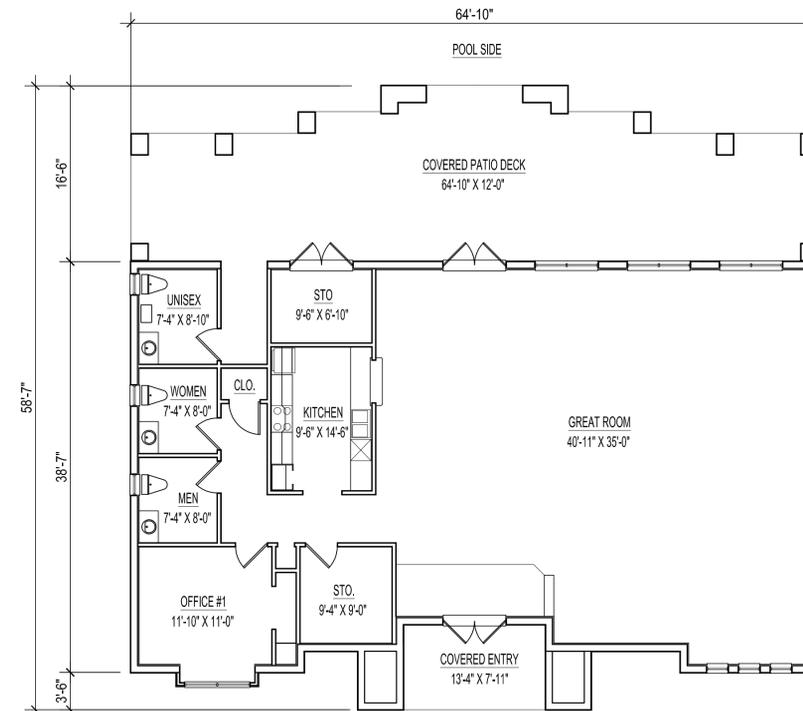
3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION
PRELIMINARY FRONT ELEVATION MAY BE ENHANCED PENDING ADDITIONAL DESIGN REVIEW

ARCHITECTURAL DESIGN CRITERIA - NEO-ECLECTIC ARCHITECTURAL STYLE

A - MASSING	B - EXTERIOR FINISH MATERIALS	D - ROOF DESIGN MATERIALS	F - COLORS	H - BUILDING FACADES
A1 - OVERHANGS	B1 - STUCCO	D1 - VERTICAL CHANGE FROM DOMINANT ROOFLINE	F1 - EARTH TONES OR PASTELS	H1 - COLOR CHANGE (ALSO @ REAR)
A2 - BUILDING WALL OFFSETS	C - DOORS/ ENTRANCE	D2 - ASPHALT SHINGLES	F2 - ACCENT COLORS @ SOME TRIM	H2 - BUILDING SETBACKS (1' MIN)
A3 - VARIATIONS IN ROOF HEIGHT	C1 - ENTRYWAY FEATURES (COLUMNS, ARCHES, AWNING, OFFSETS) FRONT AND REAR	E - WINDOWS	G - OTHER ATTRIBUTES	H3 - ARCHITECTURAL BANDING
A4 - COLONNADES (SEE REAR)	C2 - ENTRYWAY DESIGN INCORPORATING LANDSCAPING (ALSO SEE LANDSCAPE PLAN)	E1 - RECESSED WINDOWS (1/2" MIN) W/ STUCCO TRIM	G1 - ROOF EAVE BRACKETS	
A5 - PROJECTIONS AND RECESSED SECTIONS			G2 - TILE INSETS	
A6 - VERANDA (SEE REAR)				



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"