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SITE CONSTRUCTION DRAWINGS FOR GRANADA POINTE

SECTION 41, TOWNSHIP 14 S, RANGE 32 E
41-14-32-01-09-0110, 41-14-32-01-09-0120, 41-14-32-01-10-0070, 41-14-32-01-12-0100,
41-14-32-01-13-0070, 41-14-32-01-13-0090, 41-14-32-01-13-0091, 41-14-32-01-13-0100,
41-14-32-01-13-0110, 41-14-32-01-14-0280, 41-14-32-01-13-0073

**600 WEST GRANADA BOULEVARD
ORMOND BEACH, FL 32174**

**DECEMBER 2015
REVISED MARCH 2016**

PROJECT TEAM

APPLICANT / OWNER:	GRANADA POINTE INVESTORS, LLC 1185 WEST GRANADA BOULEVARD, SUITE 12 ORMOND BEACH, FL 32174 PHONE: (386) 677-7617 EMAIL: HOLUBDEV@AOL.COM
CIVIL ENGINEER/ PROJECT MANAGER:	NEWKIRK ENGINEERING, INC. 1370 NORTH US HIGHWAY 1, SUITE 204 ORMOND BEACH, FLORIDA 32174 PHONE: (386) 290-7599 EMAIL: HARRY@NEWKIRK-ENGINEERING.COM
SURVEYOR:	A1A GEO, INC. 1370 NORTH US HIGHWAY 1, SUITE 204 ORMOND BEACH, FL 32174 PHONE: (386) 405-6797 EMAIL: A1AGEOINC@GMAIL.COM
LANDSCAPE ARCHITECT:	RICHARD L. POORE, LA 300 GATEWOOD COURT ORMOND BEACH, FL 32174 PHONE: (386) 212-8491 EMAIL: THEPOORES@BELLSOUTH.NET
ENVIRONMENTAL:	ECOLOGICAL CONSULTING SOLUTIONS, INC. 235 HUNT CLUB BOULEVARD, SUITE 202 LONGWOOD, FL 32779 PHONE: (407) 869-9434 EMAIL: BGRIFFY@ECSFL.CC
GEOTECHNICAL:	UNIVERSAL ENGINEERING SCIENCES 911 BEVILLE ROAD, SUITE 3 SOUTH DAYTONA BEACH, FL 32119 PHONE: (386) 756-1105 FAX: (386) 760-4067 EMAIL: BPOHL@UNIVERSALENGINEERING.COM

CONTACT NUMBERS

PLANNING & BUILDING - CITY OF ORMOND BEACH (386) 673-3238
WATER - CITY OF ORMOND BEACH UTILITY DEPARTMENT (386) 676-3269
WASTEWATER - CITY OF ORMOND BEACH UTILITY DEPARTMENT (386) 676-3239
GAS - TECO PEOPLES GAS - (386) 672-2232
ELECTRIC - FLORIDA POWER & LIGHT (386) 257-7502
TELEPHONE/CABLE - AT&T (386) 254-8550

PROJECT STATEMENT

PROPOSE A 4 UNIT, 19.481 ACRE COMMERCIAL DEVELOPMENT ON THE SOUTH SIDE OF GRANADA WITH TOMOKA AVENUE ROADWAY REALIGNMENT, TRAFFIC SIGNAL, TURN LANES AND INTERCONNECTED WET DETENTION POND SYSTEM. THE PROPERTY ON THE NORTH SIDE OF GRANADA WILL BE SPLIT INTO 2 PARCELS FOR A 3.045 ACRE OUTPARCEL AND 10.056 ACRE CONSERVATION EASEMENT FOR WETLAND A TREE PRESERVATION.

JURISDICTIONAL AGENCY

CITY OF ORMOND BEACH (DEVELOPMENT ORDER)
SJRWD (STORMWATER)
FDOT (DRIVEWAY)
FDOT (DRAINAGE)
FDOT (UTILITY)
FDEP (WASTEWATER)
FDEP (NOI)
VOLUSIA COUNTY HEALTH DEPARTMENT (WATER)

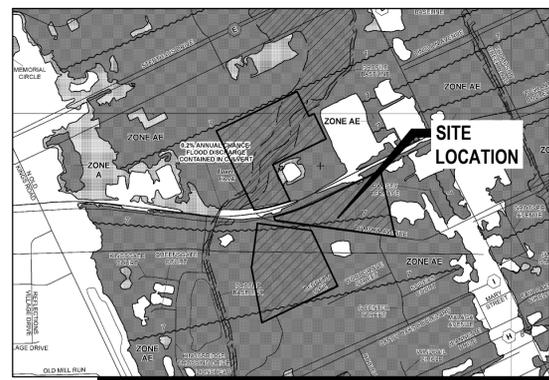
PERMIT No.

PZ-16-017
144672-1
2015-A-591-0055
2015-D-591-34
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FLR
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LOCATION MAP

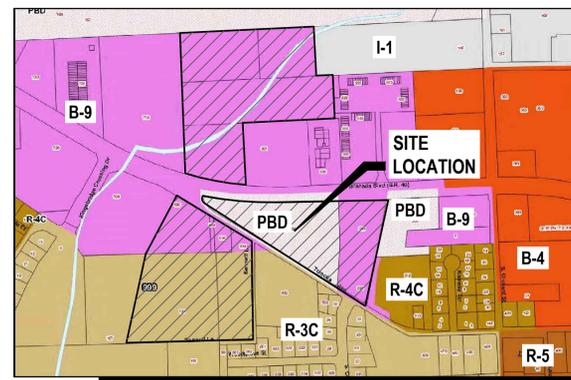
SCALE: 1" = 800'



FLOOD ZONE MAP

FLOOD ZONES "AE" & "X"

SCALE: 1" = 800'



ZONING MAP

SCALE: 1" = 500'



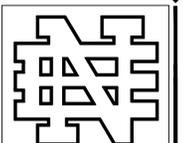
SOILS MAP

SCALE: 1" = 600'

SOIL TYPE:
(69) TUSCAWILLA FINE SAND

THE GENERAL CONTRACTOR SHALL ENSURE THAT ANY SUBCONTRACTOR HAS A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR ITS RESPECTIVE WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR SUBCONTRACTORS ONLY UTILIZING INDIVIDUAL DRAWINGS FOR ITS WORK WHERE ADDITIONAL INFORMATION MAY BE CONTAINED ON OTHER DRAWINGS WITHIN THE SET.

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NEWKIRK ENGINEERING

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Certificate of Authorization
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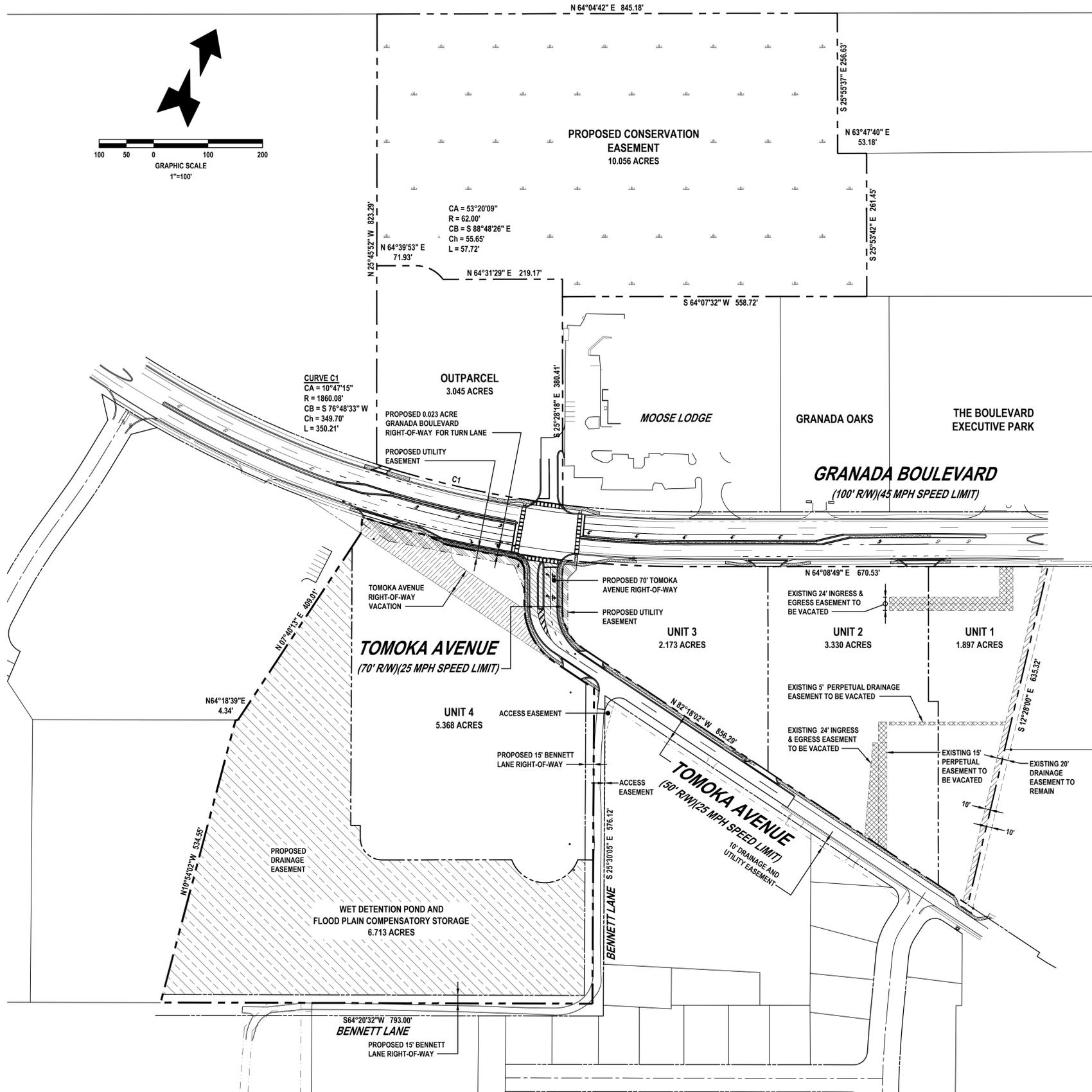
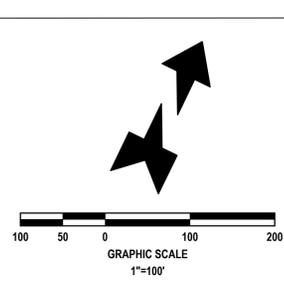
Civil Engineering
Land Development
Construction Engineering & Inspection



NOT VALID UNLESS SIGNED AND SEALED

DRAWING NUMBER

CV-1

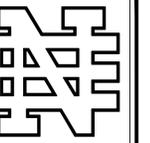


EASEMENT LEGEND:

- PROPOSED UTILITY EASEMENT
- PROPOSED DRAINAGE EASEMENT
- PROPOSED RIGHT-OF-WAY VACATION
- PROPOSED TOMOKA AVENUE RIGHT-OF-WAY EASEMENT
- PROPOSED GRANADA BOULEVARD RIGHT-OF-WAY EASEMENT
- PROPOSED CONSERVATION EASEMENT
- EXISTING EASEMENTS REMAIN
- EXISTING EASEMENTS TO BE VACATED

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS



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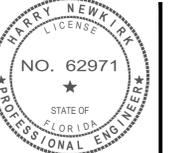


HOLUB DEVELOPMENT

1185 GRANADA BLVD.
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ORMOND BEACH, FL 32173
PHONE: (386) 677-7617
FAX: (386) 677-7630

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EASEMENT PLAN
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174



PROJECT No: 2015-93
DATE: DECEMBER 2015
DESIGN BY: HHN
DRAWN BY: DAB
CHECKED BY: HHN
SCALE: 1"=100'

DRAWING NUMBER

C-2B

PARCEL ID#: 41-14-32-01-08-0062765G
 OWNER: OLIVE GROVE APARTMENTS
 2206 JO AN DRIVE
 SARASOTA, FL 34231
 ZONING: B-9

PARCEL ID#: 41-14-32-01-09-0100
 OWNER: A. W. BAYLOR FAMILY LP
 1760 NORTH U.S. HIGHWAY 1
 ORMOND BEACH, FL 32174
 ZONING: B-9

PARCEL ID#: 41-14-32-26-00-0001
 OWNER: BOULEVARD II CONDO ASSOCIATION
 1275 WEST GRANADA BOULEVARD
 ORMOND BEACH, FL 32174
 ZONING: B-9

PARCEL ID#: 41-14-32-01-11-0070
 OWNER: LOYAL ORDER OF MOOSE
 601 WEST GRANADA BOULEVARD
 ORMOND BEACH, FL 32174
 ZONING: B-9

PARCEL ID#: 41-14-32-22-00-0001
 OWNER: GRANADA OAKS CONDO ASSOCIATION
 595 WEST GRANADA BOULEVARD
 ORMOND BEACH, FL 32174
 ZONING: B-9

PARCEL ID#: 41-14-32-22-00-0001
 OWNER: BOULEVARD I CONDO ASSOCIATION
 1275 WEST GRANADA BOULEVARD
 ORMOND BEACH, FL 32174
 ZONING: B-9

