



A G E N D A
ORMOND BEACH PLANNING BOARD
Regular Meeting

December 8, 2016

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

- I. ROLL CALL**
- II. INVOCATION**
- III. PLEDGE OF ALLEGIANCE**
- IV. NOTICE REGARDING ADJOURNMENT**

THE PLANNING BOARD WILL NOT HEAR NEW ITEMS AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

- V. APPROVAL OF THE MINUTES: October 8, 2015**
- VI. PLANNING DIRECTOR'S REPORT**
- VII. PUBLIC HEARINGS**

- A. RZ 2017-008, 100 North Halifax Drive, Amendment to Official Zoning Map:**
This is a request submitted by Ed Schwarz, Halifax 100 LLC, property owner, to amend the Zoning Map designation of a 1.48± acre property located at 100 North Halifax Drive from the existing zoning designation of R-2 (Single-Family Low Density) to R-5 (Multifamily Medium Density).
- B. LDC 2017-013, Land Development Code amendment, New Britain Avenue height amendment:** This is a request by Glenn D. Storch, Esquire (applicant) to amend the Ormond Beach Land Development Code. The applicant seeks to amend Chapter 2, District and General Regulations, Article VI, Overlay Districts, and Section 2-70, Downtown Overlay District of the Land Development Code to remove the existing two (2) story height limitation along New Britain Avenue, from North Beach Street to North Ridgewood Avenue abutting the historic Lincoln Avenue Overlay District and establish certain setback and landscape standards.

C. MM 16-107: 2016 Capital Improvements Element (CIE) Annual Update

This is an administrative annual update to the schedules of CIE of the City of Ormond Beach Comprehensive Plan, in accordance with State law. This update does not include any text changes to the goals, objectives and policies of the CIE.

VIII. OTHER BUSINESS**IX. MEMBER COMMENTS****X. ADJOURNMENT**

M I N U T E S
ORMOND BEACH PLANNING BOARD
Regular Meeting

October 13, 2016

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL 32174

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

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I. ROLL CALL

Members Present

Patricia Behnke
Harold Briley, Vice Chair
Lewis Heaster
Al Jorczak
Rita Press
Lori Tolland (excused)
Doug Thomas, Chair (arrived late)

Staff Present

Steven Spraker, Senior Planner
Randy Hayes, City Attorney
Colby Cilento, Recording Technician

II. INVOCATION

Mr. Jorczak led the invocation.

III. PLEDGE OF ALLEGIANCE

IV. NOTICE REGARDING ADJOURNMENT

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V. MINUTES

September 8, 2016

Ms. Behnke moved to approve the September 8, 2016 Minutes as presented. Mr. Heaster seconded the motion. Hearing no objections, the minutes were unanimously approved.

VI. PLANNING DIRECTOR'S REPORT

None.

VII. PUBLIC HEARINGS

A. LUPA 2016-116: 100 N Halifax Drive, Small Scale Land Use Map Amendment

Mr. Steven Spraker, Senior Planner, City of Ormond Beach, stated that this is a request for a Land Use Map Amendment at 100 N Halifax. The application seeks to go from the Public Institutional Land Use to the Medium Density Residential. The Public Institutional Land Use is mainly used for churches, a post office, an assisted living facility, and when the Comprehensive Plan was created, all of the existing churches, nursing homes, assisted living facilities were all given the Public Institutional Land Use. This land use does not allow residential or commercial.

Mr. Spraker stated that the existing church has been sold to the applicant, and they are seeking to develop it into residential use. There are four steps to the process. The first part is for the Board to decide if this is an appropriate use of the land, to go from Public Institutional to a Medium Density Residential. At this point, there are no site plans, there are no buffers, and we do not know the number of units. All of that will come as this goes through the process.

Mr. Spraker continued that the next step will be the zoning, which will come before the board. The third step is the actual site plan review, showing the actual number of units, landscaping, buffers, stormwater, parking and the details of how the project will be built. This step will require a neighborhood meeting per our Land Development Code. The final action is when the project is finally built, with a building permit and a site engineering permit.

Mr. Spraker stated that the only thing before the Board tonight is whether or not this is an appropriate use of the land. Mr. Spraker explained the location, orientation, and characteristics of the subject property and presented the staff report. The applicant did conduct a neighborhood meeting on September 27, to introduce the concept to the residential area. Mr. Spraker stated Staff is recommending approval.

Ms. Press stated that she attends a lot of the neighborhood meetings, and she thinks they are great because you really hear the concerns of the neighbors. She would like to have a summarization given to the Board stating the concerns of the people who attended the meeting.

Mr. Heaster stated that the PowerPoint slide, with the arrows, showing the process that a project goes through, is a great idea and should be included in each packet, not only for the Board, but for the public too.

Ms. Press asked that when the residents within 300 feet were notified of the neighborhood meeting, was the Unitarian Church also notified? Mr. Spraker stated that he would have to look at his list, but if it is within 300 feet, then yes, they would have been notified.

Mr. Jorczak asked Mr. Spraker if he knew how many units were in the adjacent property. Mr. Ed Schwartz, the applicant, stated that there are 16 units in the complex to the south at 60 N Halifax.

Mr. Schwartz stated that this is a project that he is pretty excited about. He is a commercial real estate broker in the community. He has had a lot of inquiries from other church interests for the property since he bought it, but he has decided that the residential, townhouse, multi-family type use might be the best for the property. Mr. Schwartz is looking to do something that is compatible with the adjoining uses in the neighborhood.

Mr. Schwartz stated that the plans he has right now are very conceptual, but he feels really good about the response he got from the neighbors at the neighborhood meeting. They seemed to be excited about what he wants to do with the property, and they were happy to see the church leave the neighborhood, and see the potential for residential use. Mr. Schwartz stated that they looked at the Clubhouse Condos next door, where there are 16 units, and his property would probably be less density.

Mr. Heaster stated that he is looking forward to seeing the site plans and it will be an exciting project.

Ms. Behnke stated that she thinks it is a tremendous concept, and changing the land use and zoning is a very good move.

Mr. Briley stated that he likes the compatibility of the concept as well.

Ms. Press always asks builders to market units for people who want to downsize. Mr. Press asked Mr. Schwartz if these units would be marketing seniors who might want to downsize, be in the downtown area, and have low maintenance. Mr. Schwartz stated that he believes the main target market will be people in this neighborhood who have larger, older homes and are looking to downsize and get away from the maintenance of owning a home.

Ms. Behnke asked if conceptually Mr. Schwartz is planning two-story units. Mr. Schwartz stated right now the plan is to put in townhouses with a two-car garage, a master bedroom on the first floor, with two bedrooms and bath on the second floor.

Mr. Heaster made a motion to approve LUPA 2016-116: 100 N Halifax Drive, Small Scale Land Use Map Amendment. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved (6-0).

VIII. OTHER BUSINESS

None.

IX. MEMBER COMMENTS

Ms. Behnke stated that she is thankful that the storm is over and gone. She is thankful that there was minimal damage, and that speaks well for the types of homes in our communities.

Mr. Jorczak stated that unfortunately they lost power, and TV, and cable, and so he got re-acquainted with the radio, and he was impressed how Marc Bernier handled communication for the entire area, and the time that he spent trying to keep people informed. The media did a commendable job with handling the crisis.

Chairman Thomas stated that Lori Tolland called him and asked him to convey on her behalf what an excellent job the City did throughout the hurricane and how proud she is to live in Ormond Beach. She was impressed with the City offering water and aid so quickly to people, the information that was shared on the City website, and everything that the City did.

Chairman Thomas stated that Tomoka Oaks was one of the hardest hit areas in Ormond Beach, and his neighbors have commented and been very happy with what the City has done. Chairman Thomas spoke with City Manager, Joyce Shanahan, and she told him that FEMA has estimated that Ormond Beach had \$50 million dollars' worth of damage. City Attorney Hayes stated that the estimate was half a billion dollars county-wide. Ms. Shanahan was thrilled with the way all employees stepped up to the plate in the time of crisis.

Ms. Press stated that Publix was open very quickly after the storms, and people were very appreciative of that. Ms. Press asked Mr. Spraker when the LUPA 2016-116 would be going to City Commission. Mr. Spraker stated that it will go for the 1st reading on December 6.

Mr. Heaster stated that he grew up in Ormond Beach and lived here his entire life and never experienced anything like the hurricane. He said that it really brought everyone together, and neighbors were helping neighbors. The City staff did a great job. Mr. Heaster had spoken to Ms. Shanahan a few times because he had water issues on some properties. It is amazing what the people in Public Works went through when the water supply was depleted. But, someone had the foresight years ago to interconnect with Daytona Beach and Port Orange, so if something like this happened one day, they could tap all the leaks, turn the valve on near Florida Hospital, and Daytona pump millions of gallons to us. It is great how this was planned years ago for an event like this. Mr. Heaster also thanked Chairman Thomas for helping him out with some hurricane shutters at the last minute.

Mr. Briley stated that it cannot be understated what the City staff did. Ormond Beach is a great community where everyone comes together for each other in times of crisis. Mr. Briley then stated that if he would win the upcoming election, this will be his last Planning Board meeting, and it has been an honor serving with everyone on the Board.

Chairman Thomas asked if there is anything going on at the old Food Lion. Mr. Spraker stated that there have been inquiries, but no permits have been pulled for anything.

Ms. Press stated that she has a very big birthday coming up around Christmas, and years ago she had decided that when she reached that birthday, she would no longer be on the Planning Board. So, she will be resigning at the end of the year. However, she would love to continue to receive a packet, so that she can stay in the loop about things around the City. And she will probably be speaking at the podium. It has been a pleasure working with everyone over the years.

X. ADJOURNMENT

The meeting was adjourned at 7:27 p.m.

Respectfully submitted,

Steven Spraker, Senior Planner

ATTEST:

Harold Briley, Vice-Chair

Minutes transcribed by Melanie Nagel.

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: December 1, 2016

SUBJECT: 100 North Halifax Drive, Amendment to Official Zoning Map

APPLICANT: Ed Schwarz, Halifax 100 LLC

NUMBER: RZ 2017-008

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION:

This is a request submitted by Ed Schwarz, Halifax 100 LLC, property owner, to amend the Zoning Map designation of a 1.48± acre property located at 100 North Halifax Drive from the existing zoning designation of R-2 (Single-Family Low Density) to R-5 (Multifamily Medium Density).

BACKGROUND:

The property at 100 North Halifax Drive has a Future Land Use designation of "Public/Institutional" and a zoning designation of R-2 (Single-Family Low Density). The Volusia County Property Appraiser website shows that there are two buildings on site of 1,818 square feet and 2,964 square feet, both constructed in 1975. The property was historically utilized for a house of worship. The current property owner, Halifax 100 LLC purchased the property in April of 2014 with the intention of developing a residential development similar to the multi-family development south of the subject property at 60 North Halifax Drive.

Based on the existing land use and zoning, a multi-family development would require a process that has four primary steps as described below:

Step 1: Land Use:

A property's land use is approved as part of the City's Comprehensive Plan and provides an overall philosophy of the intended use of the property, including the maximum intensity (square footage of the building) and maximum density (number of residential units per acre). The current land use of "Public/Institutional" for the property at 100 North Halifax Drive only allows institutional uses such as churches, daycares, assisted living facility, and governmental facilities. There is a current land use application seeking to amend the land use designation to the "Medium Density Residential" land use to allow residential uses. The land use amendment was recommended for approval by the Planning Board on October 13, 2016 and is scheduled for City Commission action on December 6, 2016 and January 17, 2017. The zoning application shall be scheduled for City Commission review after final action on the land use amendment. The land use amendment does not approve a specific use

or development and there is no development plans associated with a land use. The land use does provide the framework for implementation of zoning and a specific site plan that occurs later on within the steps of a site development which require city review and approval.

Step 2: Zoning:

The property's zoning further refines the permitted, conditional, and special exception uses and establishes dimensional standards such as setbacks, lot coverage and building coverage. A property's zoning designation is required to be consistent with the adopted land use designation for the property. The purpose of this application is to amend the zoning designation to be consistent with the "Medium Density Residential" land use designation. There are no site or land development plans attached to the application and the property would be governed by the regulations of the R-5 zoning district.

The property would have two options under the R-5 zoning designation for site development. The first option for site development would be under the regulations of the R-5 zoning district. The property owner would be required to meet all applicable sections of the Land Development Code. The second option would be to perform a second zoning map amendment to a Planned Residential Development (PRD) to approve a specific site plan for the property. The property would need to be rezoned from R-2 to R-5 to be eligible for the PRD zoning designation. The property owner has indicated a desire to rezone the property to the PRD zoning designation, choosing the second option above. The project would need to perform a site plan to determine which of the above options will be necessary for the project.

Step 3: Site plan:

A site plan is a specific plan that identifies the proposed use, location of the building(s) on-site, stormwater, landscaping, buffers and walls, parking, handicapped access, and project utilities. Site plans are reviewed and approved by the City's Site Plan Review Committee (SPRC) for permitted and conditional uses and by the City Commission, after SPRC review, for special exception or planned developments. If the property owner elects to develop under the R-5 zoning standards, the site plan review would be reviewed and approved by the Site Plan Review Committee. If the property owner applies for a Planned Residential Development, the site plan would be reviewed by the Site Plan Review Committee and Planning Board with final approval authority from the City Commission. The land use amendment must be completed for the subject property prior to the commencement of a residential project because the existing land use of "Public/Institutional" does not allow residential uses. The City's Land Development Code requires that the site plan approval process shall require a neighborhood meeting with notification to all property owners within a 600' site radius under either the R-5 or Planned Residential Development options.

Step 4: Construction permits:

Once the land use, zoning, and site plan have all been completed, the project would have two construction permits. The first construction permit is an engineering permit that would implement the site plan (non-building) improvements. The second

construction permit is the building permit that demonstrates how the buildings are to be constructed. Both engineering and building permits are inspected and once completed, a Certificate of Occupancy is issued.

The applicant did conduct a neighborhood meeting on September 27, 2016 at the subject property. The focus of the meeting was to provide an introduction to the project and the process needed to allow a ten unit multi-family development. There were approximately 25 individuals who attended the meeting. The meeting focused more on the site plan aspects of the project than the land use applictaion.

Below is the existing land use and zoning designations of adjacent properties:

EXHIBIT 1: Land use and zoning designations of adjacent property

Land Use and zoning designations of adjacent property			
	Current Land Uses	Future Land Use Designation	Zoning
North	Single family residential	"Low density residential"	R-2 (Single-family low density)
South	Multi-family	"Medium density residential"	R-5 (Multi-family medium Residential)
East	Single family residential	"Low density residential"	R-2 (Single-family low density)
West	Oceanside Country Club	"Low density residential"	R-2.5 (Single-family low-medium density)

Below is a picture of the existing site:

EXHIBIT 2: Existing site picture



Below is a site aerial of the existing site:

EXHIBIT 3: Site aerial:



Source: <http://explorer.pictometry.com/index.php>

ANALYSIS: The subject property is undergoing a separate Small Scale Comprehensive Plan Land Use Map amendment seeking to amend the land use from “Public/Institutional” to “Medium Density Residential”. Section 2-02 of the Land Development Code provides the compatible zoning districts to the “Medium Density Residential” land use designation which are as follows:

1. R-3, Single-Family Medium Density
2. NP, Neighborhood Preservation
3. R-4, Single-Family Cluster and Townhouse
4. R-5, Multi-Family Medium Density
5. R-6, Multi-Family Medium-High Density
6. T-1, Manufactured/Mobile Home
7. T-2, Manufactured Home
8. PRD, Planned Residential Development

Staff analyzed the potential zoning districts as follows:

R-3, Single-Family Medium Density: Section 2-15(A) of the Land Development Code provides the purpose of the R-3, Single-Family Medium Density zoning district as follows:

The purpose of the Single-Family Medium Density (R-3) Zoning District is to stabilize and protect the residential characteristics of existing medium density, single-family neighborhoods and to promote and encourage a suitable environment for family life.

The R-3 zoning district is a single-family residential zoning district that includes Ormond Lakes, Breakaway Trails, areas from Beach Street to Nova Road, and along the beachside between Riverside Drive and South Atlantic Avenue. The R-3 zoning district does not allow multi-family residential uses.

NP, Neighborhood Preservation: Section 2-16(A) of the Land Development Code provides the purpose of the NP, Neighborhood Preservation zoning district as follows:

The purpose of the Neighborhood Preservation (NP) Zoning District is to preserve the character of older neighborhoods by providing for compatible infill development and redevelopment where enforcement of lot dimensions through other residential zoning districts would not be possible and encourage a suitable environment for family life.

The NP zoning district is similar to the R-3 and has reduced lot area and setbacks based on the existing lot development patterns. The NP zoning district is located between U.S. Highway 1 and the F.E.C. railroad generally between Selden Avenue and Washington Place. The R-3 zoning district does not allow multi-family residential uses.

R-4, Single-Family Cluster and Townhouse: Section 2-17(A) of the Land Development Code provides the purpose of the R-4, Single-Family Cluster and Townhouse zoning district as follows:

The purpose of the Single-Family Cluster and Townhouse (R-4) Zoning District is to provide for a variety of dwelling units in a highly aesthetic setting. The zoning district attempts to establish an optimum living environment between indoor and outdoor living, to encourage the establishment of on-site recreation areas and open space, and cluster developments on small lots, while maintaining the maximum possible privacy for each unit through quality of design.

The R-4 zoning district is scattered along developments throughout the City and areas include the Tymber Creek subdivision, Ocean Village Villas, Ellinor Village, and Trails South and North Forty. The R-4 zoning district is a multi-family zoning district and primarily includes townhouses, duplexes, triplexes and smaller single-family lots.

R-5, Multifamily Medium Density: Section 2-18(A) of the Land Development Code provides the purpose of the R-5, Multifamily Medium Density zoning district as follows:

The purpose of the Multifamily Medium Density (R-5) Zoning District is to provide for a mixture of various residential types ranging from single-family detached homes, to low density multifamily developments designed in such manner as to be highly compatible within the site and the neighborhood through the use of open space, buffering and architectural design.

The R-5 zoning district is scattered along multi-family developments throughout the City and areas include the 60 North Halifax Drive (next to the subject property), Gardens of New Britain, Wellington Station, portions of the Trails Subdivision, and Tomoka Oaks Condo. The R-5 zoning district is a multi-family zoning district and allows a density of 12 units per acre.

R-6, Multifamily Medium Density: Section 2-19(A) of the Land Development Code provides the purpose of the R-6, Multifamily Medium-High Density zoning district as follows:

The purpose of the Multifamily Medium-High (R-6) Zoning District is to provide for the development of multiple-family residential developments at medium to high densities.

The R-6 zoning district is scattered along multi-family developments throughout the City and areas include along SR A1A, the Trails, Tomoka Meadows, and River Bridge Condos at 20 South Beach Street. The R-6 zoning district is a multi-family zoning district and allows a density of 32 units per acre.

T-1, Manufactured/Mobile Home and T-2, Manufactured Home:

The T-1 and T-2 zoning districts allow planned manufactured and mobile home communities. Examples of communities include Aberdeen, Bear Creek, and the Falls. The subject property is 1.48 acres and lacks sufficient size to be developed under the T-1 and T-2 zoning district standards.

PRD, Planned Residential Development: Section 2-35(A) of the Land Development Code provides the purpose of the PRD, Planned Residential Development zoning district as follows:

The purpose of the PRD, Planned Residential Development District classification is to provide more flexibility with regard to land use, density and dimensional standards, and other requirements of this Code, to encourage developments that incorporate innovative concepts of site planning, coordinated architectural and functional design, higher level of amenities, increased amounts of open space, recreation and landscaping, and a better living environment overall.

The Planned Residential Developments have been historically used to implement the "Suburban Low Density Residential" land use for subdivisions. Examples include Southern Pines, Creekside, and River Oaks. On April 21, 2009, with Ordinance 2009-07, the PRD zoning designation was amended to allow smaller lots to undergo the rezoning process to allow more flexibility in redeveloping smaller properties. The amendment allows properties with the R-4, R-5, and R-5 zoning designations to apply for the Planned Residential Development re-zoning provided that the property is 1 acre or greater. Properties with the SR, R-1, R-2, R-2.5, or R-3 zoning are required to have a size of 5 acres or greater.

Summary of zoning district options:

The applicant has applied for a zoning map amendment from R-2 to the R-5 zoning district, similar to the abutting property located at 60 North Halifax Drive, to the south of the subject property. The current R-2 zoning district is not consistent with the "Medium Density Residential" land use. As described above, there are a number of options that are compatible with the "Medium Density Residential" land use.

Zoning options not recommended for consideration are as follows:

1. R-3 and NP zoning classifications are single-family and do not accomplish the desire of a medium density multifamily use;

2. T-1 and T-2 zoning designations are manufactured or mobile home zoning districts that would require a land area greater than the land area of the subject property; and
3. Planned Residential Development standards would require a property size of 5 acres or greater in order for a Planned Residential Development rezoning. The property's size is 1.48 acres and cannot meet the Planned Residential Development standards. If the property is zoned as R-4, R-5, or R-6, the Planned Residential Development standards require 1 acre in order to be rezoned.

Zoning options recommended for consideration are as follows:

1. The R-4 zoning district is an option, but has historically been used for small lot development and townhome uses.
2. The R-5 zoning district is the zoning designation that the applicant has requested and is located to the adjacent to and south of the subject property. The R-5 zoning district is a medium density designation allowing 12 units per acre.
3. The R-6 zoning district is a higher intensity classification and allows 32 units per acre and would be too intense for the subject property.

CONCLUSION/CRITERIA FOR APPROVAL

Section 1-18 D.3. of the Land Development Code states that the Planning Board shall review non-planned development rezonings based on the Development Order criteria in Section 1-18.E. of the Land Development Code which are analyzed below:

1. **The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

No specific development is proposed and the request is based on a need to assign a City zoning classification consistent with the proposed "Medium Density Residential" land use designation. The requested R-5 zoning district is the most appropriate zoning classification based on the surrounding uses and available compatible zoning district options. The zoning map amendment will not adversely affect public health, safety, welfare or the quality of life. Any future site redevelopment shall be reviewed by the City based upon the standards of the Land Development Code.

2. **The proposed development is consistent with the Comprehensive Plan.**

There is a separate land use map amendment that proposes to assign a City "Medium Density Residential" land use designation to the property. The requested R-5 zoning district is consistent with the "Medium Density Residential" land use designation.

3. **The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened**

plants and animal species or species of special concern, wellfields, and individual wells.