DEMOLITION AND SWPPP NOTES:

- ALL EROSION CONTROL DEVICES AND VISIBLE BARRICADES SHALL BE INSTALLED AND APPROVED BY THE ENGINEER PRIOR TO THE START OF CLEARING AND GRUBBING.
- THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AS SPECIFIED PRIOR TO START OF CONSTRUCTION.
- THE SITE SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION AND DEBRIS WITHIN THE APPROXIMATE LIMITS OF CLEARING AS INDICATED ON THE DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE VOLUSIA COUNTY UTILITY DEPARTMENT, FLORIDA SUNSHINE AND EMERGENCY SERVICES FOR RESPECTIVE UTILITY LOCATIONS AND "NOTICE" OF CONSTRUCTION ACTIVITY.
- ALL REMOVED MATERIAL SHALL BE HAULED OFF-SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF-SITE DISPOSAL AT THE CONTRACTOR'S DISCRETION.
- ALL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO THE START OF WORK AND REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION AND REMOVAL OF DEBRIS AND SILT BEHIND EROSION CONTROL DEVICES.
- ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION BY INLET PROTECTION MEASURES TO PREVENT SILTATION IN THE DRAINAGE SYSTEM (SEE DETAILS THIS DRAWING). THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- ALL OFF-SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY SHALL BE IMMEDIATELY RESTORED TO PRIOR CONDITION UPON COMPLETION OF WORK.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION, BLOWING SAND AND THE IMPACT TO NEIGHBORING PROPERTIES.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER, CITY A MOT PLAN AT PRECONSTRUCTION MEETING. TRAFFIC SHALL BE ALLOWED TO CONTINUE DURING WORK. PROVIDE MEASURES TO DETOUR TRAFFIC AROUND OPEN EXCAVATION WITH ADEQUATE BARRICADES, SIGNAGE AND FLAGPERSON TO DIRECT TRAFFIC. EMERGENCY SERVICES SHALL BE NOTIFIED 48 HOUR IN ADVANCE.
- EXISTING DRIVEWAYS SHOWN ADJACENT TO OR OUTSIDE LIMITS OF CONSTRUCTION SHALL REMAIN IN-SERVICE. EXISTING UTILITIES AND DRIVEWAYS SHALL NOT BE REMOVED UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL POST "NO TRESPASSING" SIGNAGE AT ALL SITE ENTRANCES PRIOR TO CONSTRUCTION.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- NO TURBID WATER SHALL BE DISCHARGED OFF-SITE FROM THE DEWATERING OPERATION. CONTRACTOR SHALL TAKE MEASURES TO CONTROL TURBIDITY.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OF NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- PROVIDE DUST CONTROL FOR ALL EARTHWORK OPERATIONS. COVER AREA WITH LIGHT COATING OF WATER OR OTHER APPROVED METHOD.

LEGEND:

- LIMITS OF DEVELOPMENT (PROPERTY LINE)
- APPROXIMATE LIMITS OF ASPHALT, CONCRETE PAVEMENT
- APPROXIMATE CONCRETE TRAFFIC DIVIDER REMOVAL
- APPROXIMATE SIDEWALK REMOVAL
- GRANADA BLVD. MEDIAN PLANTINGS, SOD AND UNSUITABLE SOILS REMOVAL
- TYPE III / IV SILT FENCE
- TYPE I TURBIDITY BARRIER
- CURB INLET FILTER
- HISTORIC LIVE OAK TO BE REMOVED

BENCHMARK INFORMATION:

- #1 PARKER KALON NAIL DISK ELEVATION = 5.57 FEET
- #2 PARKER KALON NAIL DISK ELEVATION = 7.19

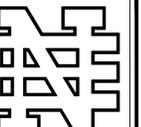
VERTICAL DATA
 ELEVATIONS REFER TO (NAVD 88) NORTH AMERICAN VERTICAL DATUM 1988. FEET AND DECIMAL PART THEREOF. BENCHMARK REFERENCE NAVD DATUM OF 1988. BENCHMARK DESIGNATION HPR 109 - DE6757. ELEVATION 6.80 FEET

SWPPP INSPECTIONS AND RECORD KEEPING:

INSPECTIONS ARE REQUIRED AT LEAST EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL EVENT OF ONE-HALF (1/2) OF AN INCH OF RAINFALL OR GREATER AND SHALL CONTINUE UNTIL THE SITE COMPLETES WITH FINAL STABILIZATION (NOTICE OF TERMINATION). INSPECTIONS MUST BE CONDUCTED BY A "QUALIFIED" INSPECTOR. "QUALIFIED" IS DEFINED AS A PERSON THAT A) HAS SUCCESSFULLY COMPLETED AND MET ALL REQUIREMENTS NECESSARY TO BE FULLY CERTIFIED THROUGH THE FDP STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM; B) HAS SUCCESSFULLY COMPLETED AN EQUIVALENT FORMAL TRAINING PROGRAM; OR C) THAT IS QUALIFIED BY OTHER TRAINING OR PRACTICAL EXPERIENCE IN THE FIELD OF STORMWATER POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL. EACH INSPECTION MUST BE FOLLOWED UP BY A REPORT DOCUMENTING THE INSPECTOR'S FINDINGS AND REQUEST THE REQUIRED MAINTENANCE AND/OR REPAIR FOR THE EROSION AND SEDIMENTATION CONTROL MEASURES. THESE RECORDS ARE USED TO PROVE THAT THE REQUIRED INSPECTION AND MAINTENANCE WERE PERFORMED AND SHALL BE PLACED IN THE SWPPP LEDGER. IN ADDITION TO INSPECTION AND MAINTENANCE REPORTS, RECORDS SHOULD BE KEPT OF CONSTRUCTION ACTIVITIES THAT OCCUR ON THE SITE. THE CONTRACTOR SHALL RETAIN COPIES OF THE SWPPP, ALL REPORTS AND DATA FOR A MINIMUM OF FIVE (5) YEARS AFTER THE PROJECT IS COMPLETE IN PAPER AND CD FORMAT.

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS



NEWKIRK ENGINEERING

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 Phone (386) 290-7599
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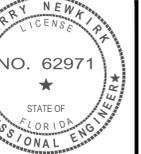


HOLUB DEVELOPMENT

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SITE DEMOLITION AND SWPPP PLAN (NORTH)
 GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174



PROJECT No: 2015-93

DATE: DECEMBER 2015

DESIGN BY: HHN

DRAWN BY: DAB

CHECKED BY: HHN

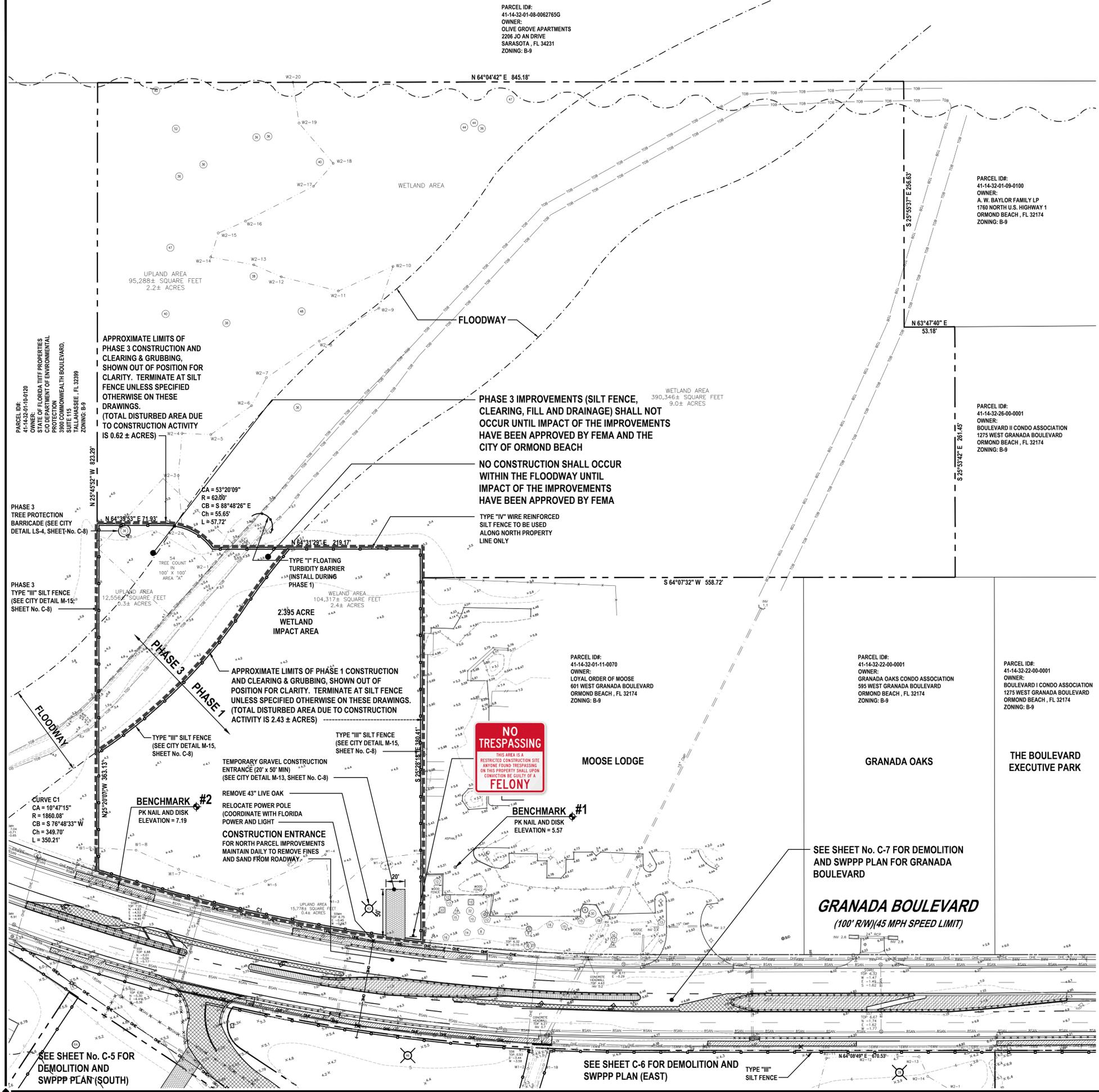
SCALE: 1"=50'

DRAWING NUMBER

C-4



WARNING !!
 CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.



BENCHMARK #1
 PK NAIL AND DISK
 ELEVATION = 5.57

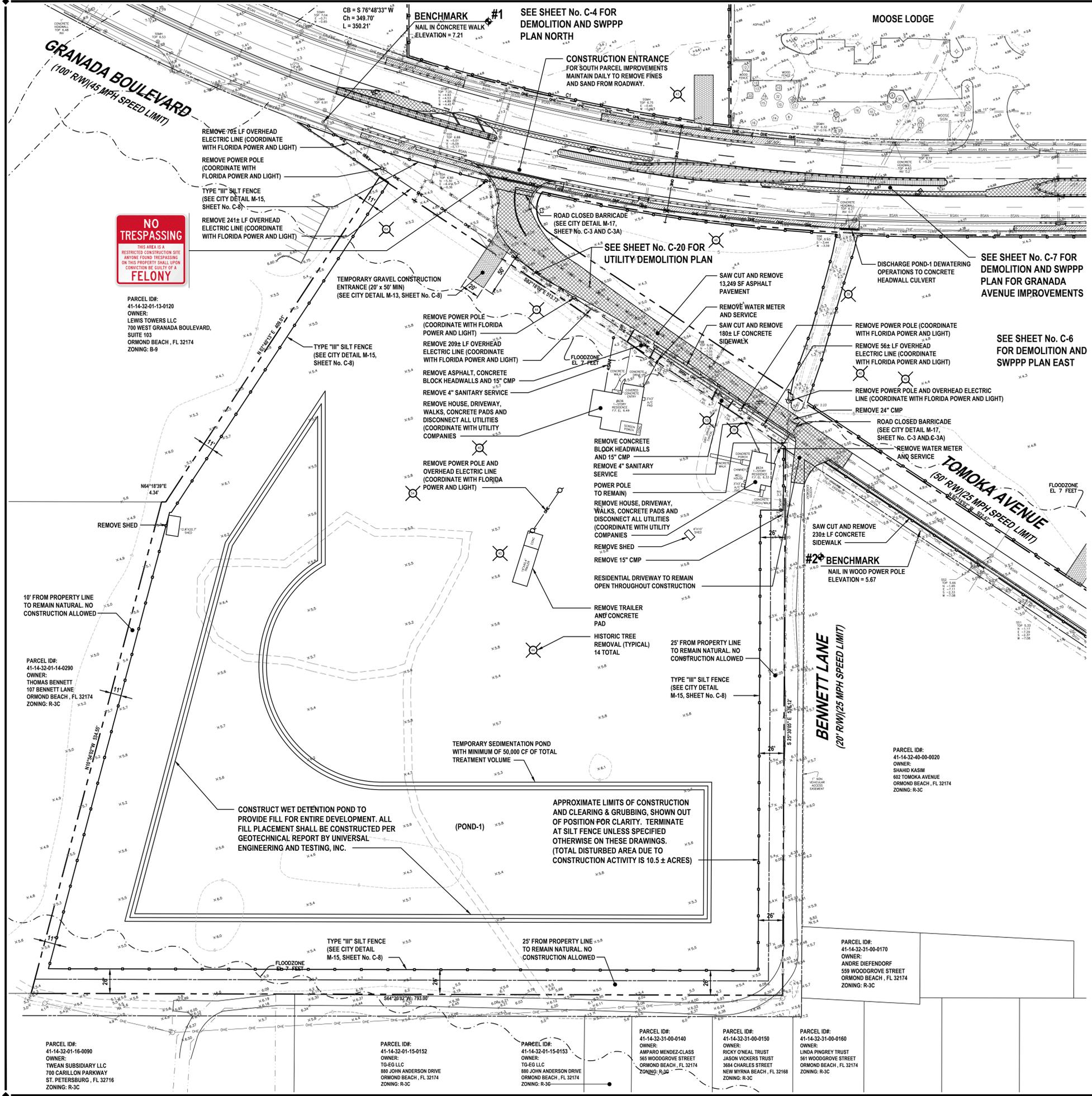
BENCHMARK #2
 PK NAIL AND DISK
 ELEVATION = 7.19

SEE SHEET No. C-7 FOR DEMOLITION AND SWPPP PLAN FOR GRANADA BOULEVARD

GRANADA BOULEVARD
 (100' R/W) (45 MPH SPEED LIMIT)

SEE SHEET C-6 FOR DEMOLITION AND SWPPP PLAN (EAST)

SEE SHEET No. C-5 FOR DEMOLITION AND SWPPP PLAN (SOUTH)



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- PROVIDE DUST CONTROL FOR ALL EARTHWORK OPERATIONS. COVER AREA WITH LIGHT COATING OF WATER OR OTHER APPROVED METHOD.

LEGEND:

- LIMITS OF DEVELOPMENT (PROPERTY LINE)
- APPROXIMATE LIMITS OF ASPHALT, CONCRETE PAVEMENT
- APPROXIMATE CONCRETE TRAFFIC DIVIDER REMOVAL
- APPROXIMATE SIDEWALK REMOVAL
- GRANADA BLVD. MEDIAN PLANTINGS, SOIL AND UNSUITABLE SOILS REMOVAL
- PROPOSED TYPE III SILT FENCE
- CURB INLET FILTER
- HISTORIC LIVE OAK TO BE REMOVED

BENCHMARK INFORMATION:

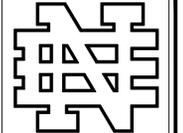
- #1 NAIL IN CONCRETE WALK ELEVATION = 7.21 FEET
 - #2 WOOD POWER POLE ELEVATION = 5.67
- VERTICAL DATA ELEVATIONS REFER TO (NAVD 88) NORTH AMERICAN VERTICAL DATUM 1988. FEET AND DECIMAL PART THEREOF. BENCHMARK REFERENCE NAVD DATUM OF 1988. BENCHMARK DESIGNATION HPR 109 - DE6757. ELEVATION 6.80 FEET

SWPPP INSPECTIONS AND RECORD KEEPING:

INSPECTIONS ARE REQUIRED AT LEAST EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL EVENT OF ONE-HALF (1/2) OF AN INCH OF RAINFALL OR GREATER AND SHALL CONTINUE UNTIL THE SITE COMPLIES WITH FINAL STABILIZATION (NOTICE OF TERMINATION). INSPECTIONS MUST BE CONDUCTED BY A "QUALIFIED" INSPECTOR. "QUALIFIED" IS DEFINED AS A PERSON THAT A) HAS SUCCESSFULLY COMPLETED AND MET ALL REQUIREMENTS NECESSARY TO BE FULLY CERTIFIED THROUGH THE FDP STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM; B) HAS SUCCESSFULLY COMPLETED AN EQUIVALENT FORMAL TRAINING PROGRAM; OR C) THAT IS QUALIFIED BY OTHER TRAINING OR PRACTICAL EXPERIENCE IN THE FIELD OF STORMWATER POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL. EACH INSPECTION MUST BE FOLLOWED UP BY A REPORT DOCUMENTING THE INSPECTOR'S FINDINGS AND REQUEST THE REQUIRED MAINTENANCE AND/OR REPAIR FOR THE EROSION AND SEDIMENTATION CONTROL MEASURES. THESE RECORDS ARE USED TO PROVE THAT THE REQUIRED INSPECTION AND MAINTENANCE WERE PERFORMED AND SHALL BE PLACED IN THE SWPPP LEDGER. IN ADDITION TO INSPECTION AND MAINTENANCE REPORTS, RECORDS SHOULD BE KEPT OF CONSTRUCTION ACTIVITIES THAT OCCUR ON THE SITE. THE CONTRACTOR SHALL RETAIN COPIES OF THE SWPPP, ALL REPORTS AND DATA FOR A MINIMUM OF FIVE (5) YEARS AFTER THE PROJECT IS COMPLETE IN PAPER AND CD FORMAT.

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS



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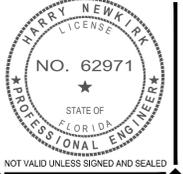


HOLUB DEVELOPMENT

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SITE DEMOLITION AND SWPPP PLAN (SOUTH)
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174



PROJECT No: 2015-93

DATE: DECEMBER 2015

DESIGN BY: HHN

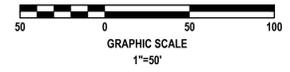
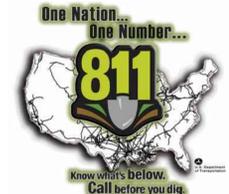
DRAWN BY: DAB

CHECKED BY: HHN

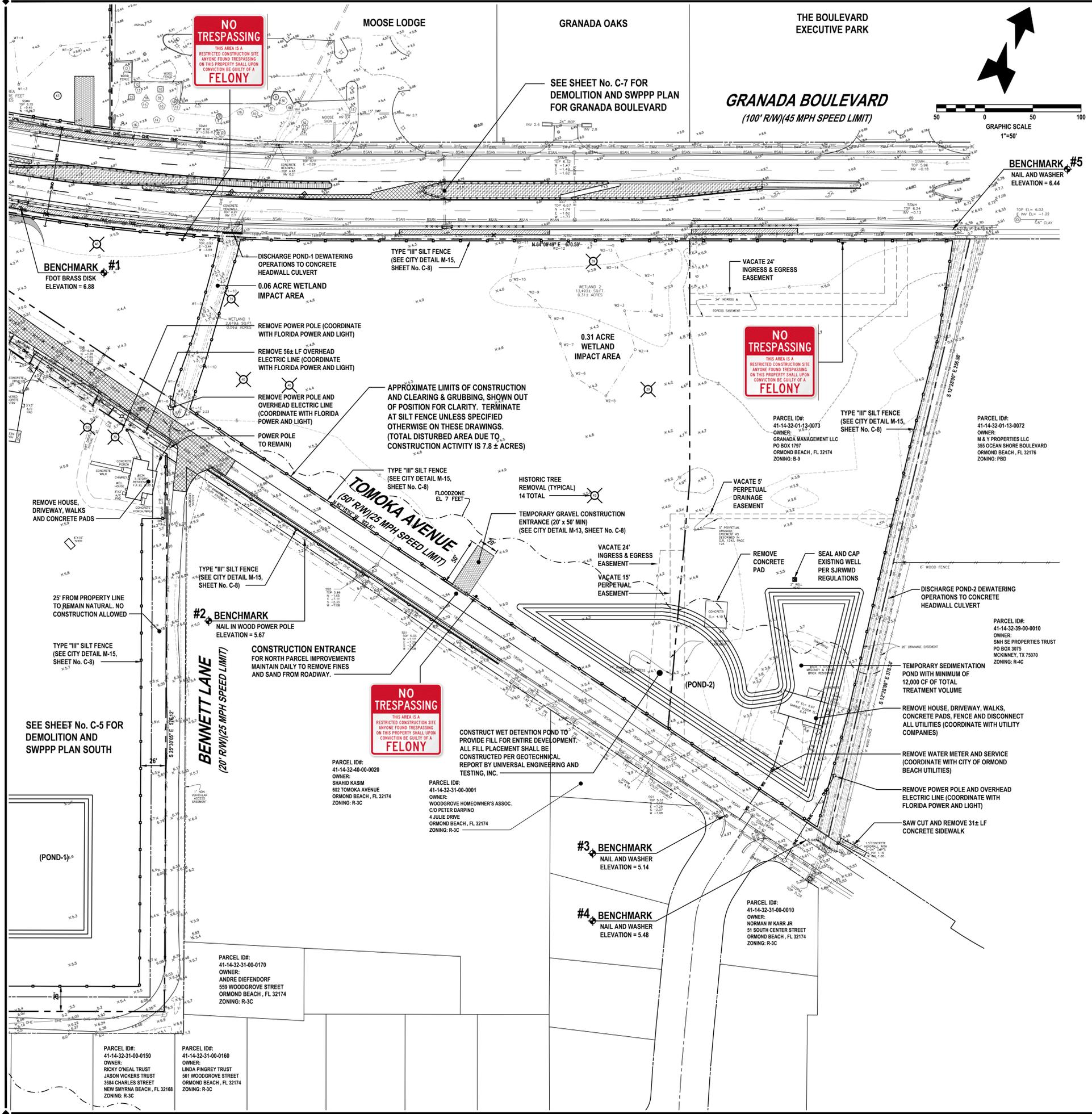
SCALE: 1"=50'

DRAWING NUMBER

C-5



WARNING !!
CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.



DEMOLITION AND SWPPP NOTES:

- ALL EROSION CONTROL DEVICES AND VISIBLE BARRICADES SHALL BE INSTALLED AND APPROVED BY THE ENGINEER PRIOR TO THE START OF CLEARING AND GRUBBING.
- THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AS SPECIFIED PRIOR TO START OF CONSTRUCTION.
- THE SITE SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION AND DEBRIS WITHIN THE APPROXIMATE LIMITS OF CLEARING AS INDICATED ON THE DRAWING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE VOLUSIA COUNTY UTILITY DEPARTMENT, FLORIDA SUNSHINE AND EMERGENCY SERVICES FOR RESPECTIVE UTILITY LOCATIONS AND "NOTICE" OF CONSTRUCTION ACTIVITY.
- ALL REMOVED MATERIAL SHALL BE HAULED OFF-SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF-SITE DISPOSAL AT THE CONTRACTOR'S DISCRETION.
- ALL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO THE START OF WORK AND REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION AND REMOVAL OF DEBRIS AND SILT BEHIND EROSION CONTROL DEVICES.
- ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION BY INLET PROTECTION MEASURES TO PREVENT SILTATION IN THE DRAINAGE SYSTEM (SEE DETAILS THIS DRAWING). THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- ALL OFF-SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY SHALL BE IMMEDIATELY RESTORED TO PRIOR CONDITION UPON COMPLETION OF WORK.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION, BLOWING SAND AND THE IMPACT TO NEIGHBORING PROPERTIES.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER, CITY A MOT PLAN AT PRECONSTRUCTION MEETING. TRAFFIC SHALL BE ALLOWED TO CONTINUE DURING WORK. PROVIDE MEASURES TO DETOUR TRAFFIC AROUND OPEN EXCAVATION WITH ADEQUATE BARRICADES, SIGNAGE AND FLAGPERSON TO DIRECT TRAFFIC. EMERGENCY SERVICES SHALL BE NOTIFIED 48 HOUR IN ADVANCE.
- EXISTING DRIVEWAYS SHOWN ADJACENT TO OR OUTSIDE LIMITS OF CONSTRUCTION SHALL REMAIN IN-SERVICE. EXISTING UTILITIES AND DRIVEWAYS SHALL NOT BE REMOVED UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL POST "NO TRESPASSING" SIGNAGE AT ALL SITE ENTRANCES PRIOR TO CONSTRUCTION.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- NO TURBID WATER SHALL BE DISCHARGED OFF-SITE FROM THE DEWATERING OPERATION. CONTRACTOR SHALL TAKE MEASURES TO CONTROL TURBIDITY.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OF NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- PROVIDE DUST CONTROL FOR ALL EARTHWORK OPERATIONS. COVER AREA WITH LIGHT COATING OF WATER OR OTHER APPROVED METHOD.