The property is developed and the structures are unoccupied. Any new construction would require review by the Site Plan Review Committee. There are environmentally sensitive lands on the subject property. This criterion is not applicable.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

This proposed zoning map amendment to the R-5 zoning district is not anticipated to have a significant impact on adjacent properties. Any site development would require separate approvals and a neighborhood meeting.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

The property is developed and the structures are unoccupied. Any new construction would require review by the Site Plan Review Committee. This criterion is not applicable.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The property is developed and the structures are unoccupied. Any new construction would require review by the Site Plan Review Committee. This criterion is not applicable.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

The property is developed and the structures are unoccupied. Any new construction would require review by the Site Plan Review Committee. This criterion is not applicable.

- 8. The proposed development provides for the safety of occupants and visitors.**

The property is developed and the structures are unoccupied. Any new construction would require review by the Site Plan Review Committee. This criterion is not applicable.

- 9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

The property is developed and the structures are unoccupied. Any new construction would require review by the Site Plan Review Committee. This criterion is not applicable.

10. The testimony provided at public hearings.

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet.

Section 1-18.E.3 of the Land Development Code states that the City Commission shall consider rezonings based on the consistency with the Comprehensive Plan. The rezoning is consistent with the Comprehensive Plan based upon the following points:

- The impacts on facilities and services will not change as a result of the requested zoning amendment; and
- The proposed city zoning classification of R-5 is the most consistent with the “Medium Density Residential” land use.

RECOMMENDATION:

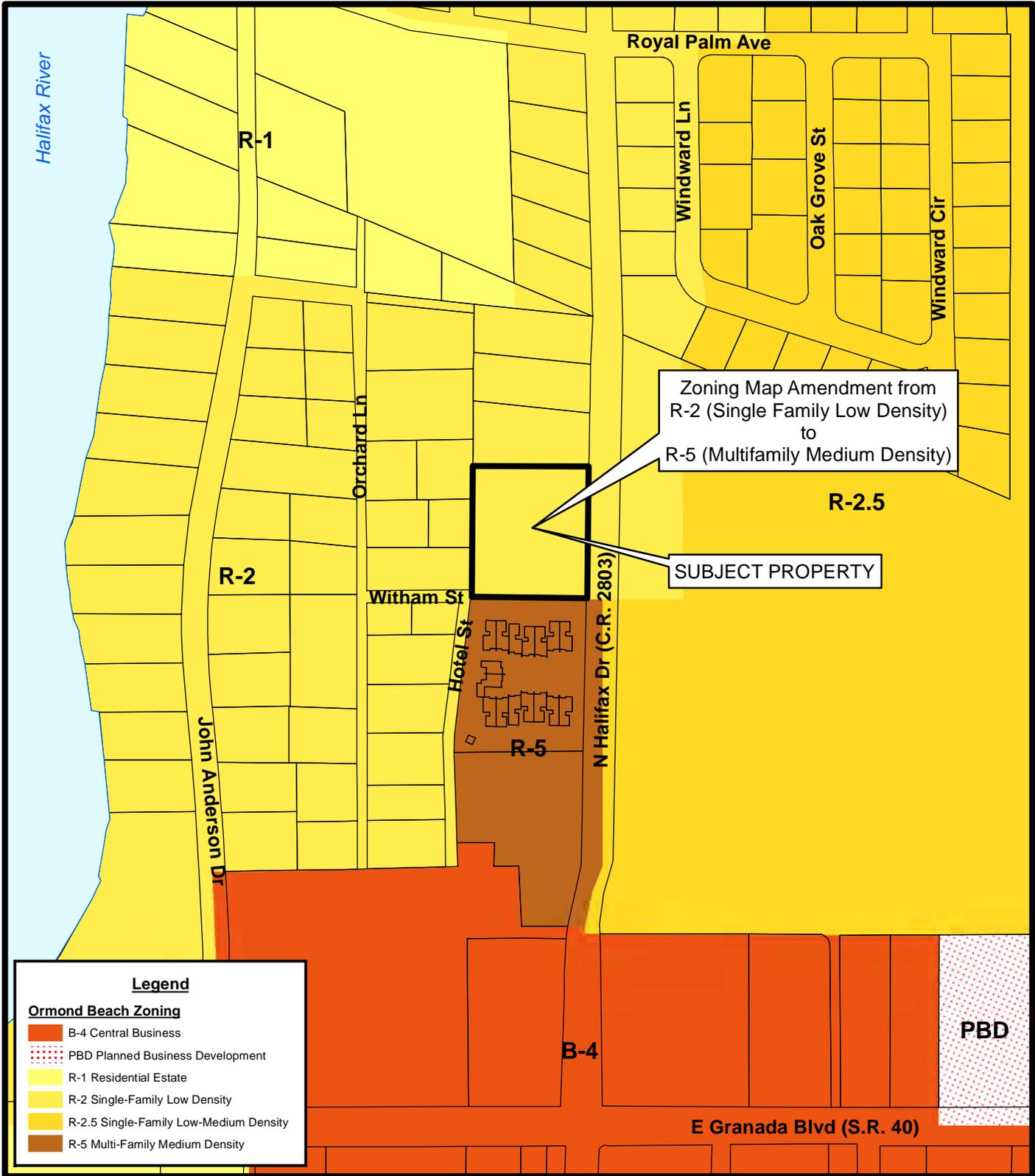
Staff recommends that the Planning Board recommend **APPROVAL** to the City Commission to amend the zoning designation of 1.48± acres at 100 North Halifax Drive from the existing zoning designation of R-2 (Single-Family Low Density) to R-5 (Multifamily Medium Density), consistent with the “Medium Density Residential” land use.

Attachments:

- 1: Zoning Map
- 2: Site information
- 3: Survey
- 4: Ormond Beach Land Development Code, R-5 zoning district

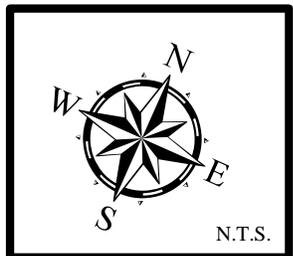
ATTACHMENT 1

Zoning Map



**PROPOSED ORMOND BEACH
ZONING MAP**
(100 NORTH HALIFAX DRIVE)

Prepared By: The City of Ormond Beach
G.I.S. Department - November 3, 2016



ATTACHMENT 2

Site information

Aerial of 100 North Halifax Drive

60 N. Halifax Drive

Subject property

Oceanside Country Club



Aerial of 100 North Halifax Drive

Subject property





Front view of 100 North Halifax Drive, looking west from Halifax Drive



Rear view of 100 North Halifax Drive, looking east



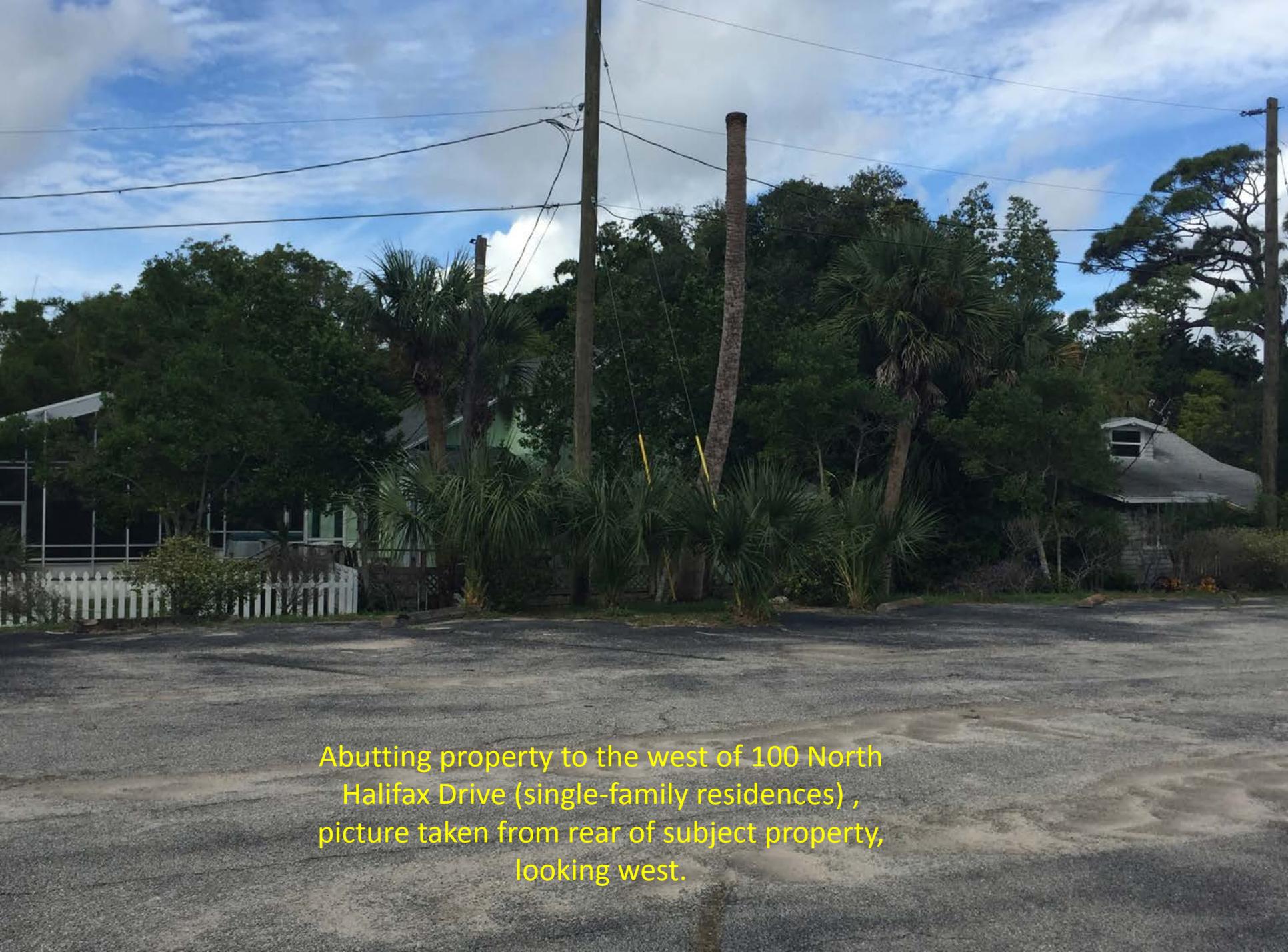
Oceanside County Club property across from 100 North Halifax Drive, looking east



Abutting property to the south of 100 North Halifax Drive at 60 North Halifax Drive, picture taken from Halifax Drive, looking west.



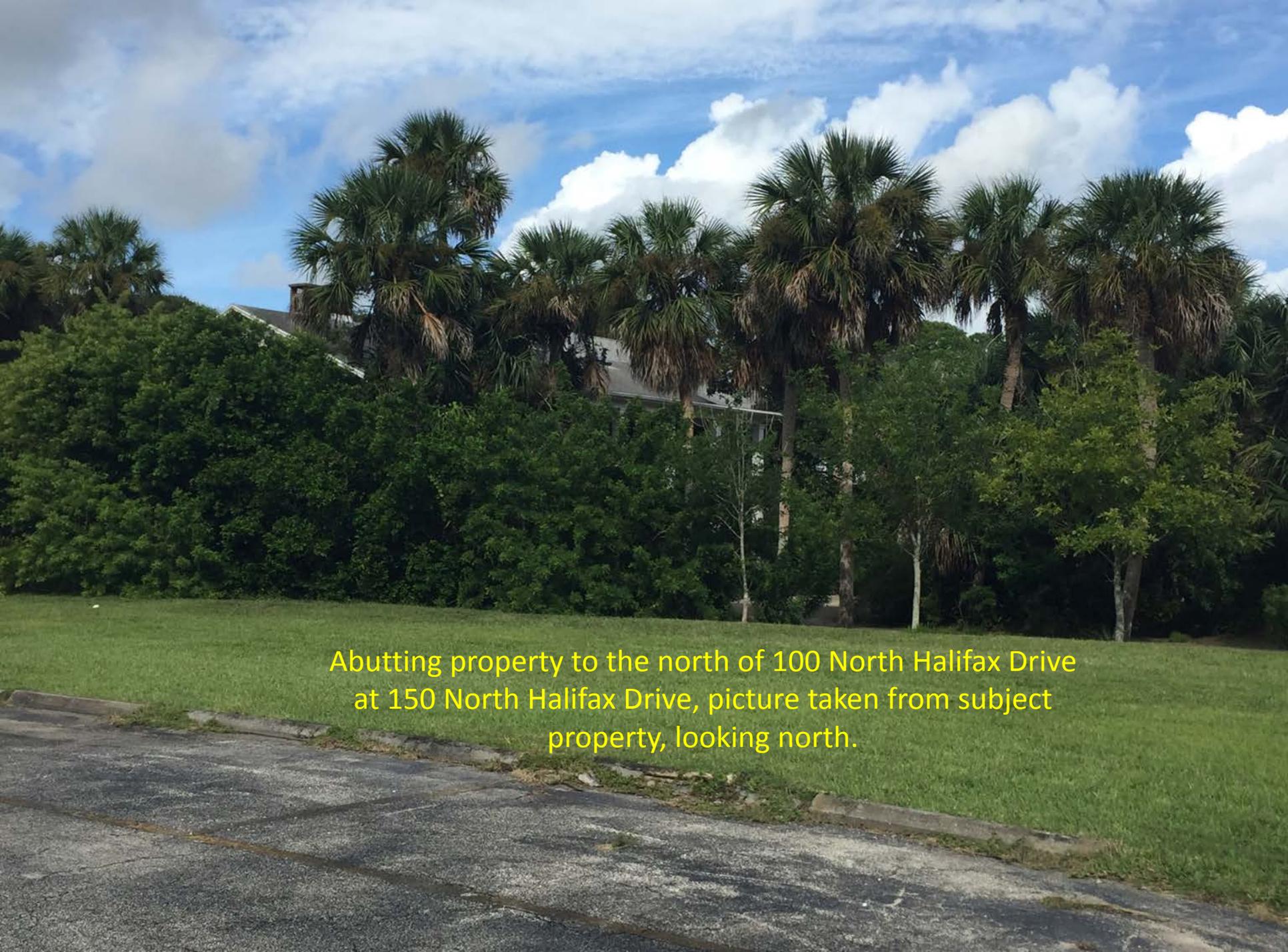
Abutting property to the south of 100 North Halifax Drive at 60 North Halifax Drive, picture taken from rear of subject property, looking south.



Abutting property to the west of 100 North
Halifax Drive (single-family residences) ,
picture taken from rear of subject property,
looking west.



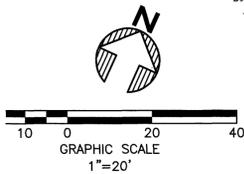
Fire trail located off, to the west, of the property at 100 North Halifax Drive.



Abutting property to the north of 100 North Halifax Drive
at 150 North Halifax Drive, picture taken from subject
property, looking north.

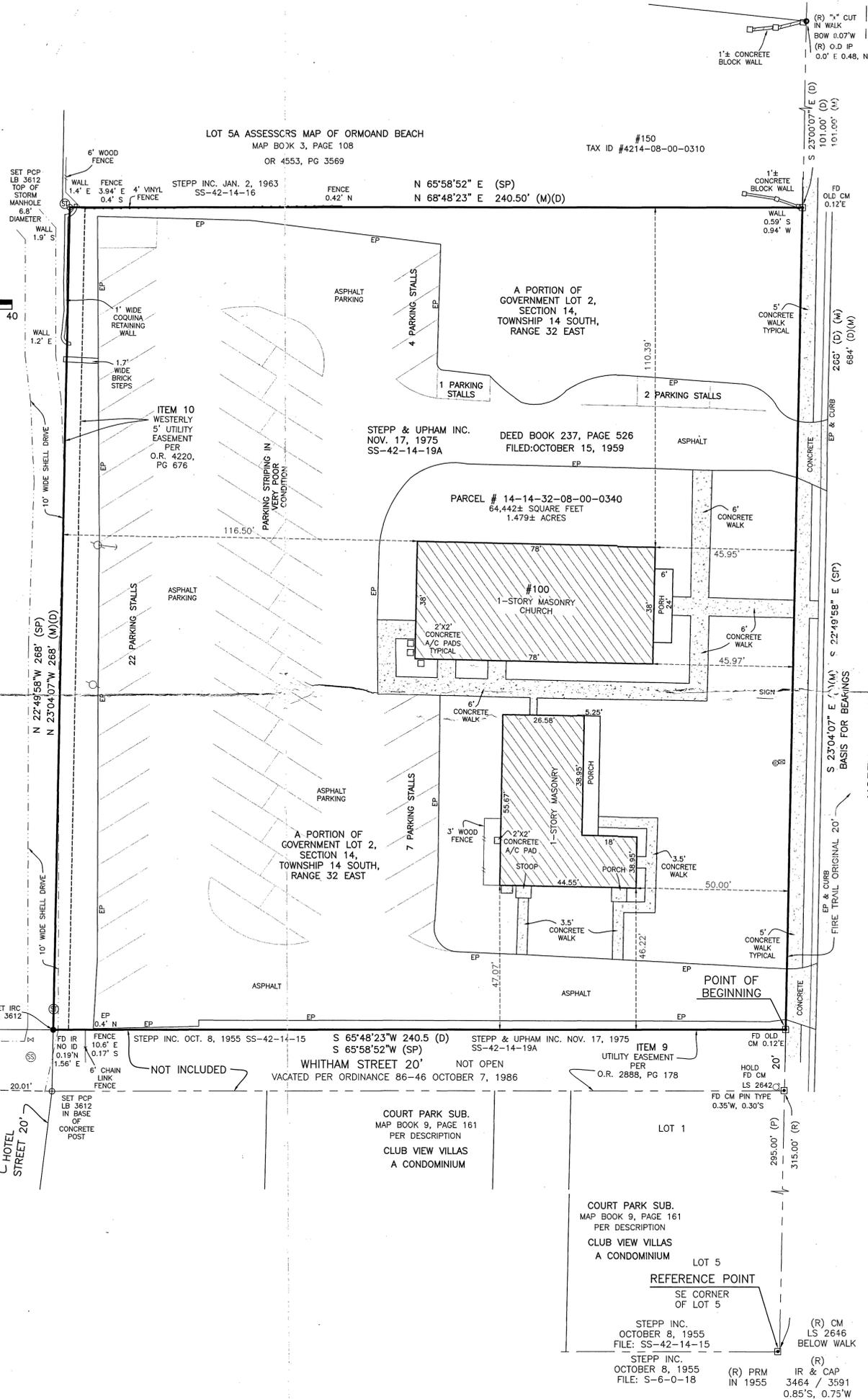
ATTACHMENT 3

Survey



SANTA LUCIA PLANTATION THE PROPERTY OF JOHN ANDERSON
UNNUMBERED LOT
MAP BOOK 2 PAGE 160
ALSO RECORDED IN MAP BOOK 17, PAGE 112

SANTA LUCIA PLANTATION THE PROPERTY OF JOHN ANDERSON
UNNUMBERED LOT
MAP BOOK 2 PAGE 160
ALSO RECORDED IN MAP BOOK 17, PAGE 112



LEGAL DESCRIPTION:

A PORTION OF GOVERNMENT LOT 2, SECTION 14, TOWNSHIP 14 SOUTH, RANGE 32 EAST, VOLUSIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 5, COURT PARK SUBDIVISION PER MAP BOOK 9, PAGE 161, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE RUNNING NORTH 23 DEGREES 00 MINUTES 07 SECONDS WEST ALONG THE WESTERLY LINE OF NORTH HALIFAX DRIVE AS SAME IS NOW LAID OUT IN ORMOND BEACH, FLORIDA; (FORMERLY KNOWN AS FIRE TRAIL), A DISTANCE OF 315 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 65 DEGREES 48 MINUTES 23 SECONDS WEST, A DISTANCE OF 240.5 FEET; THENCE NORTH 23 DEGREES 04 MINUTES 07 SECONDS WEST 288 FEET TO A POINT; THENCE NORTH 65 DEGREES 48 MINUTES 23 SECONDS EAST TO THE WESTERLY LINE OF SAID NORTH HALIFAX DRIVE; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID NORTH HALIFAX DRIVE A DISTANCE OF 288 FEET TO THE POINT OF BEGINNING.