LEGEND:

- LIMITS OF DEVELOPMENT (PROPERTY LINE)
- APPROXIMATE LIMITS OF ASPHALT, CONCRETE PAVEMENT
- APPROXIMATE CONCRETE TRAFFIC DIVIDER REMOVAL
- APPROXIMATE SIDEWALK REMOVAL
- GRANADA BLVD. MEDIAN PLANTINGS, SOD AND UNSUITABLE SOILS REMOVAL
- PROPOSED TYPE III SILT FENCE
- CURB INLET FILTER
- HISTORIC LIVE OAK TO BE REMOVED

BENCHMARK INFORMATION:

- #1** FDOT BRASS DISK IN CONCRETE WALK ELEVATION = 6.88 FEET
- #2** NAIL IN WOOD POWER POLE ELEVATION = 5.67
- #3** NAIL AND WASHER IN PAVEMENT ELEVATION = 5.14
- #4** NAIL AND WASHER IN PAVEMENT ELEVATION = 5.48
- #5** NAIL AND WASHER IN SIDEWALK ELEVATION = 6.44

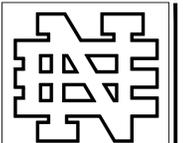
VERTICAL DATA
ELEVATIONS REFER TO (NAVD 88) NORTH AMERICAN VERTICAL DATUM 1988. FEET AND DECIMAL PART THEREOF. BENCHMARK REFERENCE NAVD DATUM OF 1988. BENCHMARK DESIGNATION HPR 109 - DE6757. ELEVATION 6.80 FEET

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3/11/16	CITY COMMENTS



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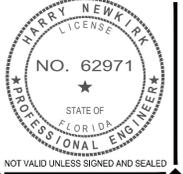


HOLUB DEVELOPMENT

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SITE DEMOLITION AND SWPPP PLAN (EAST)
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174

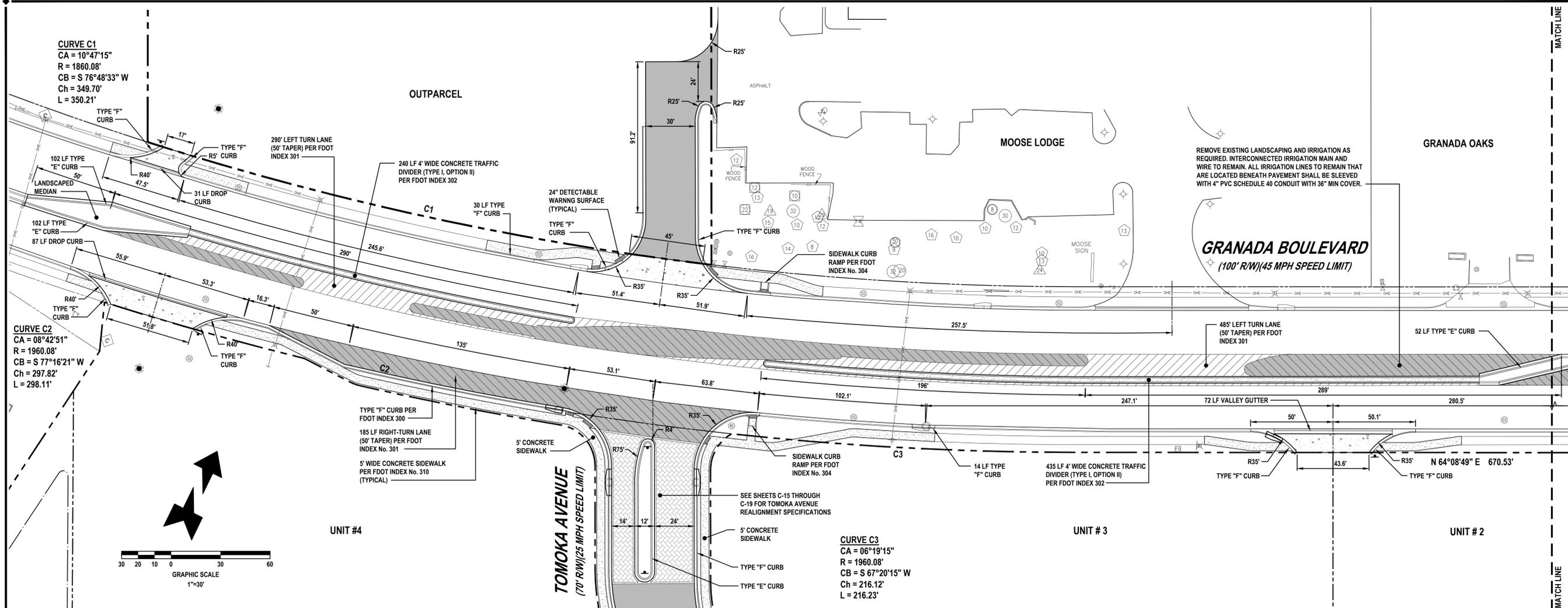


PROJECT No:	2015-93
DATE:	DECEMBER 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN
SCALE:	1"=50'
DRAWING NUMBER	

C-6

WARNING !!
CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.





REVISIONS	
DATE	DESCRIPTION
3/11/16	CITY COMMENTS

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GRANADA BOULEVARD LAYOUT AND PAVING PLAN
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174



PROJECT No: 2015-93
 DATE: DECEMBER 2015
 DESIGN BY: HHN
 DRAWN BY: DAB
 CHECKED BY: HHN
 SCALE: 1"=30'
 DRAWING NUMBER

C-9

GENERAL NOTES:

- MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY A CERTIFIED PERSON (ON SITE).
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK WITH IN THE FDOT R/W.
- ALL WORK PERFORMED WITH IN THE FDOT R/W SHALL BE IN ACCORDANCE WITH THE 2016 EDITION OF THE DESIGN STANDARDS & SPECIFICATION FOR ROAD & BRIDGE, AND ALONG WITH THE UTILITY ACCOMMODATION MANUAL.
- IT IS THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FDOT FACILITIES CAUSED BY THE CONSTRUCTION OF THIS PROJECT.
- ANY TEST RESULTS TAKEN DURING CONSTRUCTION OF THE PERMITTED WORK SHALL BE PROVIDED TO THE DEPARTMENT UPON REQUEST.
- ALL CONCRETE TO BE REMOVED SHALL BE SAW CUT TO NEAREST JOINT IN GOOD CONDITION, SO A CONNECTION THAT IS FREE OF CRACKS, DEFORMITIES OR VOIDS & IRREGULARITIES ARE NOT DEFECTIVE.
- ALL CONCRETE SHALL BE AN APPROVED FDOT MIX DESIGN OF 3,000 PSI.
- ALL MATERIALS INSTALLED INSIDE FDOT R/W SHALL BE ON THE QUALIFIED PRODUCTS LIST OR APPROVED PRODUCTS LIST.
- ALL CONSTRUCTION SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL SUBMIT A MAINTENANCE OF TRAFFIC AND BARRICADE PLAN TO THE ENGINEER FOR APPROVAL WITH THE BID. INCLUDE THE MOT PLAN AT THE PRECONSTRUCTION MEETING.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND THE FDOT INSPECTOR NOTIFIED FOR APPROVAL.
- ALL BARRICADES AND POSTED SIGNAGE SHALL REMAIN IN PLACE UNTIL PAVING WORK IS COMPLETE. ALL BARRICADES SHALL BE VERIFIED IN PLACE BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA.
- THE CONTRACTOR SHALL ENSURE THAT ALL SIDEWALKS AND CROSSWALKS CONFORM TO THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT (ADA).

PAVING LEGEND

FDOT ASPHALT PAVEMENT	FRICITION COURSE: 1.5" FC-12.5 STRUCTURAL COURSE: 1.5" SP-12.5 (TRAFFIC LEVEL D) 10" COMPACTED LIMEROCK, TWO LIFTS (5" EACH), LBR OF 100. COMPACTED TO 98% OF MAXIMUM T-180 MODIFIED PROCTOR. SUBMIT COPIES OF DENSITIES TO FDOT.
FDOT ASPHALT OVERLAY	MILL 1" AVERAGE DEPTH AND RESURFACE WITH 1" FC-12.5
FDOT CONCRETE PAVEMENT	8" CONCRETE (3,000 P.S.I. @ 28 DAYS) (APPROVED FDOT MIX DESIGN) 12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS) CONTROL JOINT SPACING PER FDOT INDEX 305
FDOT CONCRETE SIDEWALK	4" THICK CONCRETE (MIN.) 3,000 PSI, CLASS I CONCRETE APPROVED FDOT DESIGN MIX PER FDOT INDEX 310
HEAVY DUTY ASPHALT PAVEMENT	2" SP-9.5 WITH TACK COAT PER FDOT SPECIFICATIONS 8" LIMEROCK BASE (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS) 12" STABILIZED SUBBASE (BR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
IMPRINT ASPHALT PAVEMENT	2.25" SP-9.5 WITH TACK COAT PER FDOT SPECIFICATIONS 1/4" MAX. IMPRINT DEPTH (DIAGONAL HERRINGBONE PATTERN, COLOR NUTMEG OR APPROVED EQUAL) 8" LIMEROCK BASE (LBR=100) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" LIFTS) 12" STABILIZED SUBBASE (BR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
CONCRETE TRAFFIC DIVIDER	CONCRETE TRAFFIC DIVIDER (TYPE I, OPTION II) PER FDOT INDEX 302

LEGEND

TYPE "F" CATCH CURB	TYPE "F" CATCH CURB
TRANSITION LOCATION FROM TYPE "F" CURB TO FLUSH	TRANSITION LOCATION FROM TYPE "F" CURB TO FLUSH
24" DETECTABLE WARNING MAT (ADA MAT)	24" DETECTABLE WARNING MAT (ADA MAT)

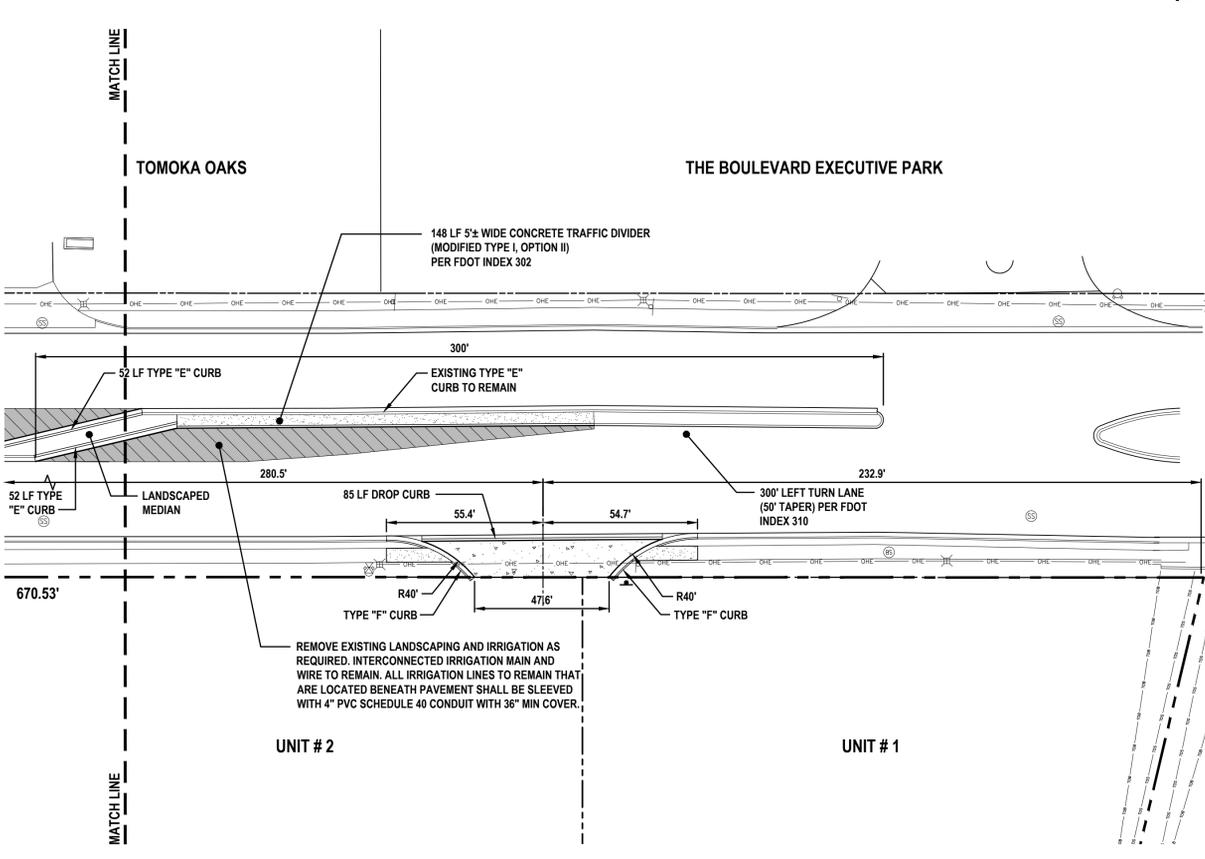
FDOT ASPHALT SECTION

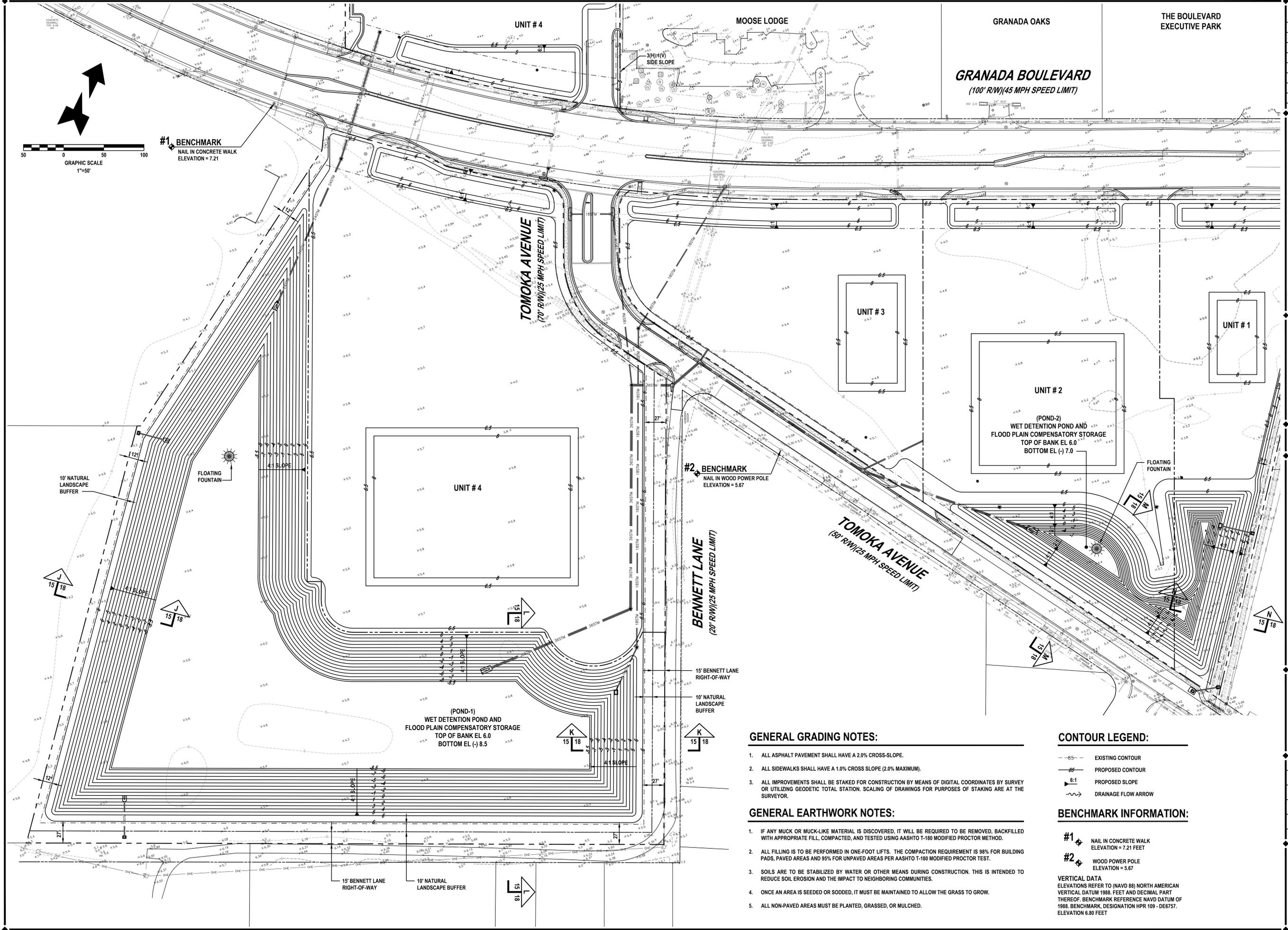


LEGEND

FRICITION COURSE: 1.5" FC-12.5 STRUCTURAL COURSE: 1.5" SP-12.5 (TRAFFIC LEVEL D) 10" COMPACTED LIMEROCK, TWO LIFTS (5" EACH), LBR OF 100. COMPACTED TO 98% OF MAXIMUM T-180 MODIFIED PROCTOR.	FRICITION COURSE: 1.5" FC-12.5 STRUCTURAL COURSE: 1.5" SP-12.5 (TRAFFIC LEVEL D) 10" COMPACTED LIMEROCK, TWO LIFTS (5" EACH), LBR OF 100. COMPACTED TO 98% OF MAXIMUM T-180 MODIFIED PROCTOR.
12" STABILIZED SUBBASE, LBR MINIMUM OF 40. COMPACTION PER FDOT STANDARD SPECIFICATION 160 (STABILIZING).	12" STABILIZED SUBBASE, LBR MINIMUM OF 40. COMPACTION PER FDOT STANDARD SPECIFICATION 160 (STABILIZING).

FDOT ASPHALT SECTION





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DATE	DESCRIPTION
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MASTER STORMWATER POND GRADING PLAN
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174



PROJECT No:	2015-93
DATE:	DECEMBER 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN
SCALE:	1"=50'
DRAWING NUMBER	C-15

GENERAL GRADING NOTES:

- ALL ASPHALT PAVEMENT SHALL HAVE A 2.0% CROSS-SLOPE.
- ALL SIDEWALKS SHALL HAVE A 1.0% CROSS SLOPE (2.0% MAXIMUM).
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEY OR UTILIZING GEODETIC TOTAL STATION. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR.

GENERAL EARTHWORK NOTES:

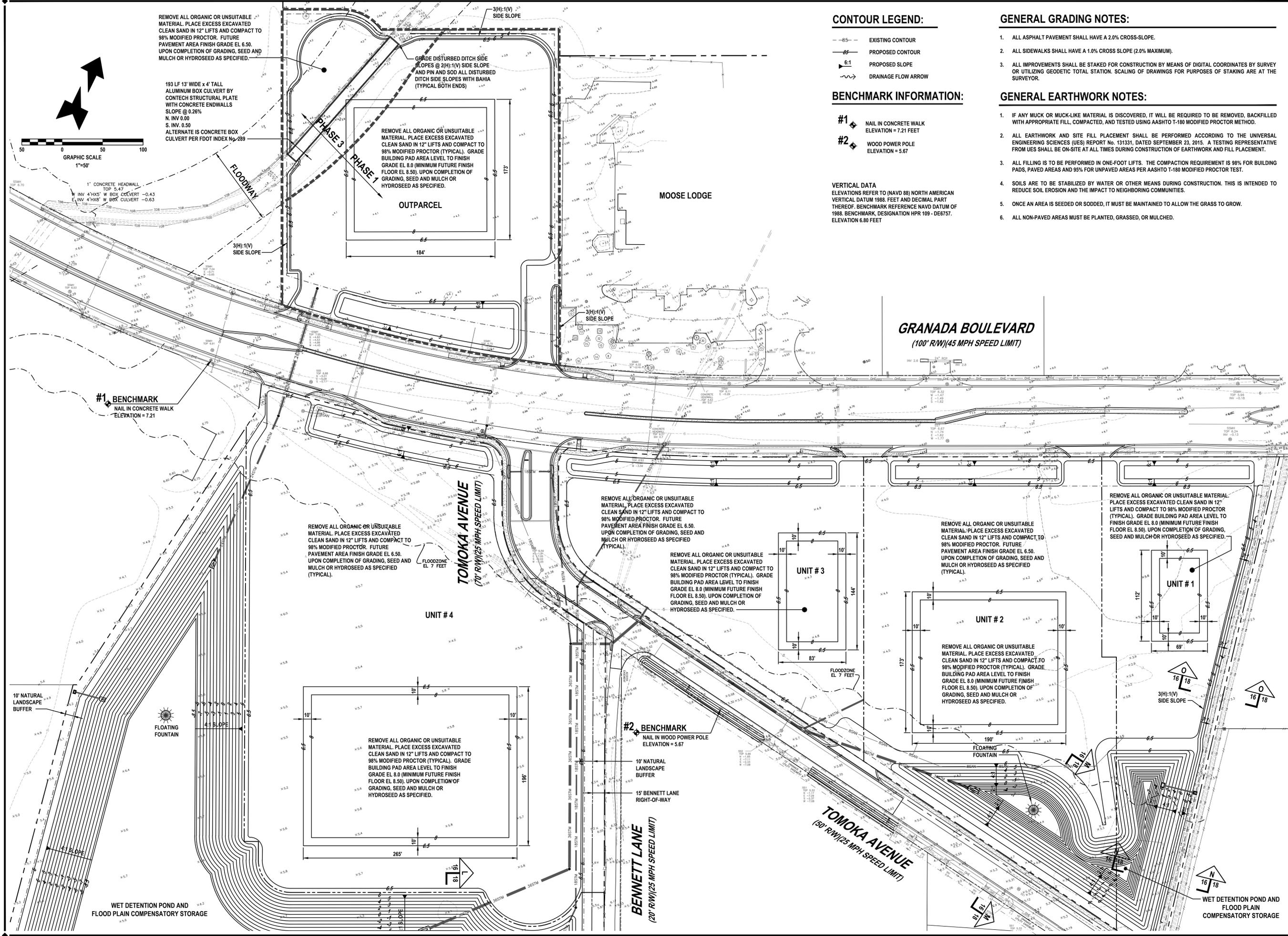
- IF ANY MUCK OR MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- ALL FILLING IS TO BE PERFORMED IN ONE-FOOT LIFTS. THE COMPACTION REQUIREMENT IS 98% FOR BUILDING PADS, PAVED AREAS AND 95% FOR UNPAVED AREAS PER AASHTO T-180 MODIFIED PROCTOR TEST.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES.
- ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED TO ALLOW THE GRASS TO GROW.
- ALL NON-PAVED AREAS MUST BE PLANTED, GRASSED, OR MULCHED.

CONTOUR LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ▲:1 PROPOSED SLOPE
- DRAINAGE FLOW ARROW

BENCHMARK INFORMATION:

- #1 NAIL IN CONCRETE WALK
ELEVATION = 7.21 FEET
 - #2 WOOD POWER POLE
ELEVATION = 5.67
- VERTICAL DATA
 ELEVATIONS REFER TO (NAVD 88) NORTH AMERICAN VERTICAL DATUM 1988. FEET AND DECIMAL PART THEREOF. BENCHMARK REFERENCE NAVD DATUM OF 1988. BENCHMARK DESIGNATION HPR 109 - DE6757. ELEVATION 6.80 FEET



CONTOUR LEGEND:

- 85- EXISTING CONTOUR
- 65- PROPOSED CONTOUR
- 6:1 PROPOSED SLOPE
- DRAINAGE FLOW ARROW

BENCHMARK INFORMATION:

- #1 NAIL IN CONCRETE WALK ELEVATION = 7.21 FEET
- #2 WOOD POWER POLE ELEVATION = 5.67

VERTICAL DATA
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2. ALL SIDEWALKS SHALL HAVE A 1.0% CROSS SLOPE (2.0% MAXIMUM).
3. ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEY OR UTILIZING GEODETIC TOTAL STATION. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR.

GENERAL EARTHWORK NOTES:

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2. ALL EARTHWORK AND SITE FILL PLACEMENT SHALL BE PERFORMED ACCORDING TO THE UNIVERSAL ENGINEERING SCIENCES (UES) REPORT No. 131331, DATED SEPTEMBER 23, 2015. A TESTING REPRESENTATIVE FROM UES SHALL BE ON-SITE AT ALL TIMES DURING CONSTRUCTION OF EARTHWORK AND FILL PLACEMENT.
3. ALL FILLING IS TO BE PERFORMED IN ONE-FOOT LIFTS. THE COMPACTION REQUIREMENT IS 98% FOR BUILDING PADS, PAVED AREAS AND 95% FOR UNPAVED AREAS PER AASHTO T-180 MODIFIED PROCTOR TEST.
4. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES.
5. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED TO ALLOW THE GRASS TO GROW.
6. ALL NON-PAVED AREAS MUST BE PLANTED, GRASSED, OR MULCHED.