LESS THAT PORTION CONVEYED IN OFFICIAL RECORD BOOK 2888, PAGE 177, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

GENERAL NOTES AND SURVEY REPORT:

- BEARING STRUCTURE ASSUMED (N 23°04'07" W) ALONG THE WESTERLY LINE OF NORTH HALIFAX DRIVE, PER TITLE COMMITMENT BY WESTCOR LAND TITLE INSURANCE COMPANY, AGENCY # G42230, DATED JANUARY 16, 2014 @ 5:00 p.m.
- LEGAL DESCRIPTION PROVIDED PER TITLE COMMITMENT BY WESTCOR LAND TITLE INSURANCE COMPANY, AGENCY # G42230, DATED JANUARY 16, 2014 @ 5:00 p.m.
- RECORD DIMENSIONS ARE SHOWN IN PARENTHESES (), WHEN DIFFERS FROM MEASURED.
- FLOOD PLANE CERTIFICATION ACCORDING TO THE FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) F.I.R.M (FEDERAL INSURANCE RATE MAP), COMMUNITY OF CITY OF ORMOND BEACH, FLORIDA, NUMBER 125136, PANEL NUMBER 12127C0216 IS NOT DATED: FEBRUARY 19, 2003. THE PROPERTY APPEARS TO BE FLOOD ZONE "X" THE BASE 100 YEAR FLOOD ELEVATION IS NOT SHOWN ON FIRM PANEL.
- ACCURACY STATEMENT: THE EXPECTED ACCURACY OF THE CONTROL TO ESTABLISH THE BOUNDARY OF THE SUBJECT PROPERTY IS: THE CLOSURE OF THE TRAVERSE FOR THIS PROJECT IS: 1 : 101,954
- DATA SOURCES: (SP) STATE PLANE FLORIDA EAST GRID NORTH AMERICAN DATUM OF 1983 (2007 ADJUSTMENTS)
- MEASUREMENT METHODS: HORIZONTAL AND VERTICAL MEASURES MADE BY ONE OR MORE OF THE FOLLOWING INSTRUMENTS: TOPCON INSTRUMENTS GPT-3003W, SOKKIA GRX-1 GPS INSTRUMENTS, PAL-2 LUFKIN STEEL TAPE, CST STEEL TAPE, STEEL HIGHWAY CHAIN, CST & LUFKIN FIBERGLASS TAPE FOR DIMENSIONS FOR BUILDINGS.
- CORNERS FOUND AND NOT FOUND AS SHOWN ON THIS SURVEY ARE REFERENCED TO THE FOLLOWING HELPER SURVEYS AND ORIGINAL PLAT / PLATS.
 - STEPP & UPHAM, INC. SURVEY FILE SS-42-14-19A, DATED NOVEMBER 17, 1975.
 - STEPP, INC. SURVEY FILE SS-42-14-19, DATED APRIL 27, 1965.
 - STEPP, INC. SURVEY FILE SS-42-14-20, DATED SEPTEMBER 16, 1960.
 - STEPP, INC. SURVEY FILE SS-42-14-16, DATED JANUARY 2, 1963.
 - UPHAM INC., SURVEY FILE 37-113, DATED JULY 25, 2002.
- TITLE INFORMATION PROVIDED BY WESTCOR LAND TITLE INSURANCE COMPANY ISSUING AGENCY / BRANCH NO.G42230, DATED JANUARY 16, 2014 @ 5:00 p.m. SCHEDULE B, SECTION 2:
 - EASEMENT BETWEEN FIRST CHURCH OF CHRIST, SCIENTIST - ORMOND BEACH AND CLUB VIEW VILLA CONDOMINIUM PER OFFICIAL RECORDS BOOK 2888, PAGE 178 - PLOTTED ON SURVEY AS SHOWN.
 - EASEMENT TO THE CITY OF ORMOND BEACH PER OFFICIAL RECORD BOOK 4220, PAGE 676 - PLOTTED ON SURVEY AS SHOWN.
- LIMITATIONS:
 - SOME INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY AND OR OWNERSHIP WHEN FURNISHED TO THIS SURVEYOR, EXCEPT AS SHOWN, THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN, IF LOCATION OF EASEMENTS OR RIGHT-OF-WAY OF RECORD, OTHER THAN THOSE ON RECORD PLATS, IS REQUIRED, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER, PER FLORIDA STATUTES RULE 5J-17.052(2)(d)(4)
 - IT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THIS SURVEYOR AND THE FIRM, FROM WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. FURTHERMORE, THIS SURVEYOR AND FIRM, DOES NOT ASSUME RESPONSIBILITY AND SHALL NOT BE LIABLE FOR CLAIMS ARISING FROM ERRONEOUS OR INCORRECT INFORMATION FURNISHED BY THE OWNER, LENDER, OR OWNER'S CONTRACTORS OR OTHERS, WHICH IS USED AS A BASIS TO FORMULATE THIS SURVEYOR'S OPINION.
 - ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY. PER FLORIDA STATUTES CHAPTER RULE 5J-17.051(3)(b)(6)
 - THE ACCEPTANCE OF THIS SURVEY AS CERTIFIED FOR THE EXCLUSIVE USE OF NAMES SHOWN HEREON SHALL CONSTITUTE FULFILLMENT OF MY CONTRACTUAL OBLIGATION. ADDITIONAL SEALED ORIGINALS MAY BE PURCHASED UP TO SIX MONTHS AFTER THE DATE OF THE INVOICE. "ORIGINAL" AS DEFINED HEREON REFERS TO THE SIGNED AND SEALED GRAPHIC REPRESENTATION OF THE FIELD SURVEY. CAD FILES ARE NOT THE SURVEY AND THERE WILL BE A SURCHARGE FOR THEM.
 - TAX PARCEL IDENTIFICATION NUMBERS, ADJACENT OWNERS NAMES AND ADDRESS WHEN SHOWN SHOWN IS EITHER SUPPLIED BY CLIENT AND/OR TAKEN FROM COUNTY APPRAISERS INTERNET WEB PAGE AND MAY NOT BE THE MOST CURRENT.
- TOPOGRAPHIC SURVEY:
 - CONTOURS ARE ON ONE FOOT INTERVALS, INTERPOLATED BETWEEN 100 FOOT GRIDS, VISIBLE GRADE BREAKS, ALONG WITH RANDOM GROUND ELEVATIONS.
 - OFFSITE TOPOGRAPHIC INFORMATION SHOWN IS BASED ON THE REQUEST BY THE CLIENT AND OR THE CLIENT'S AGENT, BEING AN ARCHITECT OR ENGINEER.

REVISED AS SHOWN ... 02/19/2014

ABBREVIATIONS / LEGEND:

- AC AIR CONDITIONER
- AD ADJUSTED
- AL ALUMINUM
- AN ANCHOR
- AS ASSUMED
- CA CALCULATED
- CC CORRUGATED
- CD CONCRETE
- CE CLEANOUT
- CF CONCRETE
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ATTACHMENT 4

Ormond Beach Land
Development Code,
R-5 zoning district

Sec. 2-18. R-5, Multifamily Medium Density Zoning District.

A. PURPOSE: The purpose of the Multifamily Medium Density (R-5) Zoning District is to provide for a mixture of various residential types ranging from single-family detached homes, to low density multifamily developments designed in such manner as to be highly compatible within the site and the neighborhood through the use of open space, buffering and architectural design.

B. DIMENSIONAL STANDARDS

1. Type	2. Density (units per acre)	3. Maximum Building Height	4. Maximum Building Coverage	5. Maximum Impervious Lot Coverage	6. Minimum Lot Size	7. Minimum Lot Width	8. Minimum Lot Depth	9. Setbacks				
								a. Front	b. Rear	c. Side	d. Street Side/Corner	e. Waterbody
Single-Family	5.05	30'	35%	75%	8,625 SF	75'	115'	25'	20'	8' total 20'	20'	30'
Cluster	6.70	30'	35%	75%	6,500 SF	65'	—	25'	20'	8' total 20'	20'	30'
Patio	6.89	30'	35%	75%	6,325 SF	55'	115'	25'	20'	8' total 20'	20'	30'
Zero Lot Line	8.71	30'	35%	75%	5,000 SF	50'	—	25'	20'	0', 20'	20'	30'
Multifamily	12	30'	35%	75%	43,560 SF	125'	—	25'	20'	10'	20'	30'
Duplex	8.71	30'	35%	75%	10,000 SF	100'	—	30'	20'	20'	20'	30'
Townhouse	6.31	30'	35%	75%	6,900 SF	30'	115'	25'	20'	15'	20'	30'

C. PERMITTED USES	D. CONDITIONAL USES	E. SPECIAL EXCEPTION USES	F. OTHER STANDARDS																				
1. Community Residential Home 2. Dwelling, Duplex 3. Dwelling, Single-Family, Detached 4. School, Public	1. Adult Day Care 2. Adult Family Care Center 3. Assisted Living Facility 4. Cluster Subdivision, Single-Family 5. Community Residential Home 6. Dwelling, Multifamily 7. Family Day Care Home 8. Foster Home 9. Golf Course and Country Club 10. Group Home 11. Nursing Home 12. Parks and Recreation Facilities, Private 13. Parks and Recreation Facilities, Public 14. Patio Subdivision 15. Public Facilities 16. Public Utilities 17. School, Private 18. Telecommunication Tower or Antenna, Camouflaged 19. Townhouses 20. Water Survival Instruction 21. Wind Energy System 22. Zero Lot Line Subdivision	1. Child Care Facility 2. Historic Preservation Mixed Use 3. House of Worship	All development must comply with setback requirements: 1. Wetlands (chapter 3, article II). 2. Special corridors and buffer requirements (chapter 3, article I). 3. See conditional and special exception regulations (chapter 2, article IV). 4. Use of dwelling units for transient lodging is prohibited in order to protect and maintain the residential character of the zoning district. 5. Single-family residential buildings shall have the following minimum floor area: <table border="1" data-bbox="2076 552 2675 713"> <thead> <tr> <th>Zone Suffix</th> <th>1-Story</th> <th>Split Level</th> <th>2-Story</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>1,500 SF</td> <td>1,800 SF</td> <td>2,100 SF</td> </tr> <tr> <td>B</td> <td>1,350 SF</td> <td>1,650 SF</td> <td>2,000 SF</td> </tr> <tr> <td>C</td> <td>1,150 SF</td> <td>1,400 SF</td> <td>1,750 SF</td> </tr> </tbody> </table> 6. Multifamily, duplex and triplex residential dwelling units shall have the following minimum square footage per bedroom: <table border="1" data-bbox="2076 899 2675 973"> <tbody> <tr> <td>One = 750 SF</td> <td>Three = 1,050 SF</td> </tr> <tr> <td>Two = 900 SF</td> <td>Each Additional Bedroom = 150 SF</td> </tr> </tbody> </table>	Zone Suffix	1-Story	Split Level	2-Story	A	1,500 SF	1,800 SF	2,100 SF	B	1,350 SF	1,650 SF	2,000 SF	C	1,150 SF	1,400 SF	1,750 SF	One = 750 SF	Three = 1,050 SF	Two = 900 SF	Each Additional Bedroom = 150 SF
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G. PERMITTED ACCESSORY USES: Accessory uses customarily associated with, dependent on and incidental to their permitted principal uses, provided that such uses conform to the regulations set forth in chapter 2, article III.																							
H. SPECIAL STANDARDS: Nonconformance: Single-family residential lots located within this district and having a minimum lot area of 7,500 square feet, a minimum width of 75', and located in areas of the city where established street patterns and lot configurations are generally consistent with the 7,500 square foot/75' width standard, shall be deemed to be conforming lots, subject to the setback and buffer requirements of Ordinance No. 78-35, as existed on December 31, 1991. Parcels within such districts may be divided into lots having minimum lot areas of 7,500 square feet and minimum widths of 75', provided the structure on each lot meets the setback and buffer requirements of Ordinance No. 78-35. However, where the recorded plat or covenants indicate front yards in excess of current city standards for principal buildings, said plat or covenants shall first be properly amended prior to the issuance of a building permit. Approved Plats: Setbacks that are less restrictive than the standards listed above are acceptable, provided that they are either shown on the approved plat or a less restrictive standard was in place at the time of recording the original plat.																							

(Ord. No. 2013-11, §§ 3, 4, 2-5-2013; Ord. No. 2013-13, § 11, 2-5-2013)

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: December 1, 2016

SUBJECT: Land Development Code (LDC) amendment – New Britain Avenue height amendment

APPLICANT: Glenn D. Storch, Esquire

NUMBER: LDC 2017-013

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION: This is a request by Glenn D. Storch, Esquire (applicant) to amend the Ormond Beach Land Development Code. The applicant seeks to amend Chapter 2, District and General Regulations, Article VI, Overlay Districts, and Section 2-70, Downtown Overlay District of the Land Development Code to remove the existing two (2) story height limitation along New Britain Avenue, from North Beach Street to North Ridgewood Avenue abutting the historic Lincoln Avenue Overlay District and establish certain setback and landscape standards.

BACKGROUND: The City's Downtown Community Redevelopment Area (CRA) was established in 1984 and includes an area approximately 300 feet north and south of the Section of Granada Boulevard extending from the Atlantic Ocean beach to Orchard Street. Resolution 1984-74 established the need for the CRA and identified conditions of blight that included inadequate street layout, inadequate parking facilities, and roadways incapable of handling the volume of traffic flow into or through the area. In 1987, the City adopted a master governing plan for the CRA that provided capital projects (primarily streetscaping) and suggested design guidelines for private development within the district. On September 18, 2007, the City Commission adopted an updated governing plan for the CRA with Resolution 2007-157.

The updated 2007 master governing plan was a community wide planning project that identified future capital projects and land development policies. The plan states, "the downtown is the epitome of smart growth as it utilizes existing infrastructure, promotes residential density and mixed use development, provides an alternative to an automobile dominated environment and acts as a counter to urban sprawl." The master plan divided the Downtown into three areas as follows:

1. **Ocean District:** includes the area from the Atlantic Ocean to Halifax River;
2. **River District:** includes the area from the Halifax River to U.S. Highway 1; and
3. **Creek District:** includes the area from U.S. Highway 1 to Orchard Street.

The 2007 master governing plan included an analysis of each district, potential capital projects, and governing (Land Development Code and Comprehensive Plan) recommendations. The City has implemented capital improvement portions of the 2007 master plan with the River District (where this application is applicable) that included underground utilities, Granada Boulevard streetscaping, addition of public parking, and a master stormwater plan. On December 7, 2010, the City Commission approved Ordinance 2010-51 that implemented the form based code which was a recommendation from the 2007 master governing plan.

The form based code is contained within Section 2-70 of the Land Development Code and Ordinance 2010-51 also adopted the Downtown Design Guidelines. Section 2-70 of the Land Development Code is an overlay district that supersedes other portions of the Land Development Code. The form based code staff report states that the form based code is an alternative regulatory method that concentrates on achieving a specific urban form. The staff report continues to state that the form based code addresses the relationship between building facades and the public street, the bulk and mass of buildings in relation to one another, and the scale and types of streets and blocks.

The form based code allows a 2-5 story height limit within the River district except the north side of New Britain Avenue where the maximum height is limited to 2 stories next to the Lincoln Avenue historic district. The Lincoln Avenue historic district was established with Ordinance 2001-46, approved January 15, 2002. The staff report for the Lincoln Avenue historic district states that the district was created to maintain the historic character of the street after a house was constructed in 1999 that was not consistent with the existing historic character of other houses along the street. The historic district extends from North Beach Street to North Ridgewood Avenue along Lincoln Avenue and is a mandatory participation district.

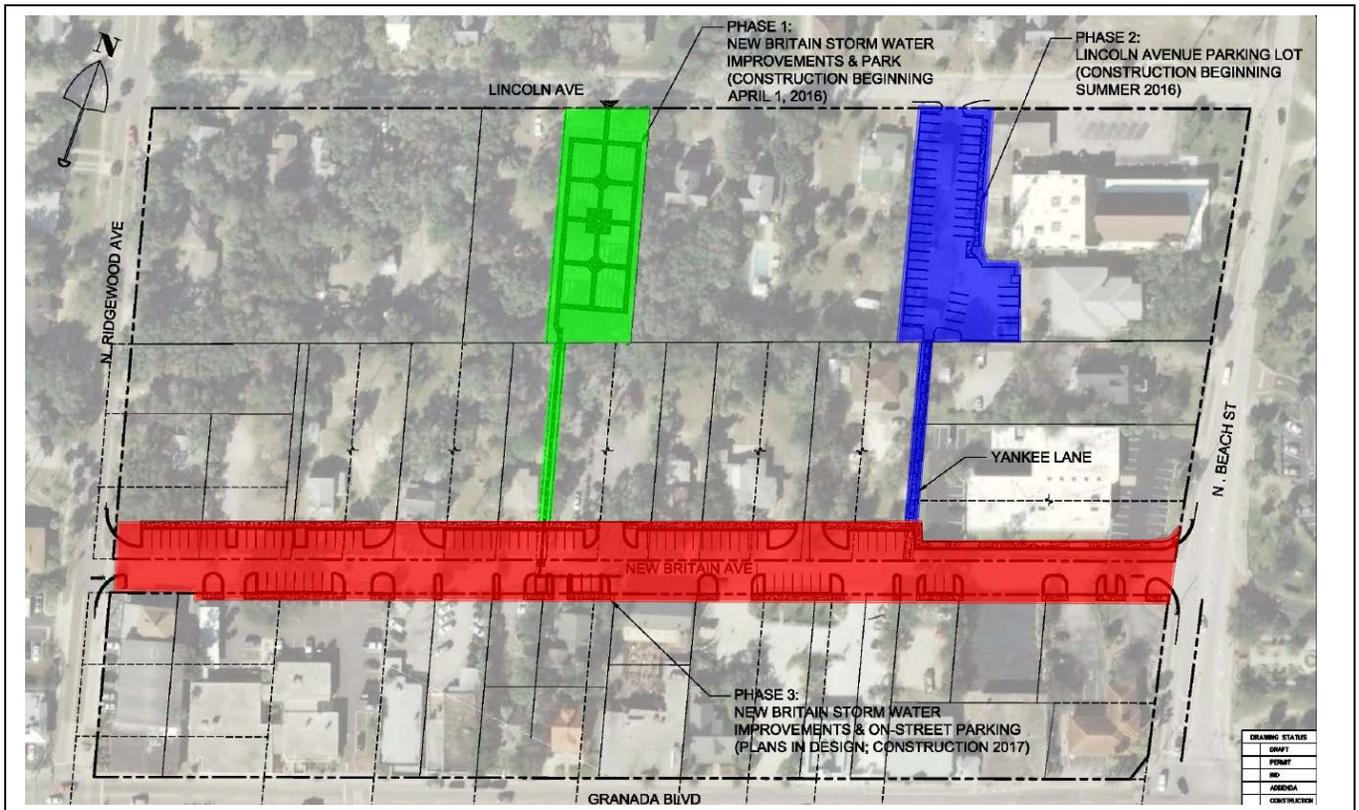
On April 21, 2015, the City Commission approved Ordinance 2015-16 that allowed for retail, restaurant and personal services in the office zoning districts, including the B-1 (Professional Office/Hospital) zoning district. The land area that is subject the Land Development Code amendment is zoned B-1 and the current zoning designation would allow a mixture of uses including offices, retail, restaurants, personal services and multi-family development. The B-1 zoning district allows a density of 10 units per acre. The underlying land use allows 15 units per acre and a Planned Business Development would be required to achieve a density of 15 units per acre. The B-1 zoning district allows a height of 30' for multi-family uses and 40' for non-residential uses. The form based code with the Downtown Overlay District, Section 2-70 of the Land Development Code allows 2-5 stories within the River district except along New Britain Avenue where the height is limited to two stories abutting the Lincoln Avenue Overlay District.

Capital projects in the amendment area:

There are several capital projects that have recently occurred or are planned in the New Britain Avenue and Lincoln Avenue areas (see Attachment 2) . The projects are as follows:

1. **30 Lincoln Avenue parking lot:** This completed project is a public parking lot of 35 parking spaces on land that the City purchased from the Ormond Riverside Church. The project includes a future concept to construct a sidewalk connection to New Britain Avenue via Yankee Lane, a 10' right-of-way.
2. **64 Lincoln Avenue stormwater improvement and public park.** This completed project was part of the overall stormwater master plan and provides underground stormwater for a portion of New Britain Avenue. The project provides a park for the surface level of the property that includes landscaping, benches, and walkways.

Projects along New Britain Avenue and Lincoln Avenue

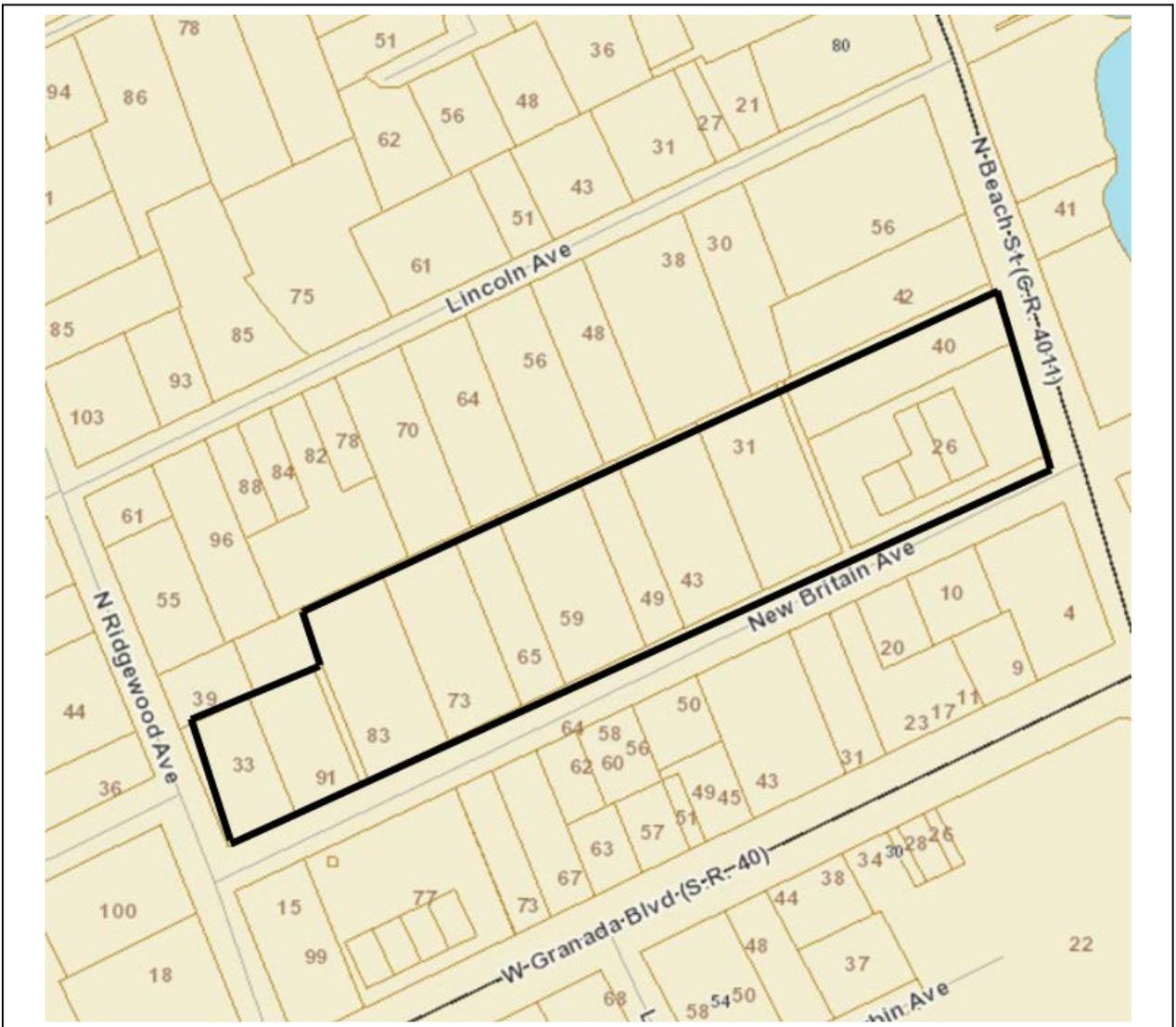


3. **New Britain Avenue streetscape.** This project is in the design phase with the goal of expanding the street width of New Britain Avenue to 24', creating on-street parking, streetscaping, and underground stormwater for the remaining section of New Britain Avenue. The project would redevelop the street from the narrow width that currently exists to a City standard roadway and on-street parking with underground stormwater

chambers under the on-street parking. The project would require approximately 35' of land from the north side of New Britain Avenue properties. The area required for dedication would be less than if each parcel attempted to provide stormwater individually.