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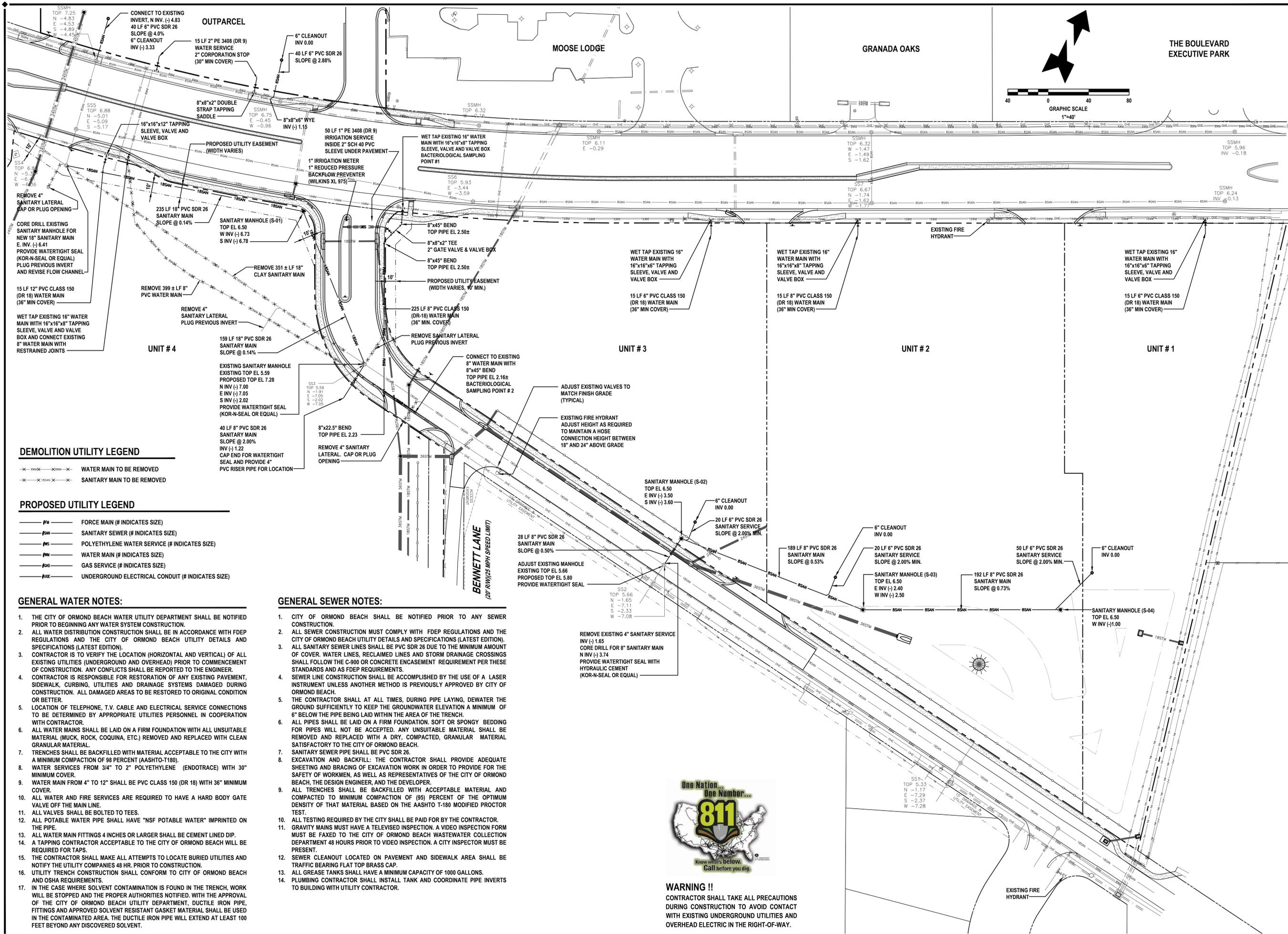
LOT GRADING PLAN
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174

HARRY NEWKIRK
 LICENSE
 NO. 62971
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

NOT VALID UNLESS SIGNED AND SEALED

PROJECT No: 2015-93
 DATE: DECEMBER 2015
 DESIGN BY: HHN
 DRAWN BY: DAB
 CHECKED BY: HHN
 SCALE: 1"=50'
 DRAWING NUMBER

C-16



DEMOLITION UTILITY LEGEND

- WATER MAIN TO BE REMOVED
- SANITARY MAIN TO BE REMOVED

PROPOSED UTILITY LEGEND

- FORCE MAIN (# INDICATES SIZE)
- SANITARY SEWER (# INDICATES SIZE)
- POLYETHYLENE WATER SERVICE (# INDICATES SIZE)
- WATER MAIN (# INDICATES SIZE)
- GAS SERVICE (# INDICATES SIZE)
- UNDERGROUND ELECTRICAL CONDUIT (# INDICATES SIZE)

GENERAL WATER NOTES:

1. THE CITY OF ORMOND BEACH WATER UTILITY DEPARTMENT SHALL BE NOTIFIED PRIOR TO BEGINNING ANY WATER SYSTEM CONSTRUCTION.
2. ALL WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDEP REGULATIONS AND THE CITY OF ORMOND BEACH UTILITY DETAILS AND SPECIFICATIONS (LATEST EDITION).
3. CONTRACTOR IS TO VERIFY THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER.
4. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ANY EXISTING PAVEMENT, SIDEWALK, CURBING, UTILITIES AND DRAINAGE SYSTEMS DAMAGED DURING CONSTRUCTION. ALL DAMAGED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
5. LOCATION OF TELEPHONE, T.V. CABLE AND ELECTRICAL SERVICE CONNECTIONS TO BE DETERMINED BY APPROPRIATE UTILITIES PERSONNEL IN COOPERATION WITH CONTRACTOR.
6. ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
7. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE CITY WITH A MINIMUM COMPACTION OF 98 PERCENT (AASHTO-T180).
8. WATER SERVICES FROM 3/4" TO 2" POLYETHYLENE (ENDOTRACE) WITH 30" MINIMUM COVER.
9. WATER MAIN FROM 4" TO 12" SHALL BE PVC CLASS 150 (DR 18) WITH 36" MINIMUM COVER.
10. ALL WATER AND FIRE SERVICES ARE REQUIRED TO HAVE A HARD BODY GATE VALVE OFF THE MAIN LINE.
11. ALL VALVES SHALL BE BOLTED TO TEES.
12. ALL POTABLE WATER PIPE SHALL HAVE "NSF POTABLE WATER" IMPRINTED ON THE PIPE.
13. ALL WATER MAIN FITTINGS 4 INCHES OR LARGER SHALL BE CEMENT LINED DIP.
14. A TAPPING CONTRACTOR ACCEPTABLE TO THE CITY OF ORMOND BEACH WILL BE REQUIRED FOR TAPS.
15. THE CONTRACTOR SHALL MAKE ALL ATTEMPTS TO LOCATE BURIED UTILITIES AND NOTIFY THE UTILITY COMPANIES 48 HR. PRIOR TO CONSTRUCTION.
16. UTILITY TRENCH CONSTRUCTION SHALL CONFORM TO CITY OF ORMOND BEACH AND OSHA REQUIREMENTS.
17. IN THE CASE WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE CITY OF ORMOND BEACH UTILITY DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED SOLVENT.

GENERAL SEWER NOTES:

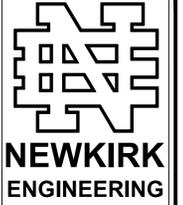
1. CITY OF ORMOND BEACH SHALL BE NOTIFIED PRIOR TO ANY SEWER CONSTRUCTION.
2. ALL SEWER CONSTRUCTION MUST COMPLY WITH FDEP REGULATIONS AND THE CITY OF ORMOND BEACH UTILITY DETAILS AND SPECIFICATIONS (LATEST EDITION).
3. ALL SANITARY SEWER LINES SHALL BE PVC SDR 26 DUE TO THE MINIMUM AMOUNT OF COVER. WATER LINES, RECLAIMED LINES AND STORM DRAINAGE CROSSINGS SHALL FOLLOW THE C-900 OR CONCRETE ENCASUREMENT REQUIREMENT PER THESE STANDARDS AND AS FDEP REQUIREMENTS.
4. SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY CITY OF ORMOND BEACH.
5. THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH.
6. ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES WILL NOT BE ACCEPTED. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY, COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE CITY OF ORMOND BEACH.
7. SANITARY SEWER PIPE SHALL BE PVC SDR 26.
8. EXCAVATION AND BACKFILL: THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING OF EXCAVATION WORK IN ORDER TO PROVIDE FOR THE SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE CITY OF ORMOND BEACH, THE DESIGN ENGINEER, AND THE DEVELOPER.
9. ALL TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO MINIMUM COMPACTION OF (95) PERCENT OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED PROCTOR TEST.
10. ALL TESTING REQUIRED BY THE CITY SHALL BE PAID FOR BY THE CONTRACTOR.
11. GRAVITY MAINS MUST HAVE A TELEVISIED INSPECTION. A VIDEO INSPECTION FORM MUST BE FAXED TO THE CITY OF ORMOND BEACH WASTEWATER COLLECTION DEPARTMENT 48 HOURS PRIOR TO VIDEO INSPECTION. A CITY INSPECTOR MUST BE PRESENT.
12. SEWER CLEANOUT LOCATED ON PAVEMENT AND SIDEWALK AREA SHALL BE TRAFFIC BEARING FLAT TOP BRASS CAP.
13. ALL GREASE TANKS SHALL HAVE A MINIMUM CAPACITY OF 1000 GALLONS.
14. PLUMBING CONTRACTOR SHALL INSTALL TANK AND COORDINATE PIPE INVERTS TO BUILDING WITH UTILITY CONTRACTOR.



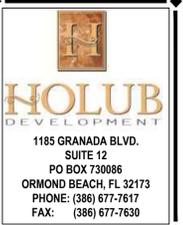
WARNING !!
CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS



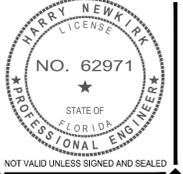
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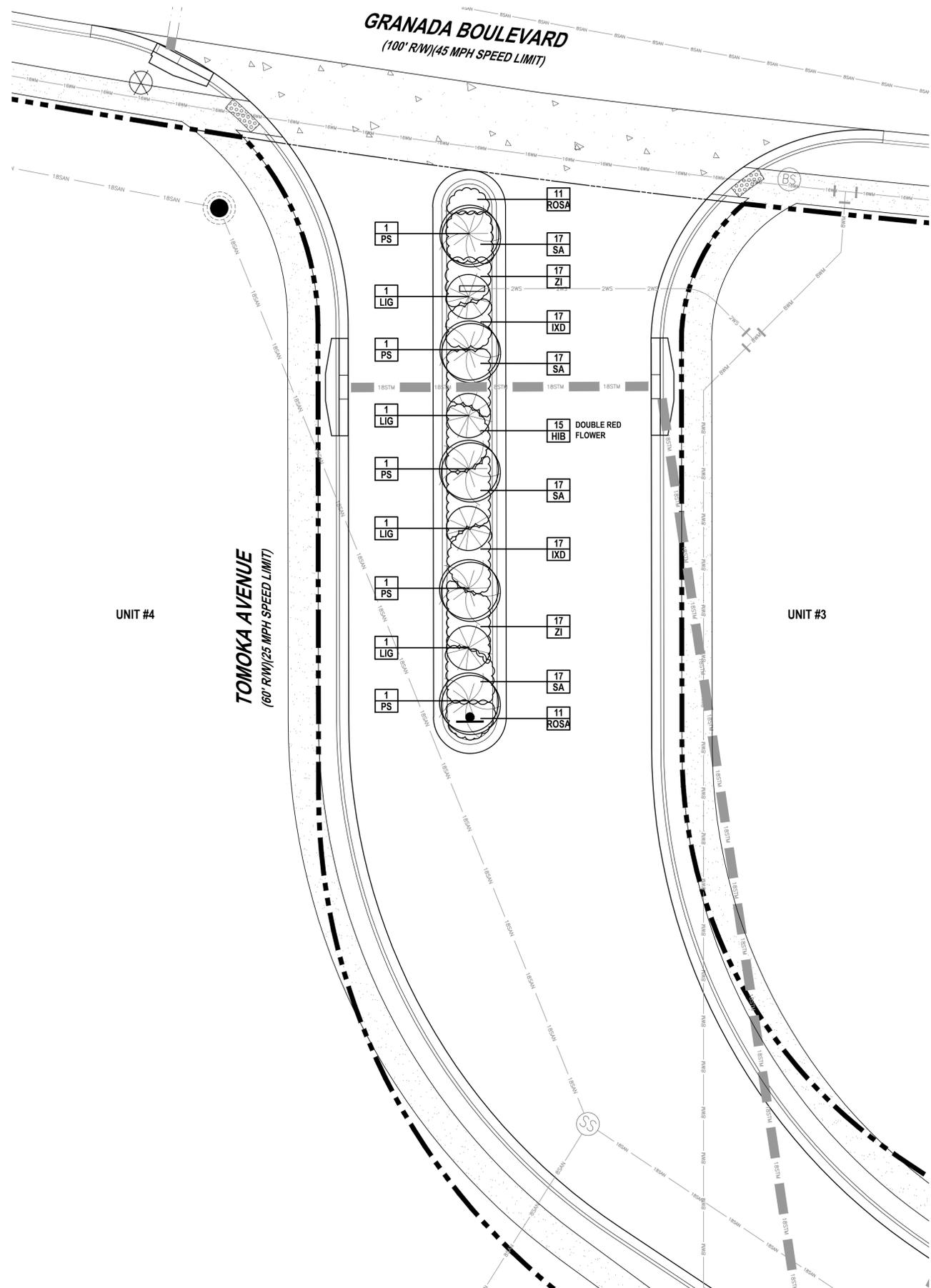
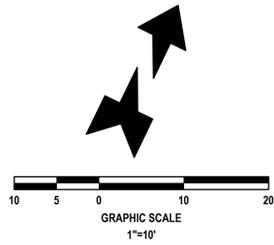
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UTILITY PLAN
GRANADA POINTE
600 WEST GRANADA BOULEVARD
ORMOND BEACH, FLORIDA 32174



PROJECT No: 2015-93
DATE: DECEMBER 2015
DESIGN BY: HHN
DRAWN BY: DAB
CHECKED BY: HHN
SCALE: 1"=40'
DRAWING NUMBER

C-20



LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR FLORIDA #1 OR BETTER AS DESCRIBED IN THE CURRENT "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, OR THEIR EQUAL AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- ALL MULCH SHALL BE ALL NATURAL WOOD (NO CYPRESS).
- SOD SPECIFIED AS ST. AUGUSTINE "FLORITAM" SHALL BE 95% WEED-FREE. SOD SPECIFIED AS BAHIA SHALL BE 85% WEED-FREE. ALL SOD SHALL BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED. SEED, IF ANY, TO MEET SOUTHERN SEED CERTIFICATION ASSOCIATION.
- ALL DIMENSIONS SHALL BE FIELD-CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, WITH ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- THE PLANT MATERIALS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR; SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN WILL PREVAIL.
- ALL MATERIALS MUST BE AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LABOR DO NOT ADHERE TO THE SPECIFICATIONS, THEY WILL BE REJECTED AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTING BEDS SHALL BE TREATED WITH "ROUND-UP" AND "RONSTAR". USE AS DIRECTED BY MANUFACTURERS.
- NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE ALLOWED AT THE TIME OF BIDDING SO AS TO PROVIDE FOR FAIR COMPARISON.
- EXISTING IRRIGATION SYSTEM SHALL BE REVAMPED TO PROVIDE 100% COVERAGE.
- THE CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND CONDITIONS PRIOR TO HIS COMMENCEMENT OF THE ANY WORK.
- ALL BUILDING MATERIALS AND LABOR SHALL CONFORM TO THE SOUTHERN BUILDING CODE AND ALSO TO ALL LOCAL CODES THAT HAVE JURISDICTION.
- ALL PERMIT AND VARIANCE APPLICATIONS SHALL BE MADE BY THE CONTRACTOR.
- PRIOR TO CONSTRUCTION OF PLANTING BEDS, ALL AREAS ARE TO HAVE SOIL TESTS CONDUCTED TO DETERMINE pH AND SOIL FERTILITY. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO AMEND THE SOIL TO MEET ADEQUATE FERTILITY AND pH FOR CORRESPONDING PLANT MATERIAL. ALL TEST RESULTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
- EQUIPMENT SHALL BE OPERATED IN A MANNER AS NOT TO INJURE OR DESTROY ANY TREES SHOWN TO REMAIN. CONTRACTOR SHALL NOT CAUSE OR ALLOW THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE DRIP LINE OF ANY TREE OR GROUPS OF TREES TO BE RETAINED OR THOSE PROPOSED. NOR SHALL THE CONTRACTOR ALLOW THE DISPOSAL OF WASTE MATERIAL, SUCH AS PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY TREE OR GROUP OF TREES. NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS, OR PERMITS MAY BE FASTENED TO A TREE.
- ANY EXISTING TREES CREDITED TOWARDS REQUIRED BUFFERS OR LANDSCAPE REQUIREMENTS REMOVED FOR ANY REASON SHALL BE REPLACED WITH TREES MEETING CITY APPROVAL WITH REGARDS TO SPECIES AND SIZE.
- ALL QUESTIONS CONCERNING THE PLAN AND/OR SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (386) 672-9515.
- ALL SHADE TREES AND SINGLE TRUNK UNDERSTORY TREES SHALL BE STAKED USING ARBORGUY STAKING SYSTEM FOR SINGLE STEM TREE AND ALL MULTI-TRUNK UNDERSTORY TREES SHALL BE STAKED WITH ARBORGUY MULTI-TRUNK SYSTEM.
- ANY CHANGE IN STAKING SYSTEM MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT BEFORE BEING INSTALLED.
- ALL UNIMPROVED AREA NOT OTHERWISE PLANTED OR MULCHED SHALL BE SODDED WITH ST. AUGUSTINE FLORITAM UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
- PLANT MATERIAL SHALL BE CLEARLY IDENTIFIED AS FLORIDA #1 OR BETTER ON EITHER LABELS OR INVOICES.
- ALL PLANT MATERIAL SHALL BE GUARANTEED ONE YEAR AFTER ACCEPTANCE BY OWNER.
- TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOTBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
- ALL PLANT SPECIFICATIONS MUST BE MET OR EXCEEDED.
- PLANT TREE SO THAT ROOTBALL IS 1" - 2" ABOVE FINISH GRADE.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASS, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND A MINIMUM OF 3" OF CLEAN SAND WITH A pH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
- FOR ALL NEW DEVELOPMENT, OR REDEVELOPMENT OF EXISTING PROPERTY, THE APPLICANT SHALL BE REQUIRED TO REMOVE ALL INVASIVE NONNATIVE PLANT SPECIES FROM THE PROPERTY PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL EXISTING TREES AND PALMS WILL BE PROPERLY PRUNED AND CLEANED OF DEADWOOD, BROKEN BRANCHES, DEAD FROND AND VINES AS NEEDED.

LEGEND

- 35 — QUANTITY OF PLANTS
- RI — PLANT CODE (SEE SCHEDULE)

PLANT LIST				
CODE	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS
TREES				
LIG	4	LIGUSTRUM JAPONICA	LIGUSTRUM TREE	8'-10 HGT., 4'-6' SPR., 2" CAL. @ DBH
PS	5	PHOENIX SYLVESTRIS	SILVER DATE PALM	10' C.T., DIAMOND CUT
SUBTOTAL		9		
SHRUBS				
HIB	15	HIBISCUS SPP.	HIBISCUS SHRUB	3 GAL., 16" HGT., FULL, 2' OC
IXD	34	IXORA NORA GRANT	NORA GRANT	3 GAL., 16" HGT., FULL, 2' OC
ROSA	22	ROSA SPP.	RED KNOCKOUT ROSE	3 GAL., 16" HGT., FULL, 1.5' OC
SA	68	SHEFFLERA ARBORCOLA	VARIEGATED SHEFFLERA	3 GAL., 16" HGT., FULL, 2' OC
ZI	34	ZAMIA INTERGRIFOLA	COONTIE	3 GAL., 16" HGT., FULL, 2' OC
SUBTOTAL		173		
TOTAL		182		

REVISIONS

DATE	DESCRIPTION

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 PLANNER & LANDSCAPE ARCHITECT
 300 GATEWOOD COURT • ORMOND BEACH, FLORIDA 32174
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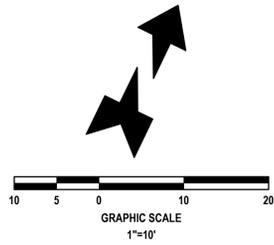
LANDSCAPE PLAN
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174

PROJECT No: 2015-93
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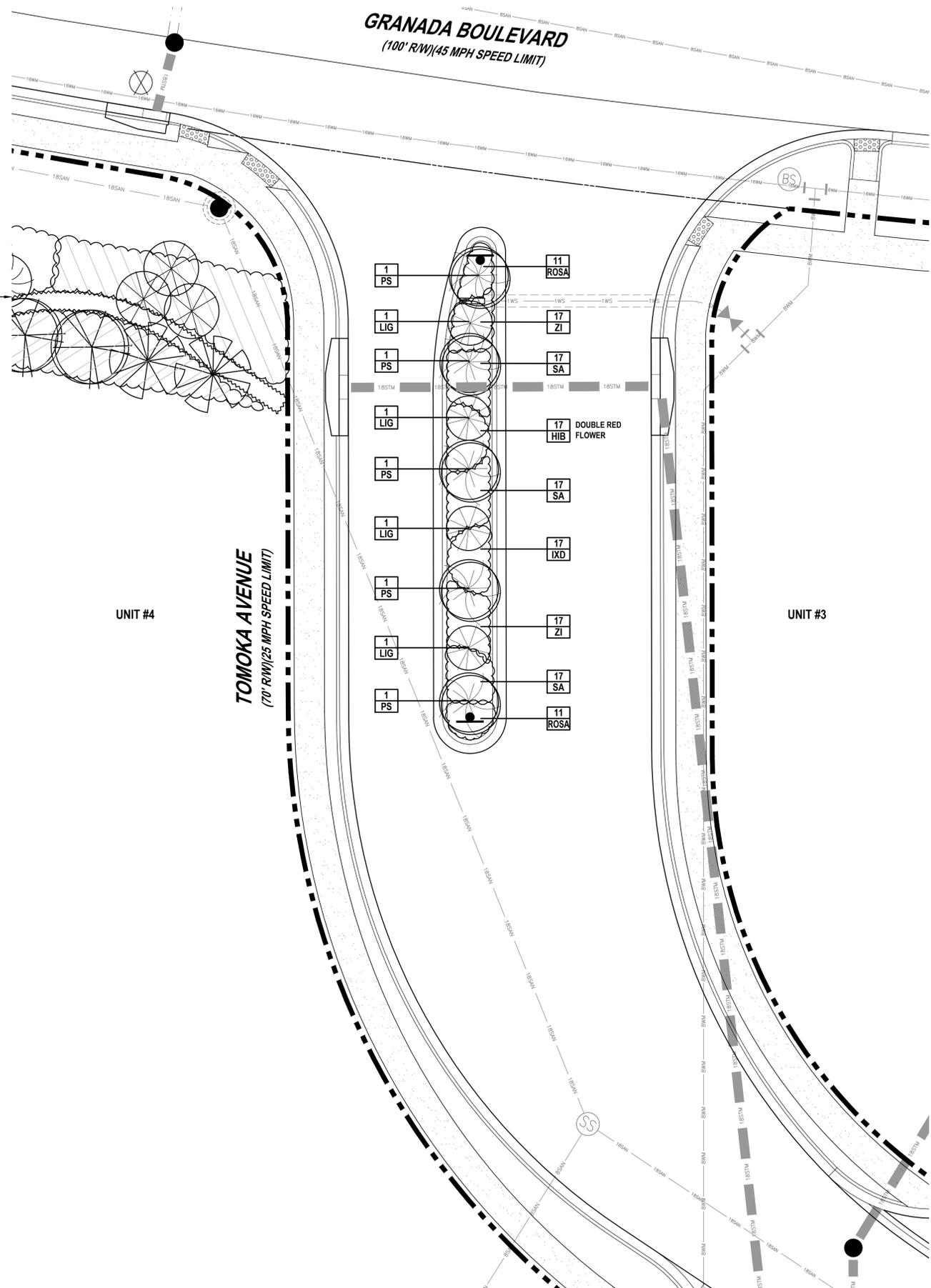
C-29



WARNING !!
 CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES, GAS MAINS AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.



UNIT 4 LANDSCAPE BUFFER TO BE CONSTRUCTED DURING UNIT 4 CONSTRUCTION. SEE SHEET C-29A FOR DETAILS.



LANDSCAPE NOTES:

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- ANY CHANGE IN STAKING SYSTEM MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT BEFORE BEING INSTALLED.
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LEGEND

- 35 — QUANTITY OF PLANTS
- RI — PLANT CODE (SEE SCHEDULE)

TOMOKA AVENUE MEDIAN PLANT LIST

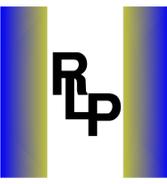
CODE	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS
TREES				
LIG	4	LIGUSTRUM JAPONICA	LIGUSTRUM TREE	8' HGT., 5' CT., 2" CAL. @ DBH
PS	5	PHOENIX SYLVESTRIS	SILVER DATE PALM	10' CT, DIAMOND CUT
SUBTOTAL	9			
SHRUBS				
HIB	17	HIBISCUS SPP.	HIBISCUS SHRUB	3 GAL., 16" HGT., FULL, 2' OC
IXD	17	IXORA NORA GRANT	NORA GRANT	3 GAL., 16" HGT., FULL, 2' OC
ROSA	22	ROSA SPP.	RED KNOCKOUT ROSE	3 GAL., 16" HGT., FULL, 1.5' OC
SA	51	SHEFFLERA ARBORCOLA	VARIEGATED SHEFFLERA	3 GAL., 16" HGT., FULL, 2' OC
ZI	34	ZAMIA INTERGRIFOLA	COONTIE	3 GAL., 16" HGT., FULL, 2' OC
SUBTOTAL	141			
TOTAL	150			

MAINTENANCE NOTES:

- LIGUSTRUM TREE SHALL BE MAINTAINED AT A MINIMUM HEIGHT OF 5' CT (CLEAR TRUNK).
- THE UNDER PLANTINGS MUST BE MAINTAINED AT A MAXIMUM HEIGHT OF 36 INCHES ABOVE THE CROWN OF ROAD.