LDC AMENDMENT:

The applicant has applied to amend portions of Section 2-70 of the Land Development Code that regulate the height of buildings along the north side of New Britain Avenue, abutting Lincoln Avenue (See Attachment 1). Below is a map of the area where the amendment would be applicable:



The purpose of the Land Development Code amendment (See Attachment 4) is to delete the two story height requirement for properties along the portion of New Britain Avenue adjacent to the Lincoln Historic District. The Land Development Code amendment has proposed additional landscaping, buffering, and setback standards if the heights of buildings along the portion of New Britain Avenue are

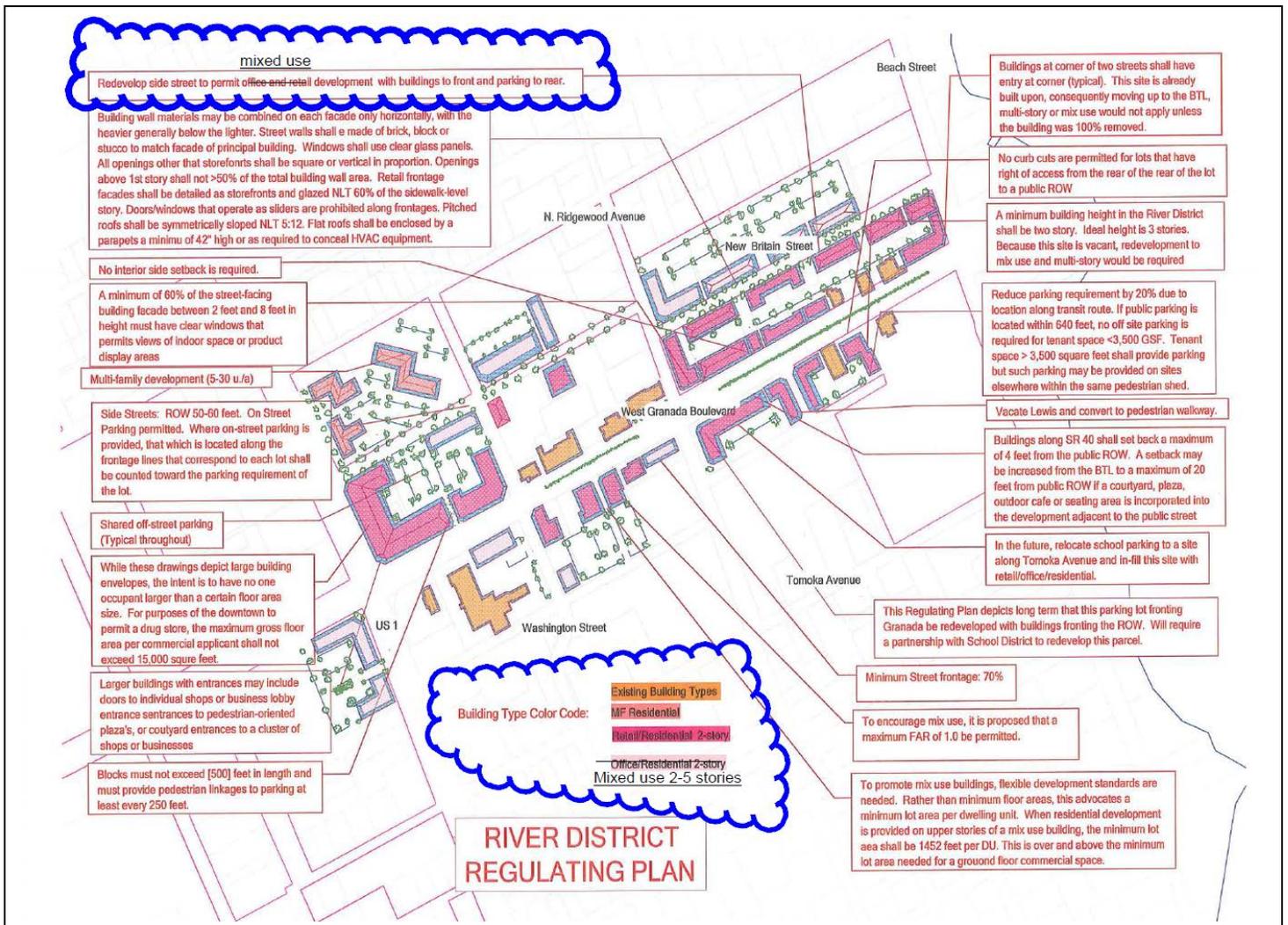
adjacent to the Lincoln Avenue Overlay District. The submittal has also included a market analysis from a local real estate professional that discusses why the amendment is needed and the potential users of a mixed use development. The amendments are summarized below:

1. Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (c)(4):

Minimum rear yard setback: 0-5% of lot depth depending on specific site plan conditions. **For properties on the north side of New Britain Avenue between Ridgewood Avenue and Beach Street, any buildings in excess of two stories shall have a setback equivalent to the height of the buildings.**

Amendment proposes to have the rear yard setback equal the height of the building if over two stories in height.

2. Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (c), River District Regulating Plan



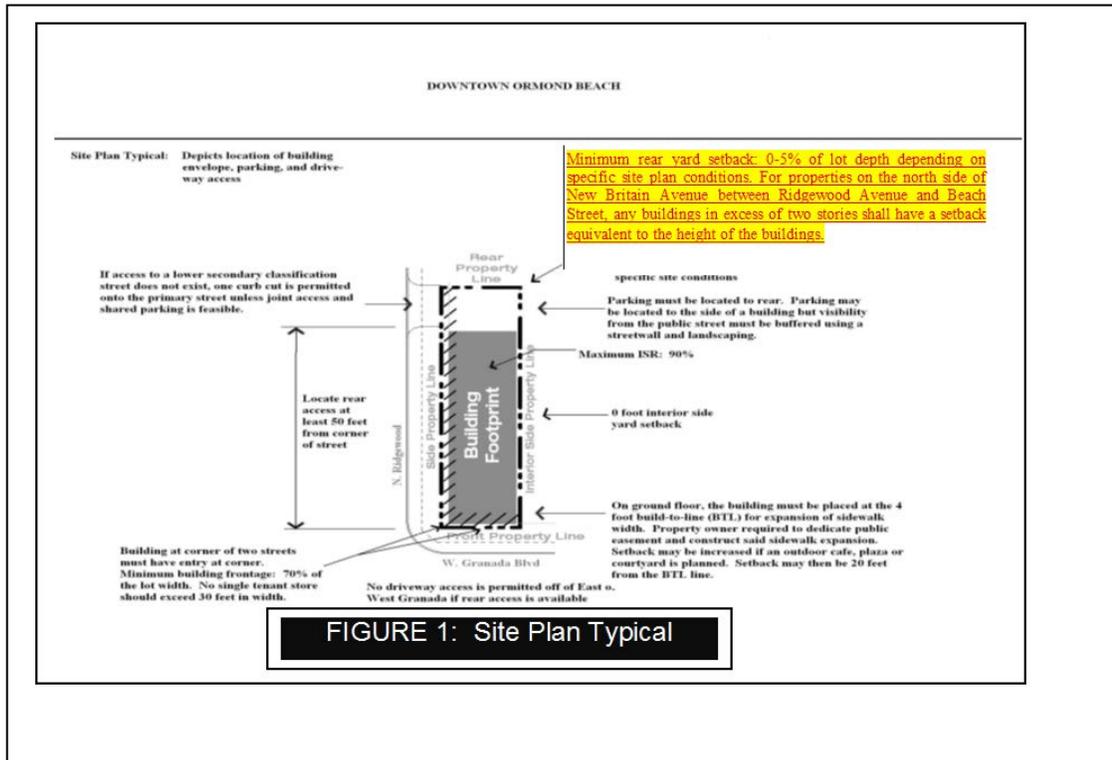
The amendment proposes to allow 2-5 story mixed use development along the north side of New Britain Avenue. The changes are shown with the blue outline in the above graphic.

3. Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (c)(10):

Landscaped buffers shall not be required for any portion of street frontage. Landscaped buffers and landscaping shall be required to buffer and screen parking lots in accordance with LDC Section 3.05 and 3.06. Any development of properties along the north side of New Britain Avenue between Ridgewood Avenue and Beach Street where the proposed building exceeds two (2) stories shall provide a landscape buffer along the rear property line with a minimum width of ten (10) feet and a decorative screening wall with a height of six (6) feet.

The proposed amendment requires a 10' landscape buffer and a wall if a building exceeds two stories in height.

4. Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (c), Figure 1: Site Plan Typical



Amendment proposes to have the rear yard setback equal the height of the building if over two stories in height, consistent with Section 2-70(c)(4) of the Land Development Code (item 1 listed above).

5. Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (D)(3)

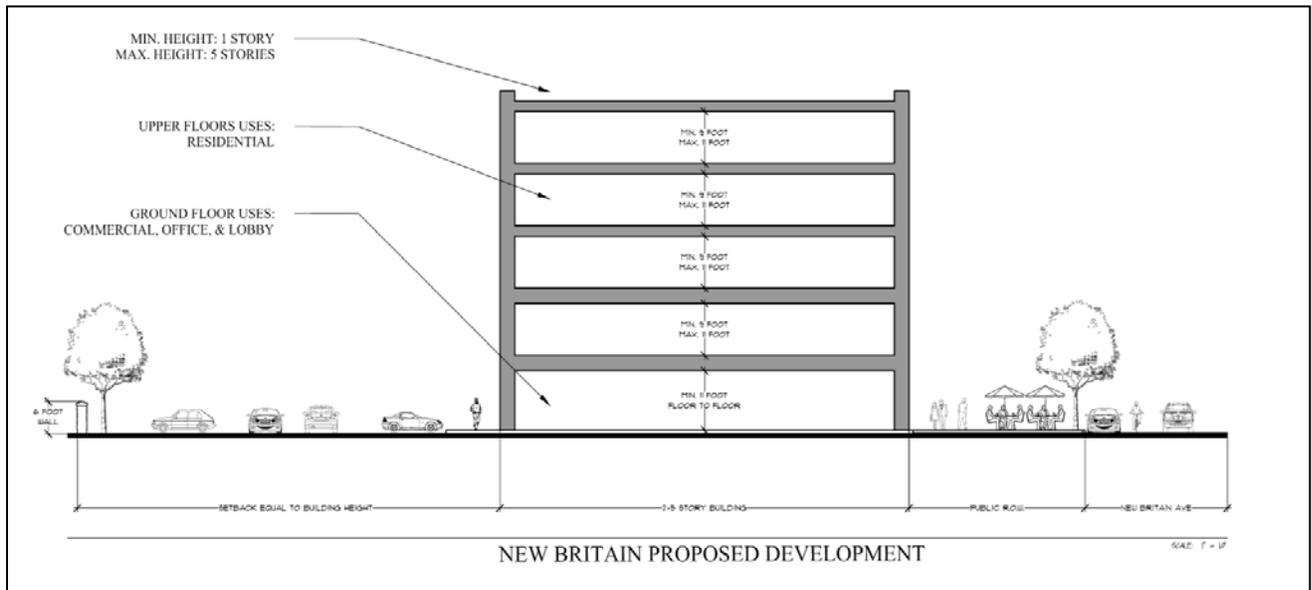
D. HEIGHT REQUIREMENTS (See Figure 2: Building Cross Section Typical):

- 1) Building Height: Height is measured in stories.
- 2) Table 1 depicts the heights by physical location and the district in which a building is located.

~~3) Redevelopment along that portion of New Britain adjacent to the Lincoln Historic District shall not exceed 2 story.~~

The amendment proposes to delete the 2 story height limitation along New Britain Avenue abutting the Lincoln Avenue District and utilizes the height of 2-5 stories allowed in the River District.

6. Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (D), Figure 2



The proposed new graphic shows the required building setback equal to the building height and the required landscaping and wall.

The applicant has provided concept plans, included in Attachment 3 that demonstrate the vision of the Land Development Code amendment.

ANALYSIS:

The project conducted a neighborhood meeting for the proposed Land Development Code amendment on July 19, 2016, with notice provided to property owners along Lincoln Avenue. The applicant described the proposed amendment which is similar to what has been applied for. There were approximately 25 individuals in attendance who asked questions regarding the

concept. Residents sought to determine why the application is seeking additional height now and if there was a project pending. There were residents who expressed concern that the additional height would negatively impact their single-family homes along Lincoln Avenue. The applicant stated that the regulations sought to move back the building based on the building height, landscaping and a buffer wall.

Input received during the preparation of the item:

Staff has received two correspondences regarding the application that are included in Attachment 2 of this report. The first document was from a resident located at 48 Lincoln Avenue and the e-mail stated:

1. The Lincoln Avenue Overlay District was put in place by the residents and the Ormond Beach Planning Department to protect the Historic District from Developers trying to construct buildings not conforming to the established character of the neighborhood.
2. The applicant/property owners knew when purchasing those properties along the North Side of New Britain that there was a 2 story height limit.
3. Land Code Currently Protects the Historic District. PLEASE Keep it that way.
4. There are no 5 story structures on West Granada. It would destroy the view of our city landscape
5. New Britain cannot accommodate the current traffic. Adding 5 stories would make traffic worse and is unrealistic.

The second document is from Ormond MainStreet that supports the Land Development Code amendment and states that the Board believes that the proposed project fits well with its vision of a downtown with increased living space obtained by increasing mixed use development.

Planning staff review:

As detailed in the background, there have been multiple capital improvements and regulatory amendments seeking to improve the Downtown Overlay District. The form based code was an effort to apply urban standards within a Land Development Code that has mostly suburban development standards. During the drafting of the form based code, there were multiple meetings and the final draft represented the input received from Boards and citizens, including a two story height limitation along New Britain Avenue abutting the Lincoln Avenue Overlay District. Since the adoption of the 2007 master governing plan and the 2010 form based code, there have been capital projects that are designed to improve the New Britain Avenue area from North Beach Street to North Ridgewood Avenue. These projects include a master stormwater plan implementation and a streetscape plan that would provide a City standard roadway, on-street parking, common stormwater, and streetscape elements.

Case against the amendment application:

It may be argued that the existing regulation limiting the building height along New Britain Avenue abutting the Lincoln Avenue Overlay District was designed to protect the single family historic character of homes along Lincoln Avenue. Since there is no imminent project, what is the need to amend the Land Development Code at this time? As the Lincoln Avenue resident's e-mail states, new structures would alter the historic character of the established character of the neighborhood and surrounding area. The applicant's submittal states that the current regulations along New Britain Avenue make a mixed use development and luxury lofts infeasible, however there is no data and analysis to determine the feasibility of site development, ranging from two to five stories. Staff requested a market analysis to assist in review the request to eliminate the two story height limitation along New Britain Avenue. However, the applicant advised the project was not far enough along to provide a market analysis. The overriding concern is that additional height along New Britain Avenue would negatively impact existing historic character of single-family homes along Lincoln Avenue.

Case for the amendment application:

A downtown area general consists of more than a single street and side streets need to support the overall vision of a downtown area. Mixed use development is consistent with smart growth and provides opportunities for individuals to live, work and play within the downtown. There have been capital projects completed and planned to provide the infrastructure needed to support a multi-story mixed use development and this amendment seeks to allow the height necessary to construct such a development in the future. The applicant has introduced a letter from a local real estate professional that supports mixed use in the future since it is an attractive option for the millennials who "are looking to luxury apartments to maintain a higher standard of living". Staff acknowledges that a mixed use development likely could not achieve a 10 unit per acre density with a two story height limitation. The application has sought to mitigate the increased height by moving the building further away from the property line with additional landscaping and buffers. Planning staff is not opposed to the additional height proposed in the Land Development Code amendment, but the application has not expressed why the amendment is needed at this time and why five stories of building are needed. The case for the amendment is influenced by the proffered setback by the applicant equal to the building height. This setback along with the parking and buffer should adequately mitigate the impact of medium/high to low density. The case for the application would argue that a local example of the proposed amendment is the Ormond Heritage condominium and Orchard Lane interface along East Granada Boulevard that has been mitigated with setbacks and landscaping.

There are certain criteria that must be evaluated before adoption of an amendment according to the Land Development Code (LDC); the Planning Board must consider the following criteria when making their recommendation.

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

The application does not propose a specific development plan. The amendment would allow the ability to develop a mixed use development up to five stories. This amendment does not alter any of the other Land Development Code requirements, such as a neighborhood meeting. Staff has received correspondence that a resident believes that additional potential height would impact their existing single-family lot and structure.

- 2. The proposed development is consistent with the Comprehensive Plan.**

The following Goals, Objectives, and Policies would be applicable to this application:

POLICY 1.1.3. Future Land Use Element	Preserve the character of existing neighborhoods by not allowing intrusion of land uses that would threaten to alter the neighborhood character and by encouraging voluntary rehabilitation and sound maintenance programs in viable neighborhoods which are capable of self-renewal and establishing code enforcement or public redevelopment activities in areas not capable of self-renewal.
Objective 1.2 Future Land Use Element	Ensure that adequate amounts of land are available to meet the commercial land use needs of the community.
POLICY 1.2.6. Future Land Use Element	New commercial development shall be required to provide appropriate buffers and landscaping to minimize negative impacts on surrounding uses.
OBJECTIVE 7.1. Future Land Use Element	Acknowledging that development and redevelopment in the Downtown Community Redevelopment Area is unique based on its location, history, and existing development pattern, the City shall continue developing regulations that promote development consistent with the recommendations of the adopted Master Plan.
POLICY 7.1.9. Future Land Use Element	The City shall include incentives in the development review process to encourage upper story residential development with supporting uses such as ground floor retail and office development.

The key issue of the proposed amendment is the potential increase in height of new development. Five stories building height are allowed within the River District except along New Britain Avenue. There are Comprehensive Plan policies can be used to support or deny the requested Land Development

Code amendment. In staff's review, the additional building setback, landscaping, and wall would mitigate the additional building height sought.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The area under consideration is developed now with non-conforming single-family homes, offices, and parking lots. There are no environmentally sensitive lands within the area sought for amendment.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

This Land Development Code amendment does not propose a specific site plan or use. The proposed amendment does establish the framework for future site plan submittals. As stated previously, there is correspondence from a resident along Lincoln Avenue that the amendment would negatively impact the Lincoln Avenue Overlay District. There are other areas of the City and regional area where multi-story buildings abut single-family neighborhoods. Within Ormond Beach, the Ormond Heritage abuts properties along Orchard Lane which have similar historic characteristics. Additional review will be needed once site plan projects have been submitted to determine the overall impact to surrounding properties.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

This Land Development Code amendment does not propose a specific site plan or use. There are public facilities existing and additional capital projects are proposed in the area where the Land Development Code amendment is proposed.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

This Land Development Code amendment does not propose a specific site plan or use and this criterion is not applicable.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

This Land Development Code amendment does not propose a specific site plan or use and this criterion is not applicable.

8. The proposed development provides for the safety of occupants and visitors.

This Land Development Code amendment does not propose a specific site plan or use and this criterion is not applicable.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

This Land Development Code amendment does not propose a specific site plan or use and this criterion is not applicable.

10. The testimony provided at public hearings.

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet. Correspondence received to date is provided in Attachment 2.

Options for Land Development Code amendment:

There are multiple options that the Planning Board can consider:

1. Approval of the Land Development Code amendment as proposed. This option would accept the applicant's proposal to provide for an increased building setback based on the building height, additional landscaping and a buffer wall.
2. Denial of the Land Development Code amendment. This option would state that the applicant did not provide justification of why the Land Development Code should be amended. Specially, Policy 1.7.3 of the Future Land Use Element, provided above could be used to state that the amendment is an encroachment into an existing historic neighborhood.
3. Approval of a height limit less than 5 stories. This option would provide a recommendation that the height limit should be a maximum of 3 or 4 stories.
4. Allow a certain height as a staff approval, either 2 or 3 stories, and require any additional building height to be allowed as a public hearing. This option would provide a building height allowed to be approved by the Site Plan Review Committee and any additional height would be required to be reviewed by the City Commission. In any application, a project would be required to perform a neighborhood meeting.

RECOMMENDATION:

It is expected that the amendment will be reviewed by the City Commission on January 17, 2017 (1st reading) and February 7, 2017 (2nd reading). There are a wide range of options open to the Planning Board and City Commission. Planning staff is recommending approval of the Land Development Code amendment as submitted by the applicant.

ATTACHMENT 1

**Maps of the Land
Development Code
area**

Aerial picture of area from Granada Boulevard to Lincoln Avenue

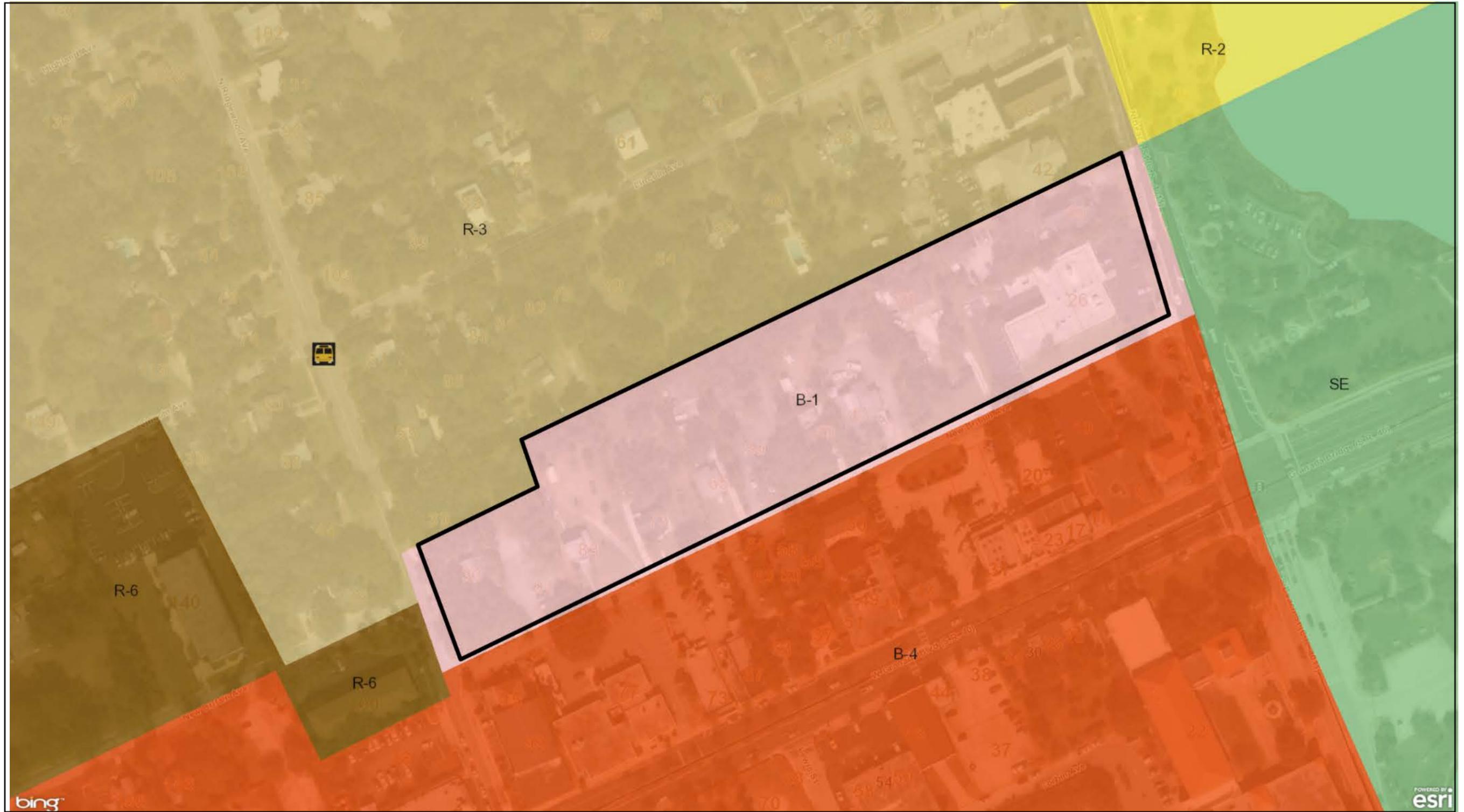


01/29/2015

© 2015 Pictans

Land area where Land Development Code amendment would alter allowable building height

Area north of New Britain Avenue, south of Lincoln Avenue, east of North Ridgewood Avenue and west of North Beach Street



148 ft

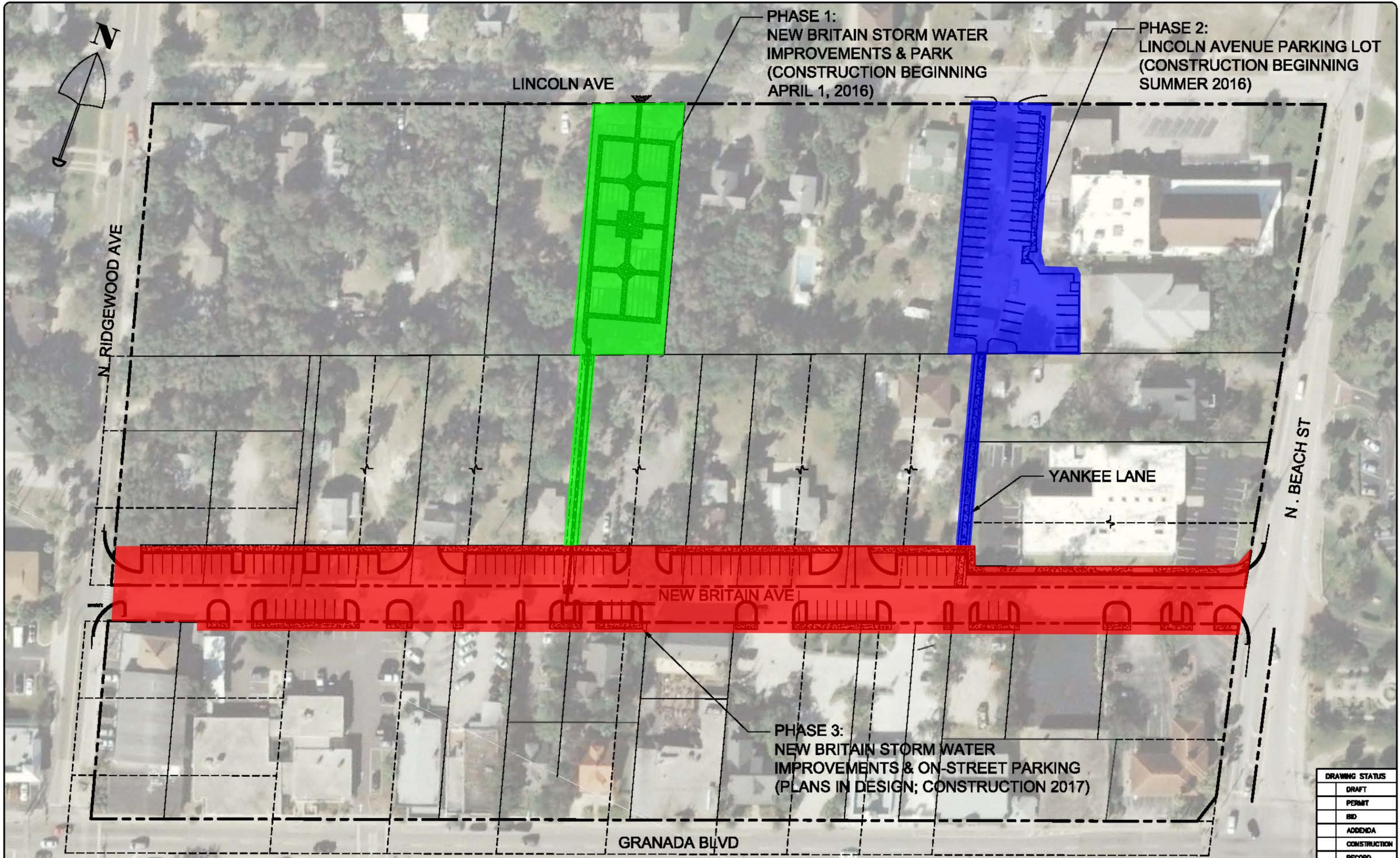


GIS data is provided on an "as is" basis. The accuracy or reliability of the data is not guaranteed or warranted in any way. The City of Ormond Beach specifically disclaims any warranty either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular use. The entire risk as to quality and performance of the data is with the end user. In no event will the City, its staff or it's representatives be liable for any direct, indirect, incidental, special, consequential, or other damages, including loss of profit, arising out of the use of this data even if the City has been advised of the possibility of such damages.



ATTACHMENT 2

**Capital projects
within the Land
Development Code
amendment area**



DRAWING STATUS	
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<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	BD
<input type="checkbox"/>	ADDENDA
<input type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	RECORD

NO.	DATE	REVISIONS	BY

City of Ormond Beach
Engineering Division

ED KELLEY, MAYOR
JOYCE SHARAHAN, CITY MANAGER

JOHN NOBLE, P.E. CITY ENGINEER

DOWNTOWN PARKING ENHANCEMENT PLAN

DATE: 3/24/16
SCALE: 1"=80'
DRAWN BY: MC

PROJECT NO.:
FILE NAME:
SHEET: 1 of 1



ORMOND BEACH
300 INTERSTATE 95 BEACH, FL 32174
(386) 877-2482 FAX (386) 877-2555

ST. AUGUSTINE
4475 U.S. 1 S. ST. AUGUSTINE, FL 32086
(904) 797-1510 FAX (904) 797-4159

AMELIA ISLAND
914 ATLANTIC AVE. BEACH, FL 32004
(904) 481-5438 FAX (904) 481-4159

NO.	DATE	DESCRIPTION
1	7/25/15	REVISED PER COMMENTS DATED 6/22/15

REVISIONS:

NEW BRITAIN AVENUE
FINAL ENGINEERING PLANS
LANDSCAPE PLAN & DETAILS

FLORIDA
VOLUSIA COUNTY
CITY OF ORMOND BEACH

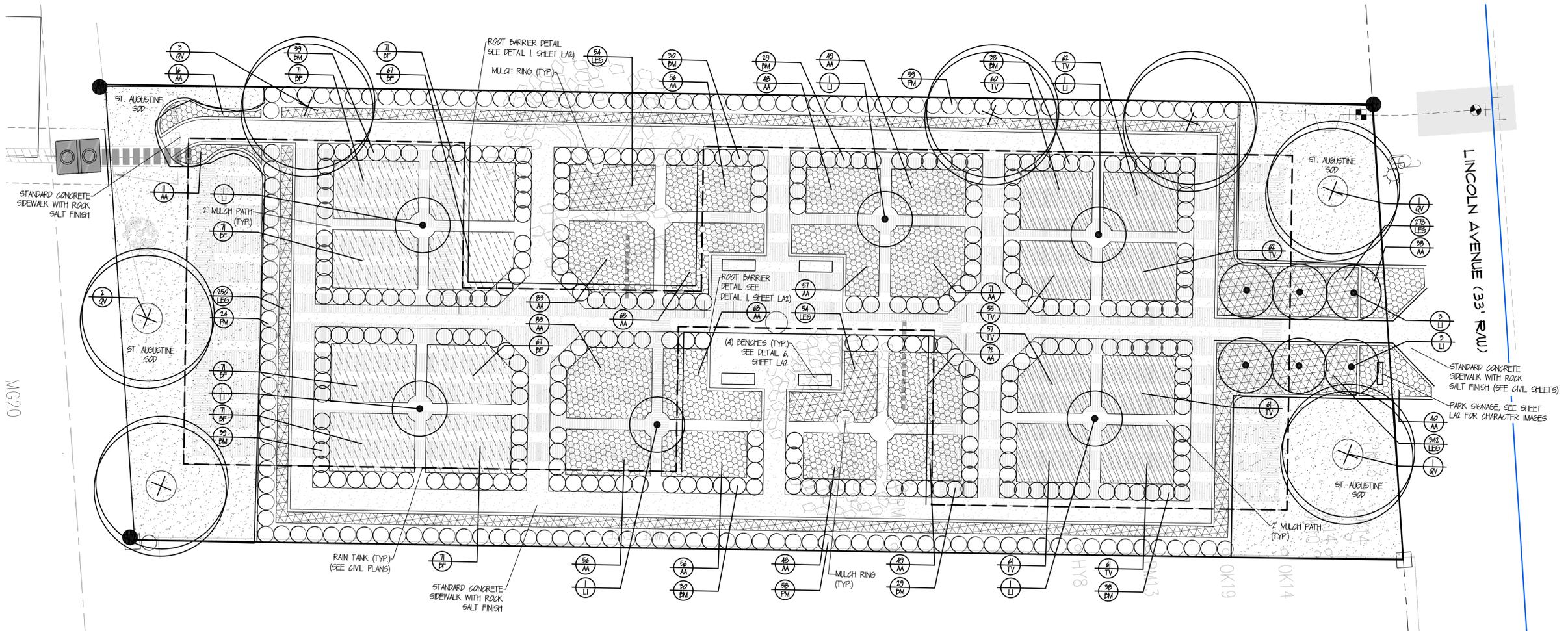
ZEV COHEN & ASSOCIATES, INC.
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
PLANNERS • TRANSPORTATION • ENVIRONMENTAL
WWW.ZEVCOHEN.COM

PROJECT NO: 1407
ISSUE DATE: 05/28/2015
DESIGNED BY: PM

DRAFTED BY: FI
CHECKED BY: PM
DRAWING FILE: 1407LA
XREFS: 1407AS

FILE LOCATION: -
SUBMITTAL DATE: 6/2/15

PAUL MOMBARGER, RLA
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SCALE: 1" = 10'
SHEET LA1 OF 2



PLANT SCHEDULE

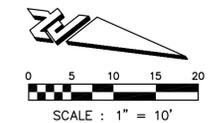
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TREES				
LI	12	LAGERSTROEMIA INDICA NATCHEZ	WHITE GRAPE MYRTLE	30 GAL., 2 1/2" CAL., 8' HT., STANDARD
QV	7	QUERCUS VIRGINIANA	LIVE OAK	30 GAL., 2 1/2" CAL., 10' HT.
SHRUBS, GRASSES, AND VINES				
AA	969	ASAPANTHUS AFRICANUS	LLY OF THE NILE	3 GAL., 18" HT. X 12" SPRD., 18" OC.
BF	560	BULBINE FRUTESCENS	YELLOW BULBINE	1 GAL., 12" HT. X 12" SPRD., FULL, 18" OC.
PM	272	BUXUS MICROPHYLLA	BOXWOOD	3 GAL., 18" HT. X 18" SPRD., FULL, 24" OC.
LEG	978	LIRIOPE MUSCARI EVERGREEN GIANT	LLYTURF	1 GAL., 8-10 PIPS/POT MIN 15" HT., 18" OC.
FM	141	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	3 GAL., 2-3" HT. X 18-24" SPRD., 3' OC.
TV	479	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL., 12" SPRD., 18" OC.

LANDSCAPE BUFFER REQUIREMENTS

DIRECTION	MINIMUM WIDTH	REQUIRED	PROVIDED
NORTH (89 LF) LINCOLN AVE	MINIMUM WIDTH	10'	10'
	3 TREES PER 100 LF.	3	3
	20 SHRUBS PER 100 LF.	25	25
	20 GROUND COVER PER 100 LF.	25	20
SOUTH (89 LF)	MINIMUM WIDTH	10'	10'
	3 TREES PER 100 LF.	3	3
	20 SHRUBS PER 100 LF.	25	25
	20 GROUND COVER PER 100 LF.	25	25
EAST (230 LF)	MINIMUM WIDTH	6'	6'
	2 TREES PER 100 LF.	5	5
	20 SHRUBS PER 100 LF.	46	46
	20 GROUND COVER PER 100 LF.	46	46
WEST (231 LF)	MINIMUM WIDTH	6'	6'
	2 TREES PER 100 LF.	5	5
	20 SHRUBS PER 100 LF.	46	46
	20 GROUND COVER PER 100 LF.	46	46

MINIMUM ON SITE TREES

TREES REQUIRED ON SITE:	13
(CALCULATION: 45 AC. / 1500 SF. = 13)	
EXISTING TREES TO BE PRESERVED:	9
TREES PROVIDED ON LANDSCAPE PLAN:	7
TOTAL NUMBER OF TREES PLANNED ON SITE:	16



MG20

EXISTING STRUCTURE TABLE

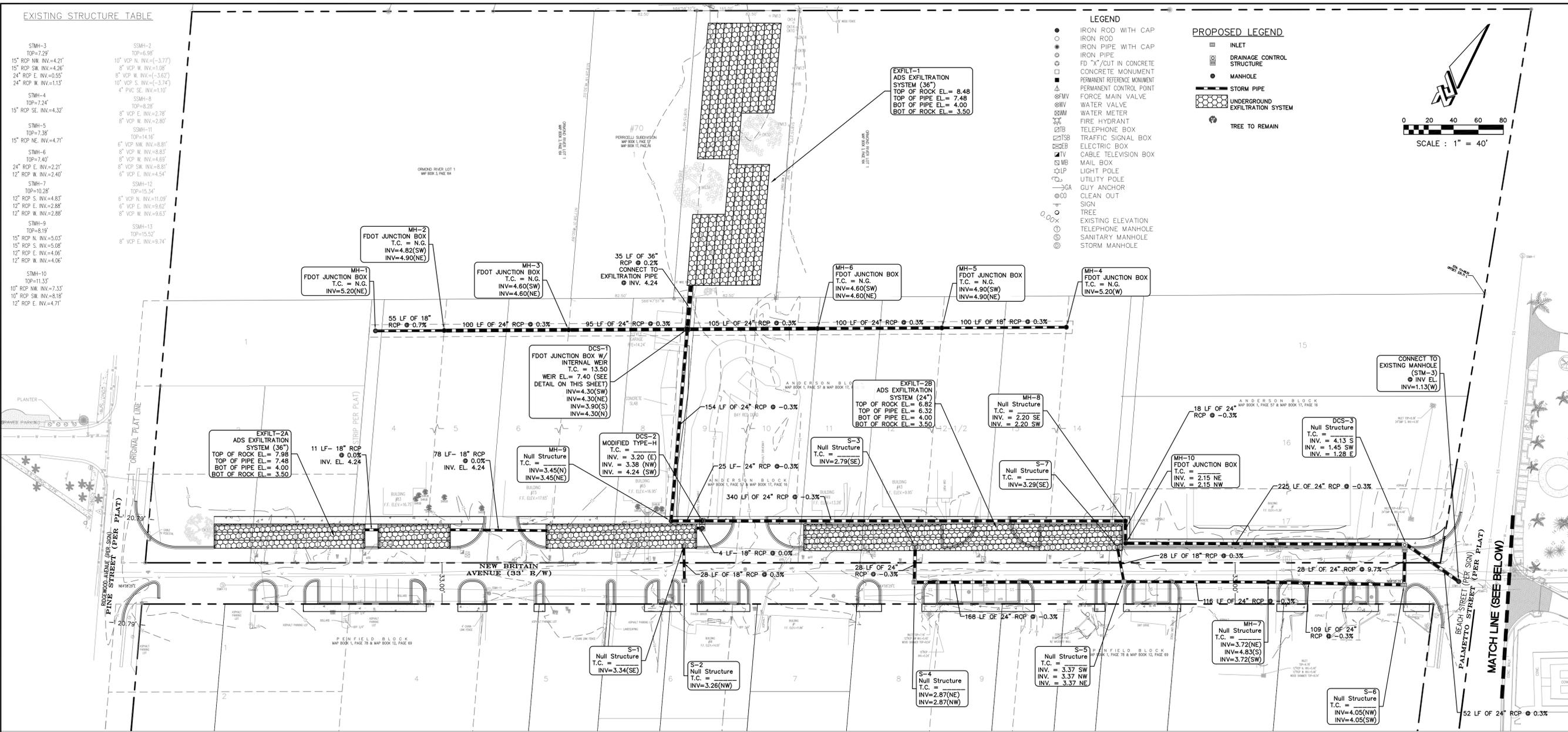
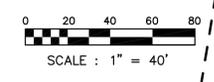
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STM-4 TOP=7.24' 15" RCP SE INV.=4.32'	SSM-8 TOP=8.28' 8" VCP N INV.=2.78' 8" VCP W INV.=2.80' TOP=14.16'	SSM-11 TOP=14.16' 6" VCP NW INV.=8.81' 8" VCP W INV.=4.69' 8" VCP SW INV.=8.81' 6" VCP E INV.=4.54'	SSM-12 TOP=10.28' 12" RCP S INV.=4.83' 12" RCP E INV.=2.88' 12" RCP W INV.=2.88'	SSM-13 TOP=15.52' 8" VCP E INV.=9.74'	
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STM-10 TOP=11.33' 10" RCP NW INV.=7.33' 10" RCP SW INV.=8.18' 12" RCP E INV.=4.71'					

LEGEND

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- IRON ROD
- IRON PIPE WITH CAP
- IRON PIPE
- FD "X"/OUT IN CONCRETE
- CONCRETE MONUMENT
- PERMANENT REFERENCE MONUMENT
- △ PERMANENT CONTROL POINT
- ▽ FORCE MAIN VALVE
- ▽ WATER VALVE
- ▽ WATER METER
- ▽ FIRE HYDRANT
- ▽ TELEPHONE BOX
- ▽ TRAFFIC SIGNAL BOX
- ▽ ELECTRIC BOX
- ▽ CABLE TELEVISION BOX
- ▽ MAIL BOX
- ▽ LIGHT POLE
- ▽ UTILITY POLE
- ▽ GUY ANCHOR
- CLEAN OUT
- TREE
- EXISTING ELEVATION
- TELEPHONE MANHOLE
- SANITARY MANHOLE
- STORM MANHOLE

PROPOSED LEGEND

- INLET
- DRAINAGE CONTROL STRUCTURE
- MANHOLE
- STORM PIPE
- UNDERGROUND EXFILTRATION SYSTEM
- TREE TO REMAIN

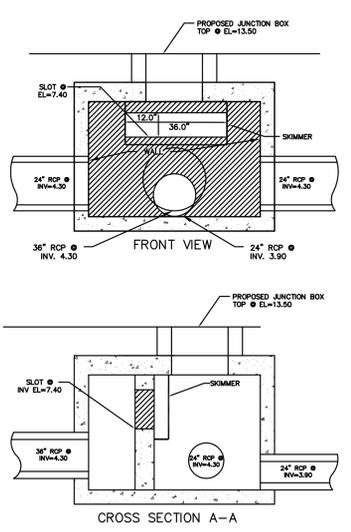
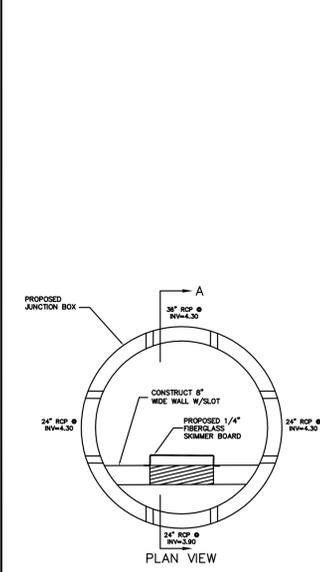


**NEW BRITAIN AVENUE
ROADWAY & DRAINAGE IMPROVEMENTS
FINAL ENGINEERING PLAN
DRAINAGE IMPROVEMENT PLAN**

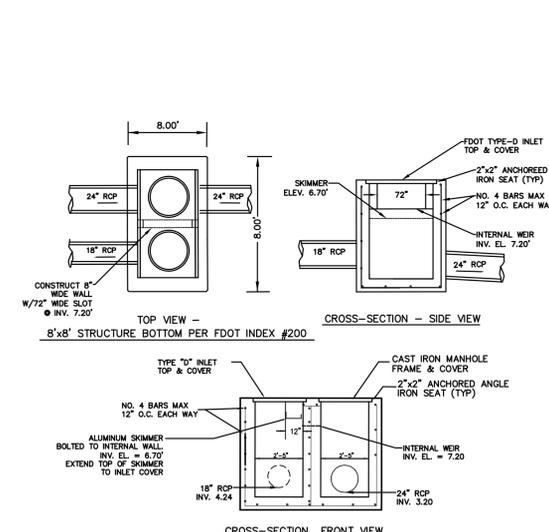
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PROJECT NO: 14047
ISSUE DATE: 04/23/2015
DESIGNED BY: HK

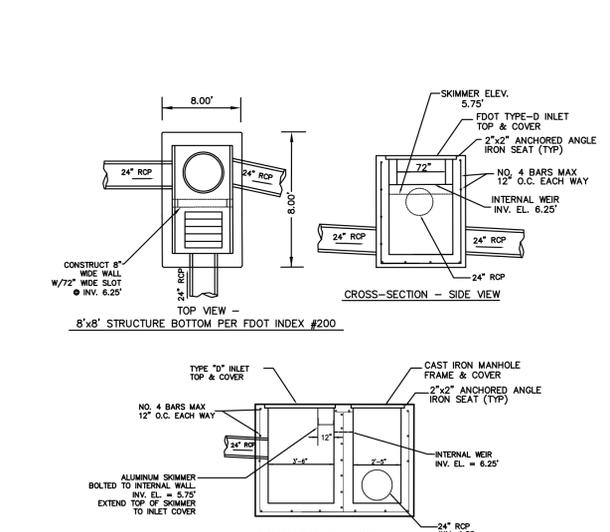
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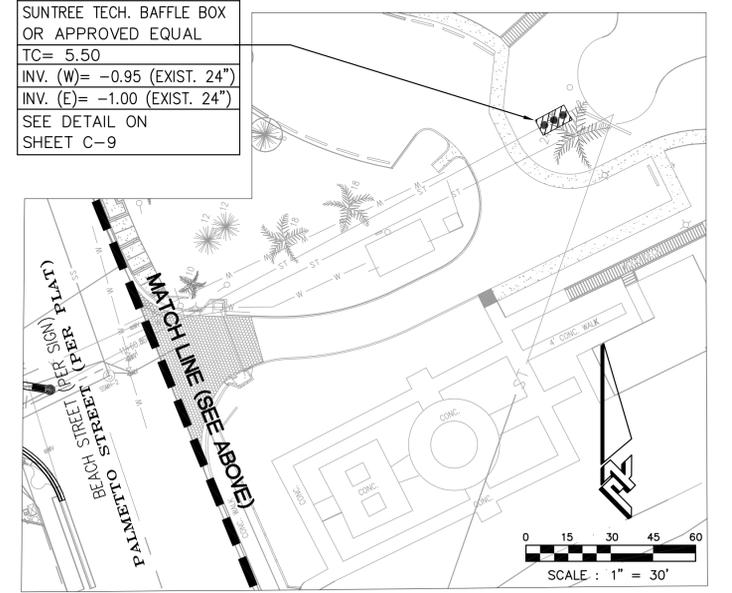


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DRAINAGE CONTROL STRUCTURE - DCS-3
SCALE: N.T.S.