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS



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 MEDIAN LANDSCAPE PLAN
 GRANADA POINTE**
 600 WEST GRANADA BOULEVARD
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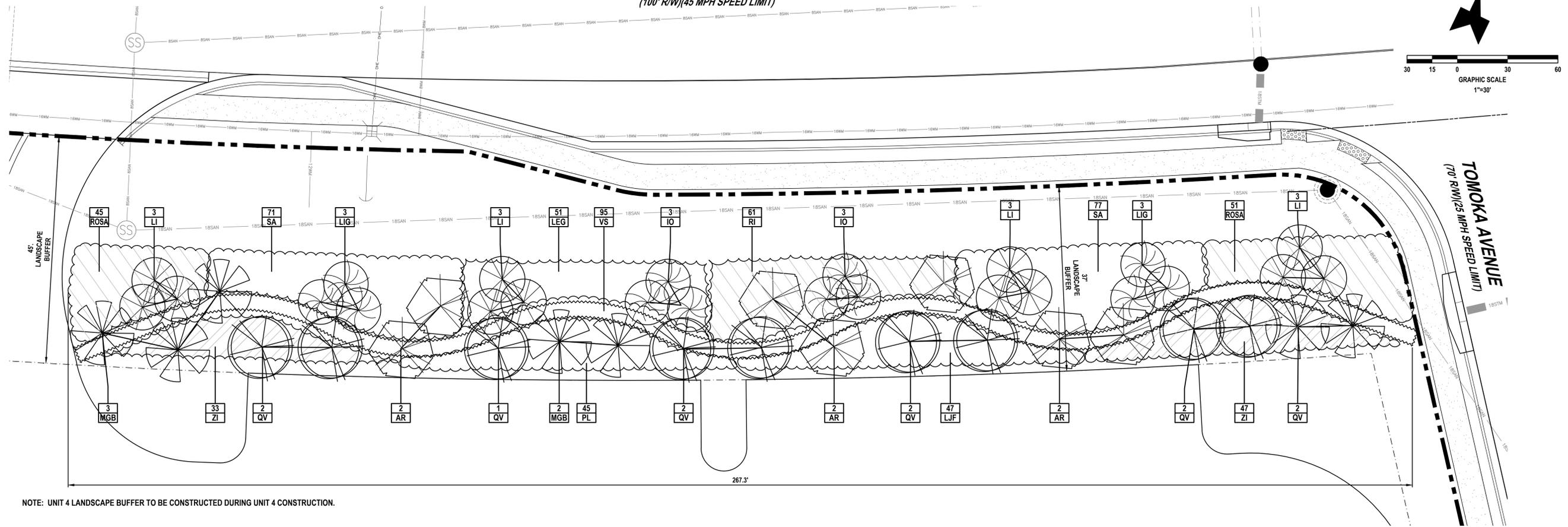
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GRANADA BOULEVARD
(100' R/W)(45 MPH SPEED LIMIT)

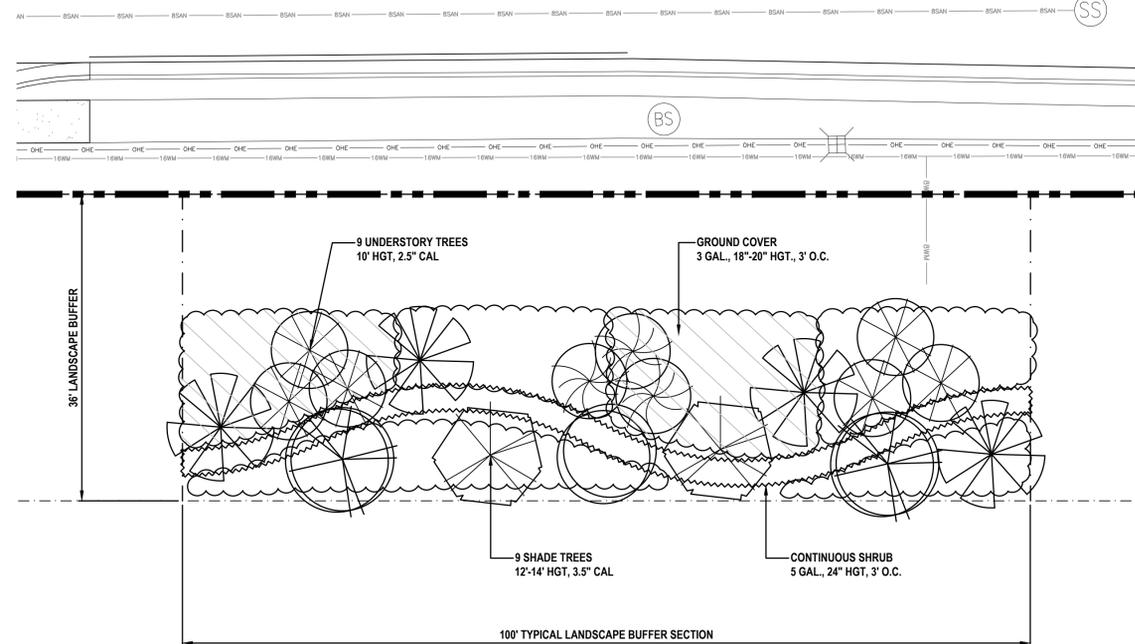


NOTE: UNIT 4 LANDSCAPE BUFFER TO BE CONSTRUCTED DURING UNIT 4 CONSTRUCTION.

UNIT 4 LANDSCAPE BUFFER PLAN

SCALE: 1" = 10'

GRANADA BOULEVARD
(100' R/W)(45 MPH SPEED LIMIT)



TYPICAL LANDSCAPE BUFFER PLAN FOR UNITS 1, 2 & 3

SCALE: 1" = 10'

UNIT 4 BUFFER PLANT LIST

CODE	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS
TREES				
AR	6	ACER RUBRUM	FLORIDA FLAME MAPLE	12'-14" HGT., 3.5" CAL.
IO	6	ILEX ATTENUATA	EAST PALATKA HOLLY	10' HGT., 2.5" CAL.
LI	12	LAGERSTROEMIA INDICA	CRAPE MYRTLE STD. (MULTIPLE TRUNK)	10' HGT., 2.5" CAL.
LIG	6	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE STD.	10' HGT., 2.5" CAL.
MGB	5	MAGNOLIA SSP.	BRACKEN BROWN MAGNOLIA	12'-14" HGT., 3.5" CAL.
QV	11	QUERCUS VIRGINIANA	LIVE OAK	12'-14" HGT., 3.5" CAL.
SUBTOTAL	46			
SHRUBS				
LEG	51	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE	3 GAL., 18"-20" HGT., 3' O.C.
LJF	47	LIGUSTRUM SSP.	JACK FROST LIGUSTRUM	3 GAL., 18"-20" HGT., 3' O.C.
PL	45	PLUMBAGO SSP.	IMPERIAL BLUE	3 GAL., 18"-20" HGT., 3' O.C.
RI	61	RAPHIOLEPIS INDICA	INDIAN HAWTHORNE	3 GAL., 18"-20" HGT., 3' O.C.
ROSA	96	ROSA SSP.	RED KNOCKOUT ROSE (RED)	3 GAL., 18"-20" HGT., 3' O.C.
SA	148	SCHEFFLERA ARBORICOLA	VERIEGATED SCHEFFLERA	3 GAL., 18"-20" HGT., 3' O.C.
VS	95	VIBURNUM SUSPENSUM	SANDANKWA	5 GAL., 24" HGT., 3' OC
SUBTOTAL	543			
GROUND COVER (G.C.)				
ZI	80	ZAMIA INTERGRIFOLA	COONTIE	3 GAL., 18"-20" HGT., 3' O.C.
SUBTOTAL	80			
TOTAL	669			

BUFFER REQUIREMENTS

- ALL TREES SHALL BE SELECTED FROM THE CITY OF ORMOND BEACH APPROVED TREE LIST.
- ALL SHADE TREES SHALL HAVE A MINIMUM HEIGHT OF 12'-14" HEIGHT WITH A 3.5" CALIPER.
- ALL UNDERSTORY TREES SHALL HAVE A MINIMUM HEIGHT OF 10' WITH A 2.5" CALIPER.
- 60% MINIMUM OF THE BUFFER SHALL CONSIST OF SHRUBS AND GROUND COVER.
- 40% MAXIMUM OF THE BUFFER SHALL CONSIST OF SOD.

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS

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PLANNER & LANDSCAPE ARCHITECT
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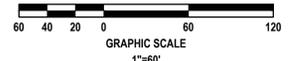
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BUFFER LANDSCAPE PLAN
GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174

REGISTERED LANDSCAPE ARCHITECT
RICHARD L. POORE
LA533
STATE OF FLORIDA
NOT VALID UNLESS SIGNED AND SEALED

PROJECT No: 2015-93
DATE: DECEMBER 2015
DESIGN BY: RLP
DRAWN BY: DAB
CHECKED BY: RLP
SCALE: 1"=10'
DRAWING NUMBER

C-29A



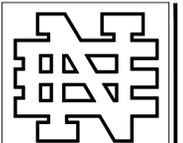
CURVE C2
 CA = 53°20'09"
 R = 62.00'
 CB = S 88°48'26" E
 Ch = 55.65'
 L = 57.72'

CURVE C1
 CA = 10°47'15"
 R = 1860.08'
 CB = S 76°48'33" W
 Ch = 349.70'
 L = 350.21'

DEVELOPMENT USAGE TABLE				
PARCEL	AREA ACRES	IMPERVIOUS AREA ACRES (PERCENT)	POND WET AREA ACRES (PERCENT)	PERVIOUS AREA ACRES (PERCENT)
UNIT 1	1.897	1.100	0.160	0.637
UNIT 2	3.330	2.300	0.260	0.770
UNIT 3	2.173	1.640	0.000	0.533
UNIT 4	5.368	4.440	0.000	0.928
STORMWATER PARCEL	6.713	0.000	4.474	2.239
SUBTOTAL	19.481	9.480	4.894	5.107
OUTPARCEL	3.045	2.132	0.000	0.913
CONSERVATION PARCEL	10.056	0.000	0.000	10.056
SUBTOTAL	13.101	2.132	0.000	10.969
PROJECT TOTAL	32.582	11.612	4.894	16.076

REVISIONS

DATE	DESCRIPTION
3/11/16	CITY COMMENTS



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 Certificate of Authorization
 No. 30209
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 Civil Engineering
 Land Development
 Construction Engineering & Inspection



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PERMITTED USES:

USES PERMITTED UNDER THE PLANNED BUSINESS DEVELOPMENT AGREEMENT

- BUSINESS / PROFESSIONAL OFFICE
- BUSINESS SERVICE
- FINANCIAL INSTITUTION (INCLUDING DRIVE-THRU)
- PHARMACY (INCLUDING DRIVE-THRU)
- PERSONAL SERVICES
- RECREATION FACILITY (INDOOR)
- RESTAURANT, TYPE A
- RESTAURANT, TYPE B
- RESTAURANT, TYPE C
- RETAIL, SALES AND SERVICES
- CONVENIENCE STORE, TYPE A
- CONVENIENCE STORE, TYPE B
- CONVENIENCE STORE, TYPE C
- GARDEN CENTER AND NURSERY
- BOWLING CENTER
- SHOPPING CENTER

UNIT SETBACKS AND BUFFERS

	BUILDING	LANDSCAPE
FRONT (GRANADA)	51 FEET	36 FEET
FRONT (TOMOKA)	30 FEET	10 FEET
REAR	20 FEET	5 FEET
SIDE (EXTERIOR)	20 FEET	5 FEET
SIDE (INTERIOR)	10 FEET	5 FEET
SIDE (ZERO LOT LINE)	10 FEET	0 FEET

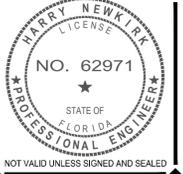
FLOOR AREA RATIO (FAR):

BUILDINGS CANNOT EXCEED AN OVERALL FAR OF 0.20
 FAR (MAX) = 0.20 (15,813 ACRES x 43,560 SF/ACRE) = 137,763 SF

PARKING CALCULATIONS:

- UNIT 1 - RESTAURANT
 1 SPACE PER 3 SEATS + 1 SPACE FOR EACH 2 EMPLOYEES = 130 SEATS x 1/3 + 18 EMPLOYEES x 1/2 = 53
 TOTAL SPACES REQUIRED = 53
 TOTAL SPACES PROVIDED = 58
- UNIT 2 - NON-INTENSIVE RETAIL
 1 SPACE PER 250 SQUARE FEET = 26,000 SQUARE FEET / 250 = 104
 TOTAL SPACES REQUIRED = 104
 TOTAL SPACES PROVIDED = 108
- UNIT 3 - INTENSIVE RETAIL
 1 SPACE PER 225 SQUARE FEET = 5,559 SQUARE FEET / 225 = 25
 TOTAL SPACES REQUIRED = 25
 TOTAL SPACES PROVIDED = 58
- UNIT 4 - INTENSIVE RETAIL
 1 SPACE PER 225 SQUARE FEET = 41,952 SQUARE FEET / 225 = 187
 TOTAL SPACES REQUIRED = 187
 TOTAL SPACES PROVIDED = 199
- OUTPARCEL - NON-INTENSIVE RETAIL
 1 SPACE PER 250 SQUARE FEET = 15,000 SQUARE FEET / 250 = 60
 TOTAL SPACES REQUIRED = 60
 TOTAL SPACES PROVIDED = 106

CONCEPTUAL DEVELOPMENT PLAN
 GRANADA POINTE
 600 WEST GRANADA BOULEVARD
 ORMOND BEACH, FLORIDA 32174



NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-93
DATE:	DECEMBER 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN
SCALE:	1" = 60'
DRAWING NUMBER	

C-32