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SUNTREE TECH. BAFFLE BOX
OR APPROVED EQUAL
TC= 5.50
INV. (W) = -0.95 (EXIST. 24")
INV. (E) = -1.00 (EXIST. 24")
SEE DETAIL ON
SHEET C-9



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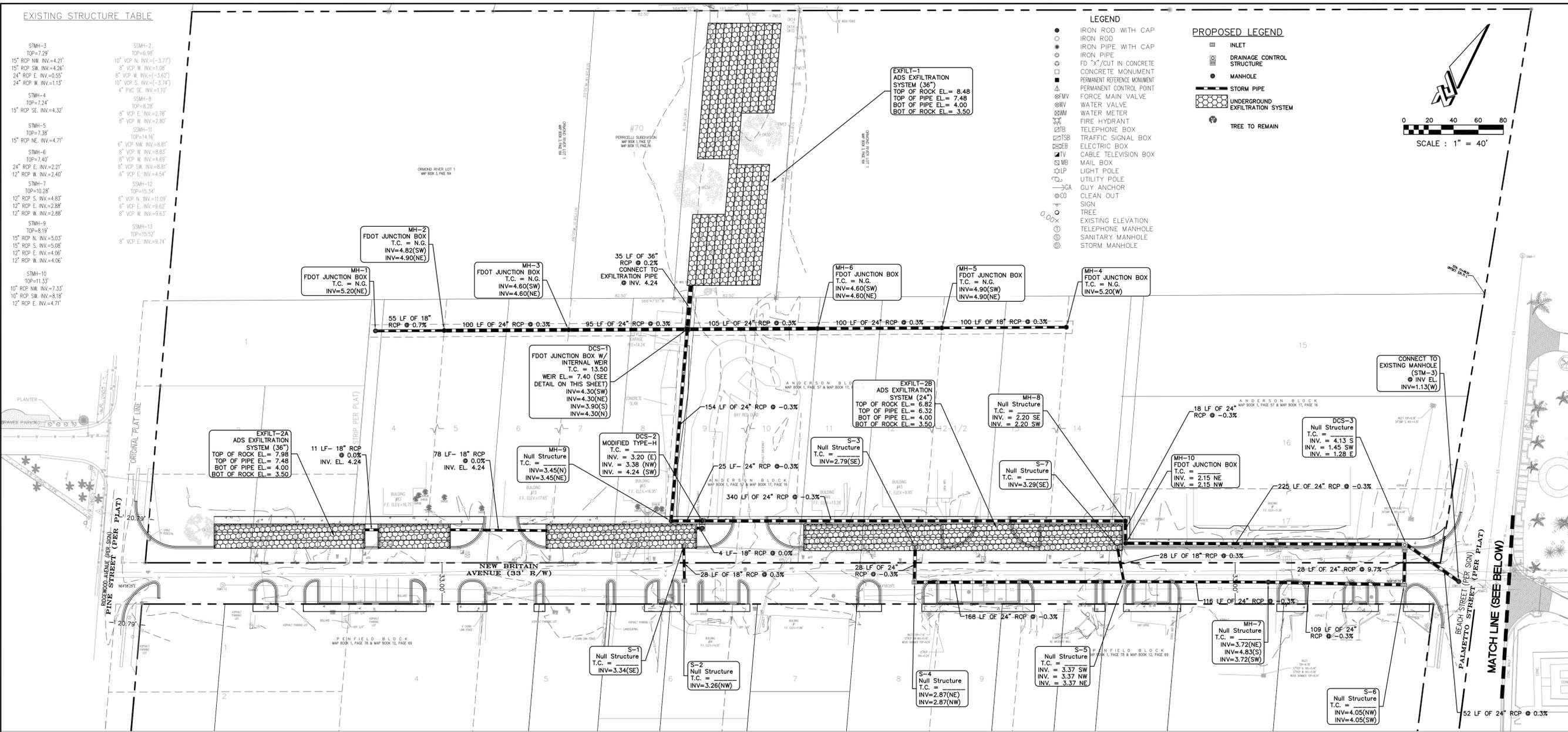
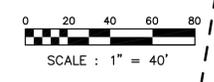
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LEGEND

- IRON ROD WITH CAP
- IRON ROD
- IRON PIPE WITH CAP
- IRON PIPE
- FD "X"/OUT IN CONCRETE
- CONCRETE MONUMENT
- PERMANENT REFERENCE MONUMENT
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- △ TV MAIL BOX
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PROPOSED LEGEND

- INLET
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**NEW BRITAIN AVENUE
ROADWAY & DRAINAGE IMPROVEMENTS
FINAL ENGINEERING PLAN
DRAINAGE IMPROVEMENT PLAN**

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WWW.ZEVCOHEN.COM

PROJECT NO: 14047
ISSUE DATE: 04/23/2015
DESIGNED BY: HK

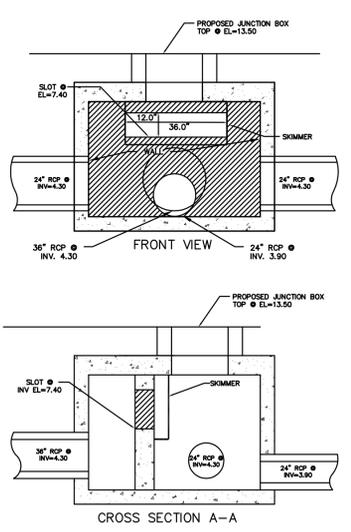
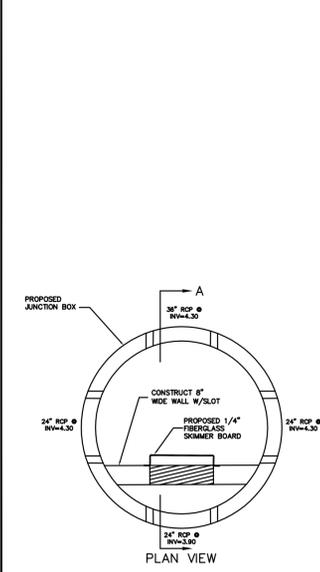
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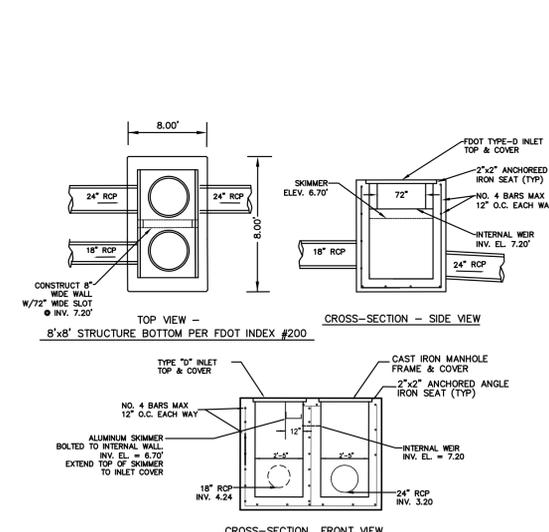
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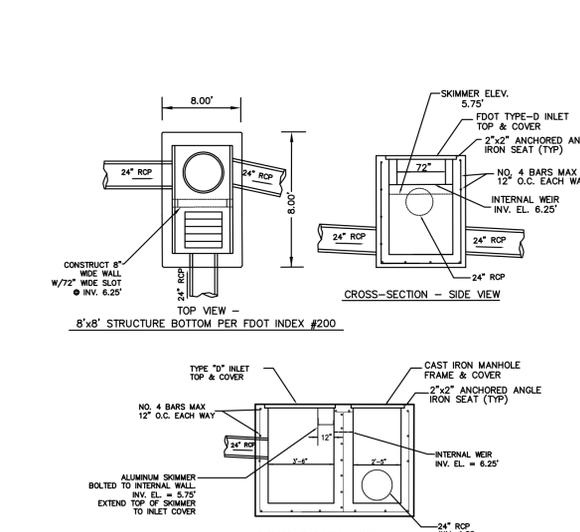
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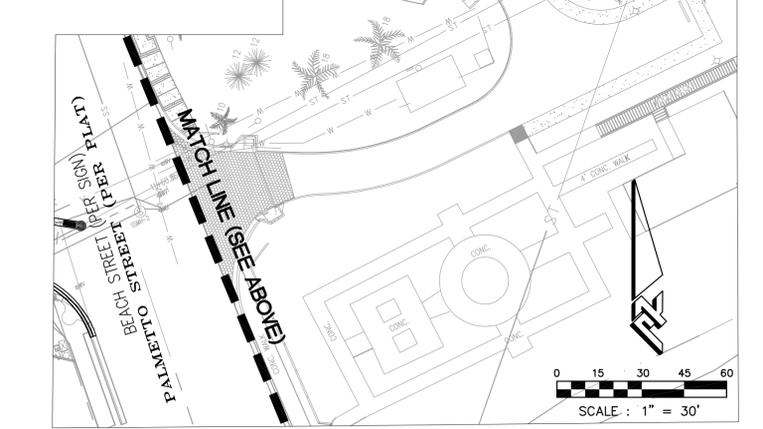


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SCALE: N.T.S.



DRAINAGE CONTROL STRUCTURE - DCS-3
SCALE: N.T.S.

BAFFLE BOX-1
SUNTREE TECH. BAFFLE BOX OR APPROVED EQUAL
TC= 5.50
INV. (W)= -0.95 (EXIST. 24")
INV. (E)= -1.00 (EXIST. 24")
SEE DETAIL ON SHEET C-9





PHASE 1:
NEW BRITAIN STORM WATER
IMPROVEMENTS & PARK
(CONSTRUCTION BEGINNING
APRIL 1, 2016)

PHASE 2:
LINCOLN AVENUE PARKING LOT
(CONSTRUCTION BEGINNING
SUMMER 2016)

PHASE 3:
NEW BRITAIN STORM WATER
IMPROVEMENTS & ON-STREET PARKING
(PLANS IN DESIGN; CONSTRUCTION 2017)

N. RIDGEWOOD AVE

LINCOLN AVE

NEW BRITAIN AVE

N. BEACH ST

GRANADA BLVD

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<input type="checkbox"/>	PERMIT
<input type="checkbox"/>	BD
<input type="checkbox"/>	ADDENDA
<input type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	RECORD

NO.	DATE	REVISIONS	BY

City of Ormond Beach
Engineering Division

ED KELLEY, MAYOR
JOYCE SHARAHAN, CITY MANAGER

JOHN NOBLE, P.E. CITY ENGINEER

**DOWNTOWN PARKING
ENHANCEMENT PLAN**

DATE: 3/24/16
SCALE: 1"=80'
DRAWN BY: MC

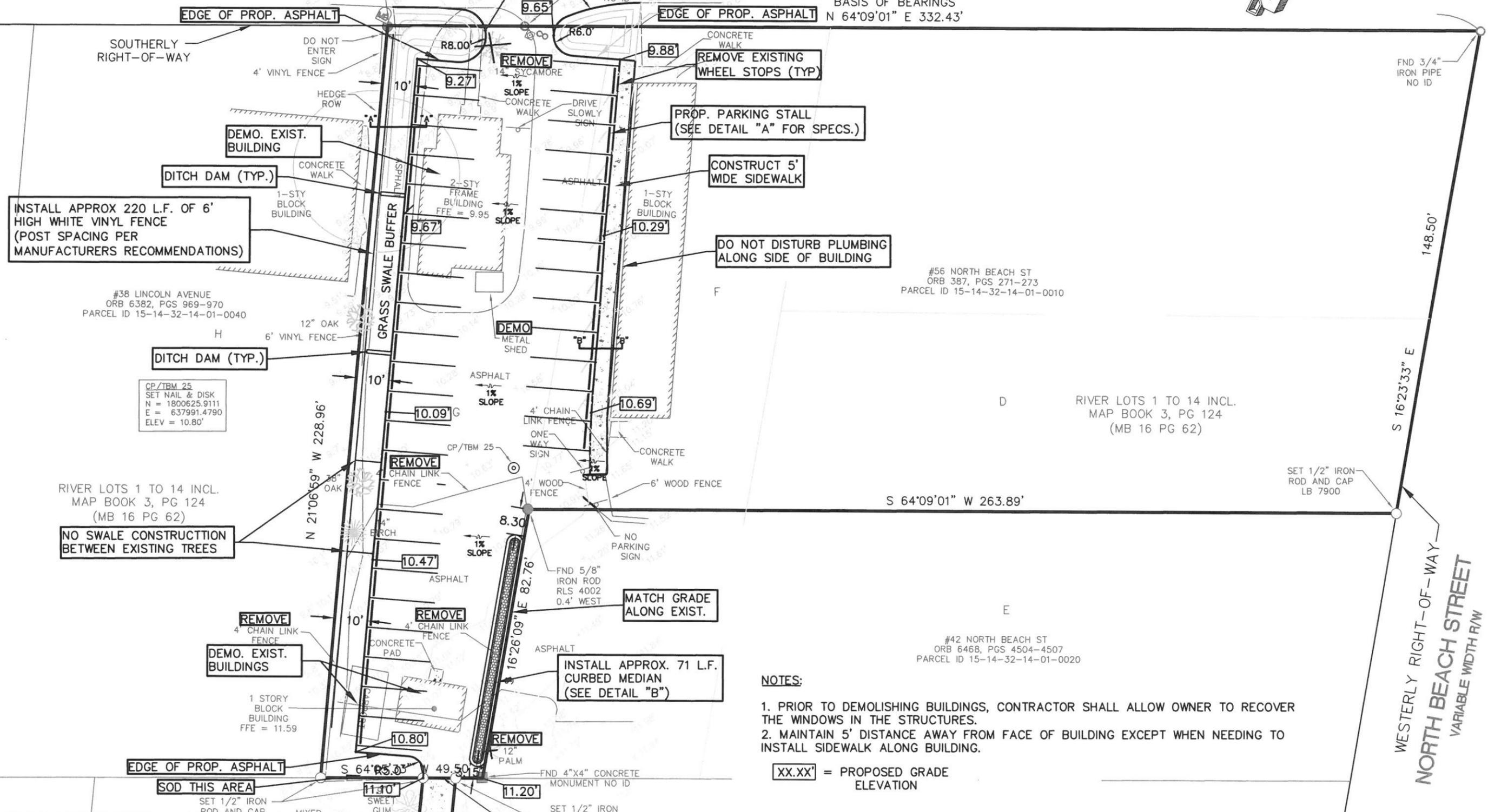
PROJECT NO.:
FILE NAME:
SHEET: 1 of 1

CP/TBM 25

LINCOLN AVENUE (33' R/W)



BASIS OF BEARINGS
N 64°09'01" E 332.43'



NOTES:

1. PRIOR TO DEMOLISHING BUILDINGS, CONTRACTOR SHALL ALLOW OWNER TO RECOVER THE WINDOWS IN THE STRUCTURES.
2. MAINTAIN 5' DISTANCE AWAY FROM FACE OF BUILDING EXCEPT WHEN NEEDING TO INSTALL SIDEWALK ALONG BUILDING.

XX.XX' = PROPOSED GRADE ELEVATION

NO.	DATE	REVISIONS	BY

City of Ormond Beach
Engineering Division

FRED COSTELLO, MAYOR
ISAAC D. TURNER, CITY MANAGER

JOHN NOBLE, P.E., CITY ENGINEER

LINCOLN AVE

PROPOSED PARKING LOT

DATE:	3/31/16	PROJECT NO.:	2016-XX
SCALE:	1" = 30'	FILE NAME:	.DWG
DRAWN BY:	CO	SHEET:	1 OF 1

ATTACHMENT 3

Correspondence
related to the Land
Development Code
amendment

From: [Spraker, Steven](#)
To: ["ellenneedham@gmail.com"](mailto:ellenneedham@gmail.com)
Cc: [Kornel, Laureen](#); [Goss, Ric](#)
Subject: RE: Planning Hearing Dec. 8, 2016 at 7:00 Regarding Land Code Changes
Date: Monday, November 28, 2016 12:39:00 PM

Thank you for your e-mail this morning regarding the Land Development Code amendment for Section 2-70. The e-mail shall be included in both the Planning Board and City Commission packets for this application. All of the meetings are public hearings and you and anyone interested in addressing the Planning Board and City Commission shall have the opportunity to do so.

Staff will provide the Planning Board agenda and report to you once it becomes available at the end of this week. If there are any additional questions, I can be contacted at 386.676.3341.

Thank you

Steven

Steven Spraker, AICP
Senior Planner



Planning Department
22 South Beach Street
Room 104
Ormond Beach, FL 32175
Direct Line: 386.676.3341
Department: 386.676.3238
Fax: 386.676.3361
E-mail: Steven.Spraker@ormondbeach.org

From: Kornel, Laureen
Sent: Monday, November 28, 2016 10:01 AM
To: Goss, Ric; Spraker, Steven
Subject: FW: Planning Hearing Dec. 8, 2016 at 7:00 Regarding Land Code Changes

Fyi please see below.

I have not responded to her directly since she made no specific request from me.

Laureen

From: Ellen Needham [<mailto:ellenneedham@ymail.com>]
Sent: Monday, November 28, 2016 9:47 AM
To: Kornel, Laureen
Subject: Planning Hearing Dec. 8, 2016 at 7:00 Regarding Land Code Changes

The Lincoln Avenue Historic Overlay was put in place by the residents and the Ormond Beach Planning Department to protect the Historic District from Developers trying to construct buildings not conforming to the established character of the neighborhood.

Section 2-70 (d3) of the Ormond Beach Land Code – Downtown Overlay District specifically addresses the properties abutting the Lincoln Avenue Historic Overlay shall not exceed 2 stories:

(3) Redevelopment along that portion of New Britain adjacent to the Lincoln Historic District shall not exceed two (2) story.

As we do appreciate all that Bill Jones (Highlander & Wivigeco) has done for the downtown area, there has to be a cooperative between the vision for the downtown area and it's residents. Our understanding is Bill Jones' philosophy has always insisted on redeveloping historic downtowns to work with whatever eclectic and aesthetic architecture exists. 5 stories downtown is inconsistent with that philosophy. We were told Highlander Corp. & Wivigeco, LLC constructing 2 story structures on New Britain does not make economic sense to their bottom line, they are requesting to change the land code regarding maximum building height in the Downtown Overlay District (River District) for profit. We do not support 5 story structures in the Downtown Overlay District or anywhere on West Granada.

1-They knew when purchasing those properties along the North Side of New Britain that there was a 2 story height limit.

2- Land Code Currently Protects the Historic District. PLEASE Keep it that way.

3-There are no 5 story structures on West Granada. It would destroy the view of our city landscape.

4- New Britain cannot accommodate the current traffic. Adding 5 stories would make traffic worse and is unrealistic.

Ellen Needham

Jonathan Needham

48 Lincoln Avenue

Ormond Beach, FL 32174

CITY OF ORMOND BEACH - LAND DEVELOPMENT CODE - AMENDMENT -PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the City of Ormond Beach, Florida, will hold a Public Hearing at **7:00 PM on Thursday, December 8, 2016**, in the City Hall Commission Chambers, Ormond Beach City Hall, 22 South Beach Street, Ormond Beach, Florida 32175, to consider request from Glenn D. Storch, Esquire (applicant) to amend the the Ormond Beach Land

Development Code. The applicant seeks to amend Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District of the Land Development Code to remove the existing two (2) story height limitation along New Britain Avenue, from North Beach Street to North Ridgewood Avenue **abutting the Lincoln Historic District** and establish certain setback and landscape standards.

ALL PARTIES ARE INVITED to appear and submit oral or written objections or comments. The failure of a person to appear during said hearing and comment on or object to the Land Development Code amendment, either in person or in writing, may preclude the ability of such person to contest the amendment at a later date. Copies of the amendment are available for inspection by the public in the Planning Department, Room 104, Ormond Beach City Hall, 22 South Beach Street, Ormond Beach, Florida.

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY A CITY BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THESE PUBLIC MEETINGS, SUCH PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SUCH PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

CITY OF ORMOND BEACH

L2222875. November 26, 2016 1t.

From: Partington, Bill [<mailto:Bill.Partington@ormondbeach.org>]

Sent: Wednesday, July 27, 2016 11:06 AM

To: Ellen Hayden-Needham

Cc: Shanahan, Joyce; Goss, Ric; MacLeod, Ted

Subject: Re: New Britain Proposal from Highlander Corp. to the Lincoln Avenue Historic District Residents

Thanks Ellen for letting me know. You are correct it is good to voice your concerns early.

I will follow this closely and do some more research regarding your concerns.

Bill Partington
386-871-8232

Sent from my iPad

On Jul 26, 2016, at 5:52 PM, Ellen Hayden-Needham <ellenneedham@ymail.com> wrote:

Hello Bill-

The residents of the Lincoln Avenue Historic Overlay District were invited to a meeting by Dorian Burt and the Highlander Corp./WIVIGECO to discuss changes to the current land code for the downtown River District. Specifically regarding changing the allowable height of future mixed use buildings on the North side of New Britain which abuts the Historic District . Their presentation is attached for your review.

They are proposing to change the maximum height from 2 stories per the land code to 5 stories (maximum 60 feet) to build 5 stories of units with 4 stories being residential on the North side of New Britain. That is twice the height of any structure in the Downtown area of Ormond Beach. It would ruin the charm and aesthetics of the downtown area and tower over Lincoln Avenue which is to be protected per the land development code. There are NO 5 story structures in the downtown area.

LAND DEVELOPMENT CODE OF THE CITY OF ORMOND BEACH, FLORIDA
Sec. 2-70 (d)(3) Redevelopment along that portion of New Britain adjacent to
the Lincoln Historic District shall not exceed two (2) story.

The Highlander Corp. has done a wonderful job creating great dining and entertainment spaces for the residence of Ormond Beach. But they need to respect the land code as well as the wishes of the homeowners that surround their project. We understand no application has been made to the city to change the land code and this is just conceptual at this point. Rather than wait for them to apply, I thought it best to share our opinion now. My husband and I DO NOT support the change to land code to allow Highlander Corp. to build 5 story buildings abutting the Lincoln Avenue Historic District.

Respectfully,
Ellen Hayden Needham
Jonathan D. Needham
48 Lincoln Avenue
Ormond Beach, FL 32174 386-677-4868



A Florida MainStreet Community

Ormond Beach MainStreet
P.O. Box 2917
Ormond Beach, FL 32175
Phone: (386) 492-2938

**Executive Committee
2016-2017**

Thomas MacDonald, President
Michael S. Slick, Vice President
Darlynn Tacinelli, Secretary
Richard Cooper, Treasurer
Ryck Hundredmark, Past President/
Promotions Committee Chair
Douglas Piatt, Design Committee Chair
Roy Akins, Economic Restructuring Chair

November 29, 2016

Board of Directors 2016-17

Harold Briley
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Brian Cavanaugh
Nancy Cortez
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Rick Fraser
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Charles Lichtigman
Shannon McLeish
Josh McPherson
Bill Partington, II
Dr. Michael Rodriguez
Joan Skirde
Chuck Spano
Judith Stein

Mr. Steven Spraker
Senior Planner
City of Ormond Beach
22 S. Beach St.
Ormond Beach, FL 32174

Re: LDC amendment application by Wivigeco

Dear Mr. Spraker,

I am writing on behalf of the Board of Directors of Ormond Beach MainStreet in support of the current application by Wivigeco for LDC changes that would affect New Britain Avenue, a part of our downtown district.

The Board feels that the proposed project fits well with its vision of a downtown with increased living space obtained by increasing mixed-use development. The development of New Britain Avenue is an important addition to downtown Ormond Beach.

Sincerely,

Julia Trujilo
Executive Director
Ormond Beach MainStreet

Ex Officio Members

Rick Boehm, Ormond Beach
City Commissioner
Richard Goss, Planning Director
City of Ormond Beach

Community Partners

The City of Ormond Beach
Ormond Memorial Art Museum
The Casements Cultural Center
Ormond Beach Historical Society
Ormond Beach Chamber of Commerce

Julia D. Trujilo
Executive Director

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Southern Stone Communications



ATTACHMENT 4

Applicant provided
information

GLENN D. STORCH, P.A.

ATTORNEYS AT LAW

GLENN D. STORCH, ESQUIRE
glenn@storchlawnfirm.com

COREY D. BROWN, ESQUIRE
corey@storchlawnfirm.com

November 8, 2016

A. JOSEPH POSEY, ESQUIRE
joey@storchlawnfirm.com

Mr. Steven Spraker, AICP
Senior Planner
Planning Department
22 South Beach Street
Ormond Beach, Florida 32174

**Re: *New Britain Avenue Redevelopment / Land Development Code Amendment
Sec. 2-70 Downtown Overlay District***

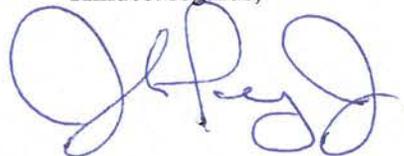
Dear Steven:

Thank you again for sitting down with me to discuss this project. I hope you are as excited as I am about seeing renewed interest in City downtown redevelopment. This letter is to further clarify the enclosed City LDC amendment application. As we discussed, my client wants to redevelop the properties along New Britain Ave. between Ridgewood Ave. and Beach St. in a manner similar to the enclosed conceptual plan. The project will be transitional mixed use development with commercial store fronts and residential lofts, and will include articulated rooflines and enhanced aesthetic interest. My client's aim is to create a transitional district with gradual easing from the high traffic commercial south of New Britain Ave. to residential as you go north. This project definitely captures the transitional nature of the area.

Unfortunately, the current City LDC regulations restrict potential redevelopment options for this area of the City. My client needs to request an amendment to the City LDC to make the enclosed conceptual plan feasible. The enclosed application proposes an amendment to Sec. 2-70, Downtown Overlay District, of the City LDC to permit building heights up to 5-stories along New Britain Ave. but require increased landscaping and rear yard setbacks for building heights greater than 2-stories. The changes will allow for building heights similar to those south of New Britain and ensure sufficient buffering for the residential areas along the south side of Lincoln Ave. The transitional buffering will require construction of a decorative, masonry wall and 10-foot landscape area to screen adjacent residential uses. In addition, we have provided a separate letter explain the market justifications and the need for this change.

Please do not hesitate me if you have any questions about this application. I am more than happy to discuss this request further.

Kindest regards,



FOR: Glenn D. Storch

GDS/ajp
Enclosure



CITY OF ORMOND BEACH

v3.2013

Planning Department

22 South Beach Street, Ormond Beach, FL 32174

Tel: (386) 676-3238

www.ormondbeach.org

comdev@ormondbeach.org

PUBLIC HEARING- APPLICATION

For Planning Department Use

Application Number

Date Submitted

APPLICATION TYPE AND FEES

	Application	Advertising Deposit for Advisory Board	Advertising Deposit for Commission	Total*
<input type="checkbox"/> Annexation				No Fees
<input type="checkbox"/> Annexation Agreement	100	--	--	100
<input checked="" type="checkbox"/> Land Development Code (LDC) Amendment	1000	300	300	1600
<input type="checkbox"/> Large-Scale Comprehensive Plan Amendment (Map)	2500	700	1400	4600
<input type="checkbox"/> Official Zoning Map Amendment, 10.01 acres or more	1000	700	1400	3100
<input type="checkbox"/> Official Zoning Map Amendment, 10 acres or less	1000	300	600	1900
<input type="checkbox"/> Planned Development, 10.01 acres or more	2000	800	1500	4300
<input type="checkbox"/> Planned Development, 10 acres or less	2000	300	600	2900
<input type="checkbox"/> Planned Development Amendment - Major	1000	800	1500	3300
<input type="checkbox"/> Small-Scale Comprehensive Plan Amendment (Map)	2000	400	800	3200
<input type="checkbox"/> Special Exception - New Construction/Redevelopment	850	400	400	1650
<input type="checkbox"/> Special Exception - Downtown CRA Redevelopment	400	400	400	1200
<input type="checkbox"/> Street Vacation	500	--	1500	2000
<input type="checkbox"/> Other	TBD	TBD	TBD	TBD

* The Land Development Code requires the applicant to pay the full costs of public advertising. The deposit is the average of past applications. Applicants shall receive a refund where costs paid are greater than advertising costs and will be if advertising costs are greater than the deposit paid.

APPLICANT INFORMATION

This application is being submitted by Property Owner Agent, on behalf of Property Owner**

Name

Full Address

Telephone Email

** If this application is being submitted by a person other than the property owner, please provide the following Property Owner Information as well as a notarized letter designating you as agent.

PROPERTY OWNER INFORMATION***

Name

Full Address

Telephone Email

***If the property owner does not reside on the property for which the application refers, please provide the following Property Details.

PROPERTY DETAILS

Full Address

See Attached

Legal Description

The affected legal includes the parcels along New Britain Ave. between Ridgewood Ave. and Beach St.

PROJECT COORDINATOR

Name

Lauren Buckmaster, ZevCohen

Full Address

300 Interchange Blvd., Suite C, Ormond Beach, FL 32174

Telephone

386-677-2482

Email

lbuckmaster@zevcohen.com

PROJECT INFORMATION

Name

New Britain Avenue Land Development Code Amendment

Description

See Attached

To promote redevelopment along New Britain Ave. by amending Sec. 2-70 Downtown Overlay District to permit redevelopment greater than 2-stories and require increased landscaping and rear yard setbacks for redevelopment greater than 2-stories.

CERTIFICATION

By submitting this application, I hereby certify that the information provided above is true and correct to the best of my knowledge and that I am aware of the application submittal requirements and review process for this application. I hereby authorize City of Ormond Beach Staff to place legal notice on my property and to take pictures pertaining to my request. I am aware of the required pre-application meeting and am aware that if all the required information is not provided, my application will be continued to the next regularly scheduled hearing.

Signature:

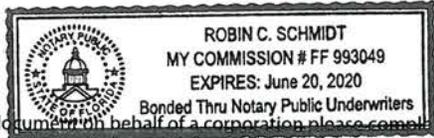
STATE OF FLORIDA

COUNTY OF Volusia

The foregoing instrument was acknowledged before me this 8 day of Nov, 2016 by A. Joseph Posey as Attorney (title*) for Glenn D. Storch, P.A. (name of corporation*), who provided _____ as identification, or who is personally known to me.

Robin C. Schmidt

Notary Public, State of Florida
My Commission Expires:



* If you are executing this document on behalf of a corporation please complete the spaces with your title and the name of your company as indicated.

NOTARIZED AUTHORIZATION OF OWNER

I, Anthony Guidice (hereinafter "Owner"), as President of WIVIGECO, LLC, a Florida limited liability company, as fee simple owner of several parcels along New Britain Avenue (the "Property), hereby authorize GLENN D. STORCH, P.A., as attorney for Owner, to represent me in a Land Development Amendment Application before the City of Ormond Beach, and all other actions necessary to necessary to accomplish same.



WIVIGECO, LLC

Print Name: Anthony Guidice

Title: President

STATE OF FLORIDA
COUNTY OF VOLUSIA

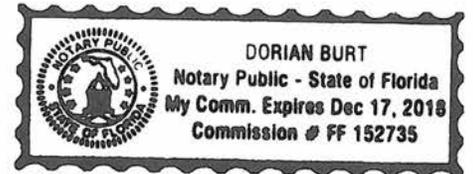
The foregoing instrument was acknowledged before me this 4th day of NOVEMBER, 2016, Anthony Guidice, as President of WIVIGECO, LLC, a Florida limited liability company, who is personally known to me or who has produced _____ as identification and who did not take an oath.



NOTARY PUBLIC

Type or print name:

Commission No.:





444 Seabreeze Blvd, Suite 670
Daytona Beach, FL 32118

October 19, 2016

Mr. Ric Goss, AICP
Director
Planning & Building
22 South Beach Street
Ormond Beach, Florida 32174

**Re: New Britain Avenue / WIVIGECO, LLC
Market Analysis / Mixed-Use Development**

Dear Mr. Goss:

On behalf of WIVIGECO, LLC I have had the pleasure of reviewing the development viability for the B-1 zoned properties along New Britain Avenue between Ridgewood Avenue and Beach Street. Based on substantial experience with the local market, and a review of the City Land Development Code, I identified the following items: first, there is currently an area market demand for mixed-use developments incorporating downtown luxury lofts; second, in my experience on Development Review Board, Planning Board, and with Ormond Mainstreet and the Ormond Chamber, the City has long supported the development of residential mixed use in the downtown area as a way to maximize further economic development; and lastly, unfortunately, the current B-1 zoning district limitations prevent a developer from meeting those needs without an increase to the maximum height and story limits within the zoning district.

As you know, the B-1 zoning district allows for a residential density of 8 units per acre up to 10 units per acre if two stories. At first glance the density appears viable for potential development. However, if you incorporate the additional development limitations of the City's LDC, such as maximum building height and building coverage, it becomes quickly apparent that designing a New Britain Avenue development in line with current market demands is not feasible, economically viable, or even possible with the current B-1 zoning entitlements.

As mentioned previously, there is a huge market demand for mixed-use developments and luxury downtown lofts. Millennials are the primary driver of such demand; however, the group as a whole lacks the buying power necessary to enter the first-time home buyer market. As a result, young people are now looking to luxury apartment developments to maintain a higher standard of living. Typical examples of such developments include street level small businesses and studio loft apartments with architectural accents complementing the mixed-use nature of such developments. The conceptual plan elevation provided to me by WIVIGECO, LLC is an excellent example. The elevation illustrates four to five story buildings with articulated rooflines and architectural features enhancing the aesthetic interest of the whole development. This type of development is in line with current market demands.



444 Seabreeze Blvd, Suite 670
Daytona Beach, FL 32118

In conclusion, the existing B-1 zoning entitlements along New Britain Avenue between Ridgewood Avenue and Beach Street will not permit a mixed-use development capable of capturing current market demand without an increase in the maximum height and story limits for the area. The WIVIGECO, LLC elevation is an excellent example of a mixed-use development appropriate for a commercial-residential transitional area. Please feel free to contact me with any further questions.

Sincerely,

John J. Adams
President
Adams, Cameron & Co. Realtors

SECTION 2-70 DOWNTOWN OVERLAY DISTRICT

A. PURPOSE: The purposes of the DOD, Downtown Overlay District are to promote development of a compact, pedestrian-oriented downtown consisting of a high-intensity employment, vibrant and dynamic mixed use areas, and residential living environments that provide a broad range of housing types and tenures; promote a diverse mix of entertainment activities for workers, visitors, and residents; encourage pedestrian-oriented development that is within walking distance of and supports transit opportunities at densities and intensities that will help to support transit usage and town center businesses; create a sense of place that is unique, attractive, and is a memorable destination for visitors and residents; enhance the community's character through the promotion of high quality urban design; and implement the vision expressed in the adopted 2007 Downtown Redevelopment Master Plan. The land area to which this section applies is the downtown community redevelopment area boundaries.

B. REGULATING PLAN (See Regulating Plans): The DOD districts consist of regulating plans depicting preferred concepts that reflect the existing and desired building placements articulated for the Creek, River and Ocean Districts within the downtown redevelopment master plan. The three (3) districts served by transit are the:

- (1) Creek District. This subdistrict is primarily intended to enhance the existing suburban style development pattern. This subdistrict is a prime location for workforce housing for both tenure types. Redevelopment of industrial uses upon vacancy should be to medium and high density housing, since the current employment estimate for the Creek district is 9.49 per acre, which is the lowest of the three (3) subdistricts. New buildings on unimproved parcels or where tear-down of existing buildings occur shall line the Granada Boulevard frontage. Long-term, redevelopment of the cement mixing plant to a use that could benefit commuter rail or local transit would be highly desirable;
- (2) River District. This district has a traditional downtown appearance which should be supported and enhanced with similar form and function. The office and retail service function in this district has a current employee estimate of 12.34 per acre. The district regulations support the function of the town center's core role as a hub of city importance for business, communications, office, government, retail, culture, education, visitor accommodations and entertainment. The regulations contained herein for this district support a mix of office commercial, public, recreation and entertainment uses. The River District also accommodates mixed use and medium and high density residential projects along the parallel side street system to Granada Boulevard. The side street system and adjacent areas are primarily intended to accommodate medium to high density residential development and small scale ground floor commercial uses with residential units above. This area also accommodates low-intensity office development compatible with the established residential character as well as to adjacent residentially zoned districts. The side street area is considered to be all of the parcels fronting New Britain Avenue from North Beach Street to U.S. 1 and those properties fronting north and south oriented streets; and
- (3) Ocean District. This area is uniquely situated to take advantage of both the Halifax River and the Atlantic Ocean. More intensive infill housing south of Granada Boulevard as well as mixed use development along Granada Boulevard and the side street system incorporating a housing component is needed. The employee per acre in the district is the highest of the three (3) districts at 25.16 per acre. The district is considered to be all parcels fronting Granada Boulevard from SR A-1-A to Riverside Drive/John Anderson Drive and the side street system on the south side of East Granada.

C. BUILDING ENVELOPE LAYOUT (See Figure 1: Site Plan Typical):

- (1) Street frontage: minimum seventy percent (70%).
- (2) Minimum interior side property line setback: zero feet.
- (3) Building frontage in figure 1 should not be construed as preventing the interconnection of on-premises sidewalks, courtyards or outdoor cafes from rear parking lots and secondary streets to the primary frontage street.
- (4) Minimum rear yard setback: zero to five percent (0% to 5%) of lot depth depending on specific site plan conditions. **For properties on the north side of New Britain Avenue between Ridgewood Avenue and Beach Street, any buildings in excess of two stories shall have a setback equivalent to the height of the buildings.**
- (5) Front setback.
 - a. Granada Boulevard: four feet (4');
 - b. Side streets: five feet (5').
- (6) The following exceptions of the build-to-line (BTL) for front and street side buildings setbacks apply:
 - a. Buildings may be set back from the BTL to provide an articulated facade or accommodate an entrance feature provided the created space does not exceed one (1) square foot for every linear foot of building frontage; or
 - b. Buildings may be setback in order to accommodate an outdoor eating area or café.
- (7) In order to preserve the continuity of the street wall, no building may be set back more than twenty feet (20') from the BTL regardless of the exceptions provided in subsection (c)(6) of this section.
- (8) Floor area ratio, to encourage mixed use buildings, a FAR of 1.0 shall be permitted;
- (9) Lot area per unit (density). The minimum lot area per dwelling unit shall be one thousand (1,000) and five hundred (500) square feet for mixed use buildings located on the side street system and Granada Boulevard, respectively. (See the downtown design guidelines for an example of how this can be accommodated on a site.) All other buildings shall be subject to the minimum square footage by bedroom in the respective zoning district.
- (10) Landscaped buffers shall not be required for any portion of street frontage. Landscaped buffers and landscaping shall be required to buffer and screen parking lots in accordance with sections 3-05 and 3-06. **Any development of properties along the north side of New Britain Avenue between Ridgewood Avenue and Beach Street where the proposed building exceeds two (2) stories shall provide a landscape buffer along the rear property line with a minimum width of ten (10) feet and a decorative screening wall with a height of six (6) feet.**
- (11) Maximum impervious surface: ninety percent (90%).

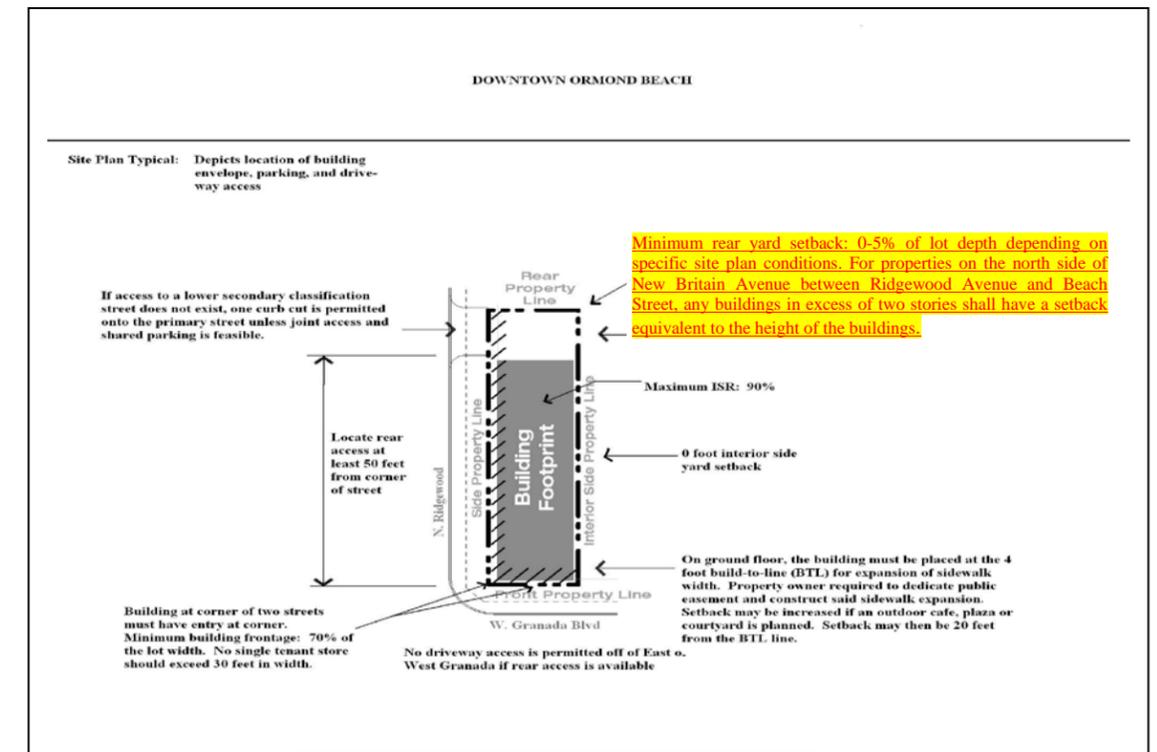


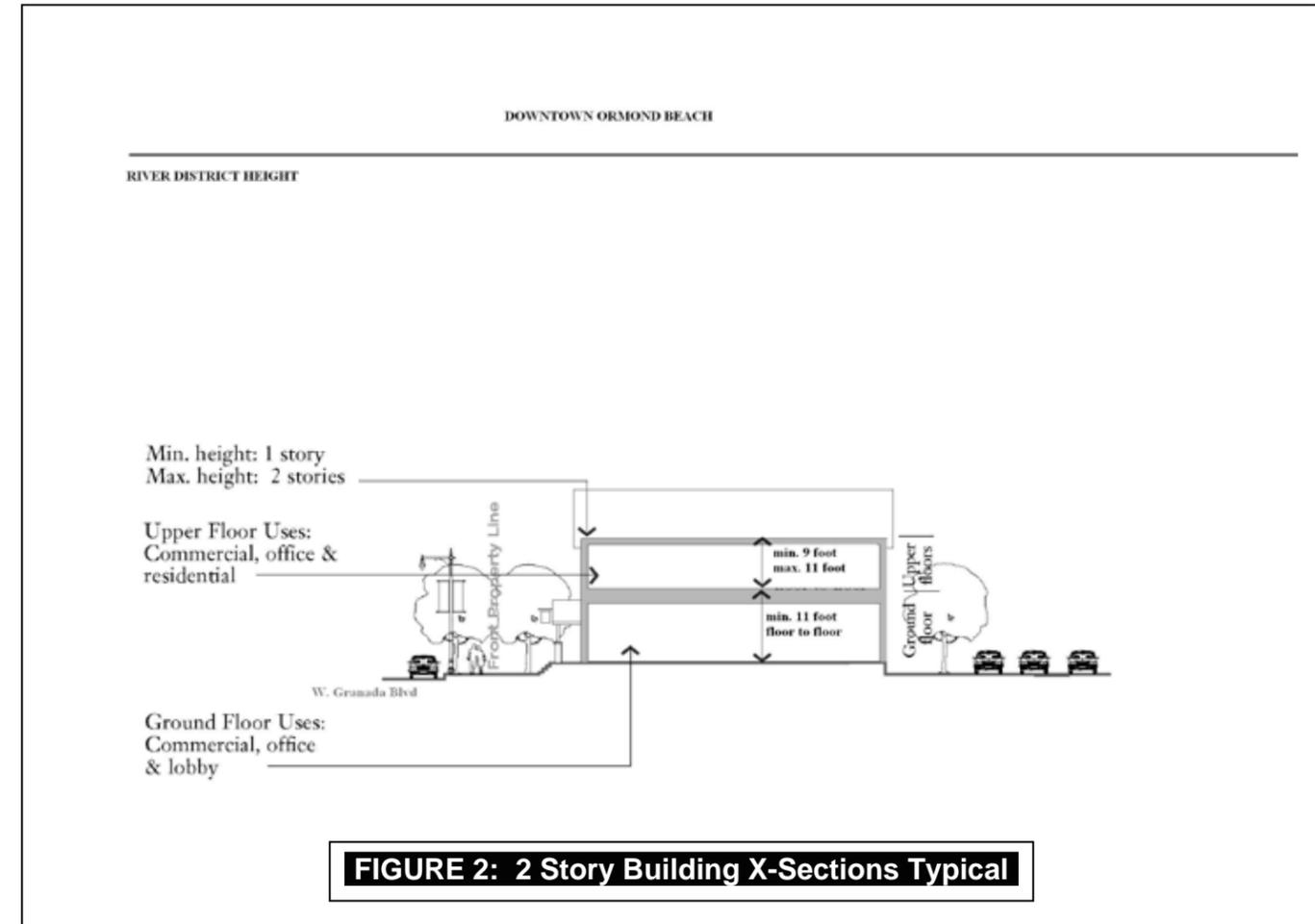
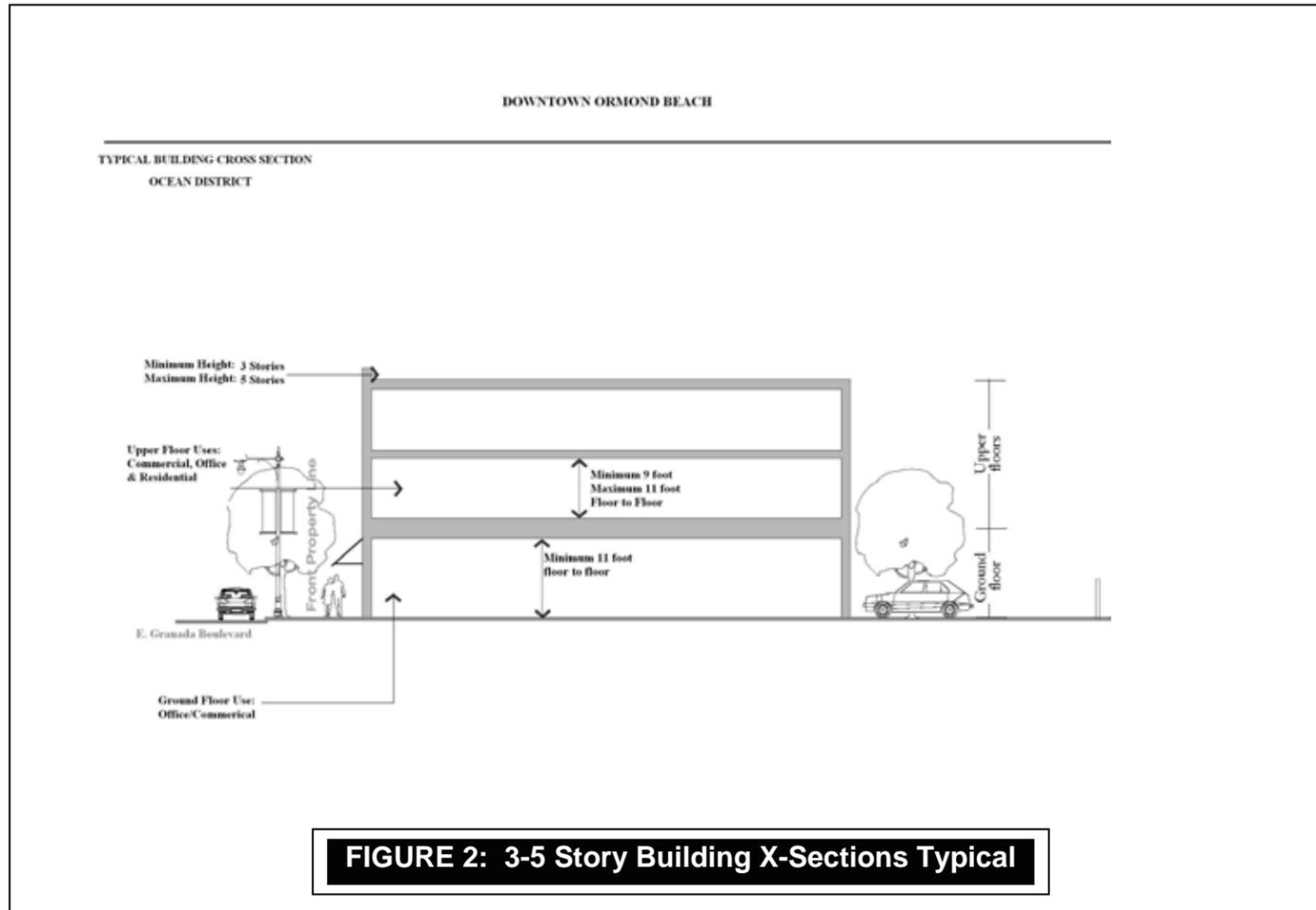
FIGURE 1: Site Plan Typical

D. HEIGHT REQUIREMENTS (See Figure 2: Building Cross Section Typical):

- 1) Building Height: Height is measured in stories.
- 2) Table 1 depicts the heights by physical location and the district in which a building is located.
- 3) Redevelopment along that portion of New Britain adjacent to the Lincoln Historic District shall not exceed 2 story.

Table 1-Height by Location			
Location	Creek	River	Ocean
Granada	2	2 - 5 stories	3 - 5 stories

- 4) Floor-to-Floor Heights and Floor Area of Ground-Floor Space: All commercial floor space provided on the ground floor of a mixed use building must have a minimum floor-to-ceiling height of (11) feet. All nonresidential floor space provided on the ground floor of a mixed use building must contain at least 800 square feet or 25% of the lot area whichever is greater on lots with street frontage of less than 50 feet OR at least 20% of the lot area on lots with 50 feet of street frontage or more; AND
- 5) Floor Heights: Allowable ground floor height is a minimum of 11 feet as measured floor to floor. Upper floor minimums shall be 9 feet, maximum 11 feet, as measured floor to floor.

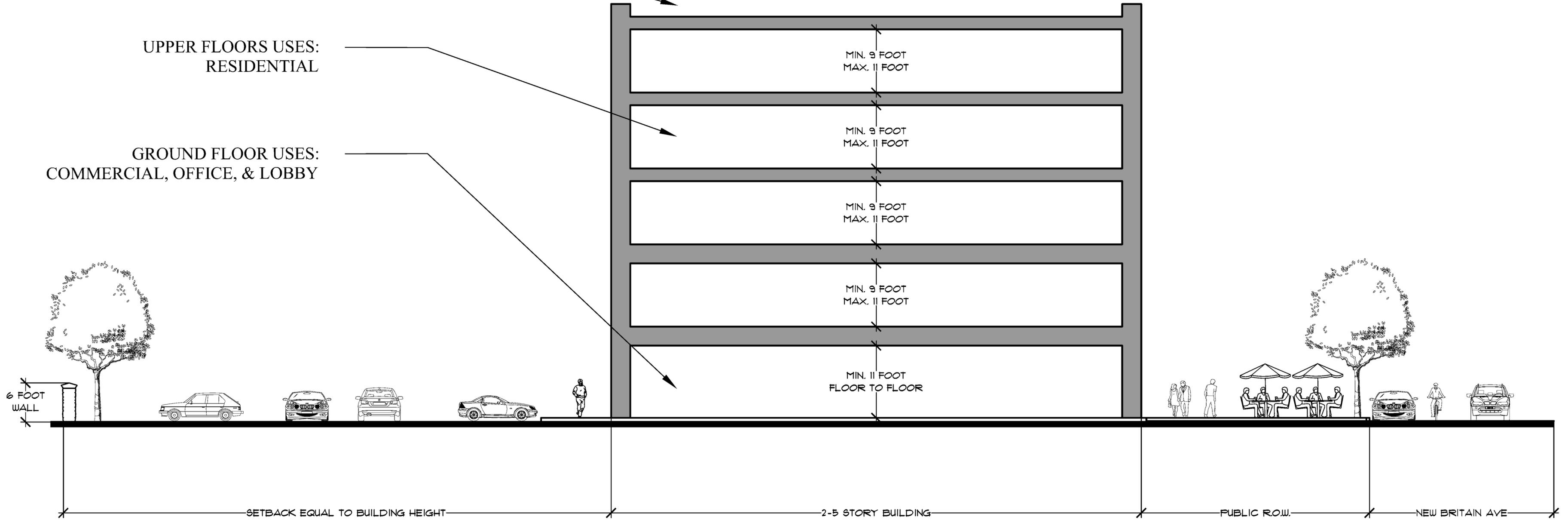


New proposed graphic

MIN. HEIGHT: 1 STORY
MAX. HEIGHT: 5 STORIES

UPPER FLOORS USES:
RESIDENTIAL

GROUND FLOOR USES:
COMMERCIAL, OFFICE, & LOBBY



NEW BRITAIN PROPOSED DEVELOPMENT

SCALE: 1" = 10'

mixed use

Redevelop side street to permit office and retail development with buildings to front and parking to rear.

Building wall materials may be combined on each facade only horizontally, with the heavier generally below the lighter. Street walls shall be made of brick, block or stucco to match facade of principal building. Windows shall use clear glass panels. All openings other than storefronts shall be square or vertical in proportion. Openings above 1st story shall not >50% of the total building wall area. Retail frontage facades shall be detailed as storefronts and glazed NLT 60% of the sidewalk-level story. Doors/windows that operate as sliders are prohibited along frontages. Pitched roofs shall be symmetrically sloped NLT 5:12. Flat roofs shall be enclosed by a parapets a minimum of 42" high or as required to conceal HVAC equipment.

No interior side setback is required.

A minimum of 60% of the street-facing building facade between 2 feet and 8 feet in height must have clear windows that permits views of indoor space or product display areas

Multi-family development (5-30 u./a)

Side Streets: ROW 50-60 feet. On Street Parking permitted. Where on-street parking is provided, that which is located along the frontage lines that correspond to each lot shall be counted toward the parking requirement of the lot.

Shared off-street parking (Typical throughout)

While these drawings depict large building envelopes, the intent is to have no one occupant larger than a certain floor area size. For purposes of the downtown to permit a drug store, the maximum gross floor area per commercial applicant shall not exceed 15,000 square feet.

Larger buildings with entrances may include doors to individual shops or business lobby entrance entrances to pedestrian-oriented plaza's, or courtyard entrances to a cluster of shops or businesses

Blocks must not exceed [500] feet in length and must provide pedestrian linkages to parking at least every 250 feet.

N. Ridgewood Avenue

New Britain Street

West Granada Boulevard

Tomoka Avenue

US 1

Washington Street

Beach Street

Buildings at corner of two streets shall have entry at corner (typical). This site is already built upon, consequently moving up to the BTL, multi-story or mix use would not apply unless the building was 100% removed.

No curb cuts are permitted for lots that have right of access from the rear of the lot to a public ROW

A minimum building height in the River District shall be two story. Ideal height is 3 stories. Because this site is vacant, redevelopment to mix use and multi-story would be required

Reduce parking requirement by 20% due to location along transit route. If public parking is located within 640 feet, no off site parking is required for tenant space <3,500 GSF. Tenant space > 3,500 square feet shall provide parking but such parking may be provided on sites elsewhere within the same pedestrian shed.

Vacate Lewis and convert to pedestrian walkway.

Buildings along SR 40 shall set back a maximum of 4 feet from the public ROW. A setback may be increased from the BTL to a maximum of 20 feet from public ROW if a courtyard, plaza, outdoor cafe or seating area is incorporated into the development adjacent to the public street

In the future, relocate school parking to a site along Tomoka Avenue and in-fill this site with retail/office/residential.

This Regulating Plan depicts long term that this parking lot fronting Granada be redeveloped with buildings fronting the ROW. Will require a partnership with School District to redevelop this parcel.

Minimum Street frontage: 70%

To encourage mix use, it is proposed that a maximum FAR of 1.0 be permitted.

To promote mix use buildings, flexible development standards are needed. Rather than minimum floor areas, this advocates a minimum lot area per dwelling unit. When residential development is provided on upper stories of a mix use building, the minimum lot area shall be 1452 feet per DU. This is over and above the minimum lot area needed for a ground floor commercial space.

Building Type Color Code:

Existing Building Types

MF Residential

Retail/Residential 2-story

Office/Residential 2-story

Mixed use 2-5 stories

RIVER DISTRICT REGULATING PLAN



STREET VIEW LOOKING NORTH

CONCEPTUAL PROPOSAL FOR THE DEVELOPMENT OF NEW BRITAIN AVE. ORMOND BEACH FLORIDA



PLAN VIEW

ATTACHMENT 5

Proposed Land
Development Code
amendments

Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (c)

(c) Building envelope layout. (see Figure 1, site plan typical.)

(1) *No change to existing text...*

(2) *No change to existing text...*

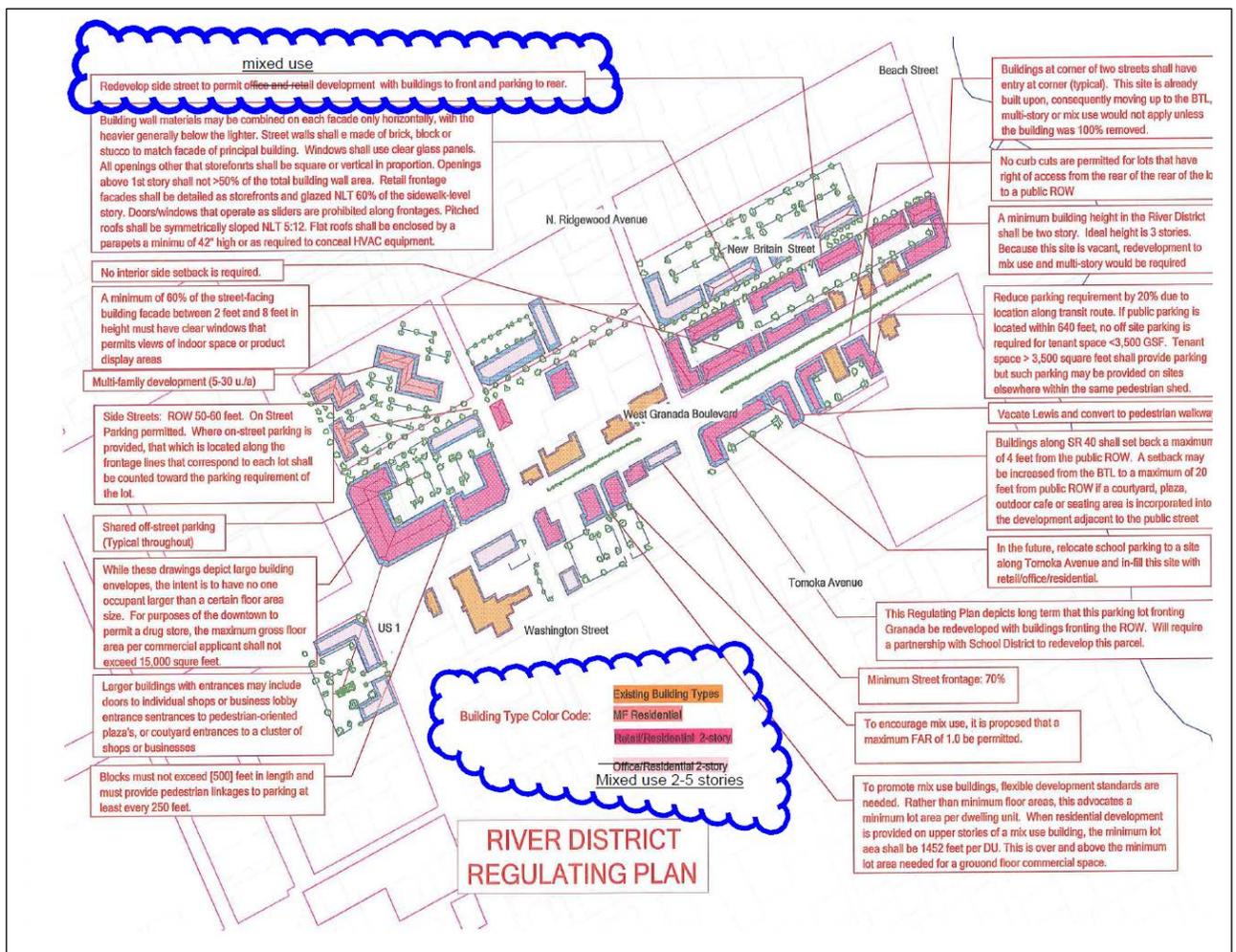
(3) *No change to existing text...*

(4) Minimum rear yard setback: 0-5% of lot depth depending on specific site plan conditions. **For properties on the north side of New Britain Avenue between Ridgewood Avenue and Beach Street, any buildings in excess of two stories shall have a setback equivalent to the height of the buildings.**

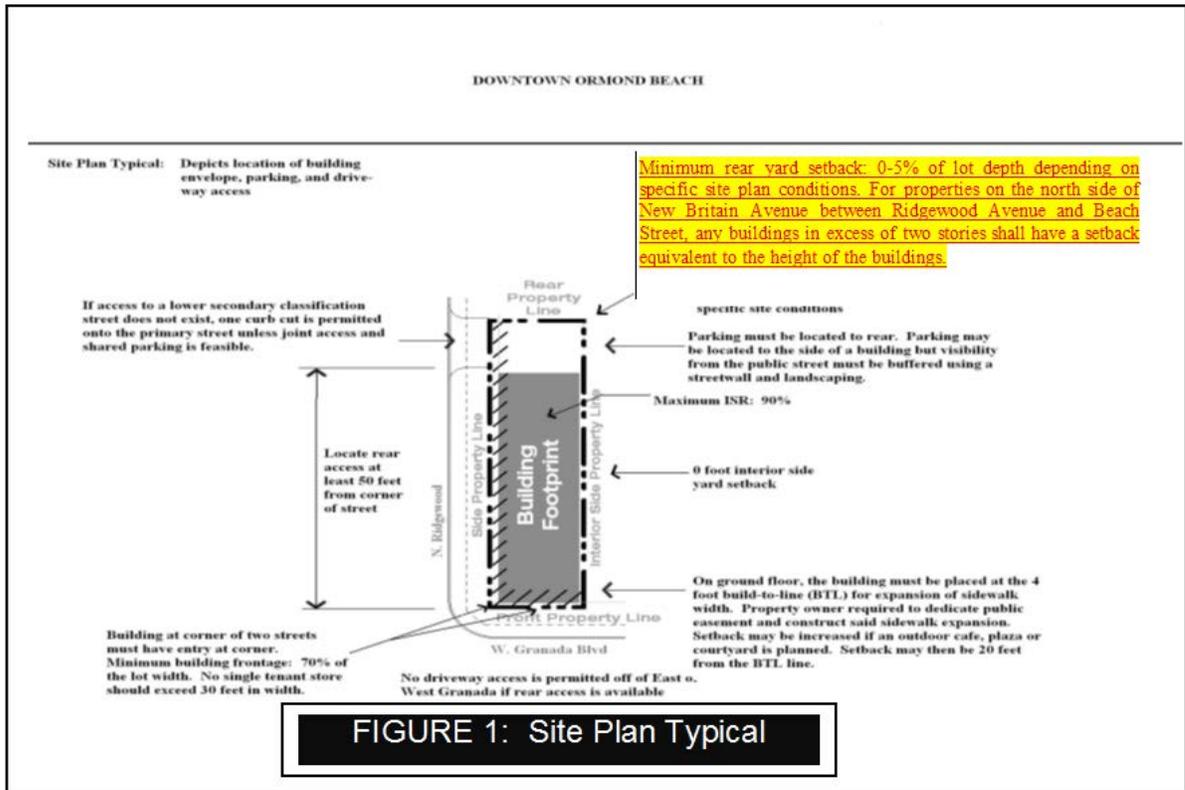
(5) *No change to existing text...*

Creek District Regulating Plan: *No change to existing text...*

River District Regulating Plan



Ocean District Regulating Plan: *No change to existing text...*



(6) *No change to existing text...*

(7) *No change to existing text...*

(8) *No change to existing text...*

(9) *No change to existing text...*

(10) Landscaped buffers shall not be required for any portion of street frontage. Landscaped buffers and landscaping shall be required to buffer and screen parking lots in accordance with LDC Section 3.05 and 3.06. Any development of properties along the north side of New Britain Avenue between Ridgewood Avenue and Beach Street where the proposed building exceeds two (2) stories shall provide a landscape buffer along the rear property line with a minimum width of ten (10) feet and a decorative screening wall with a height of six (6) feet.

(11) *No change to existing text...*

Chapter 2, District and General Regulations, Article VI, Overlay Districts, Section 2-70, Downtown Overlay District, subsection (d)

(d) Height requirements. (See Figure 2, building cross section typical)

(1) *No change to existing text...*

(2) *No change to existing text...*

(3) Redevelopment along that portion of New Britain adjacent to the Lincoln Historic District shall not exceed 2-story.

(43) *No change to existing text...*

(54) Floor heights. Allowable ground floor height is a minimum of eleven feet (11') as measured floor to floor. Upper floor minimums shall be nine feet (9'), maximum eleven feet (11'), as measured floor to floor.

Location	Creek	River	Ocean
Granada Boulevard	2-story	2—5 stories	3—5 stories

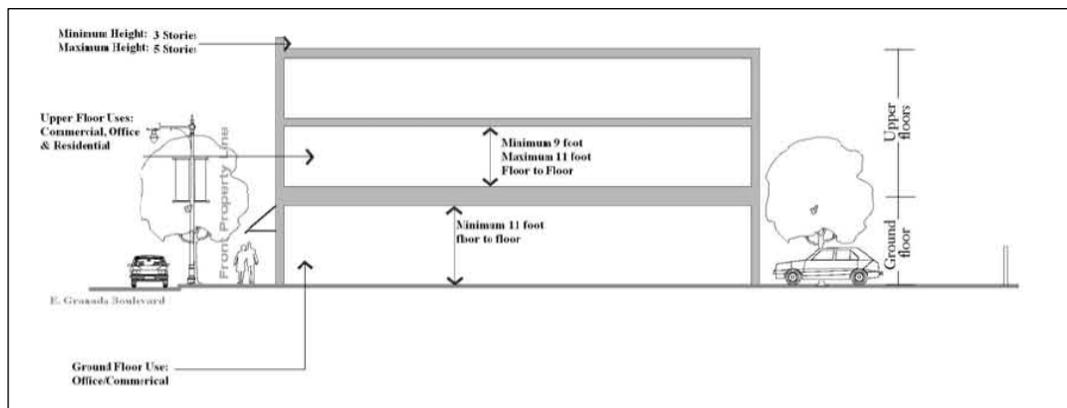


Figure 2. 3-5 Story Building x Section Typical *(No change to existing text...)*

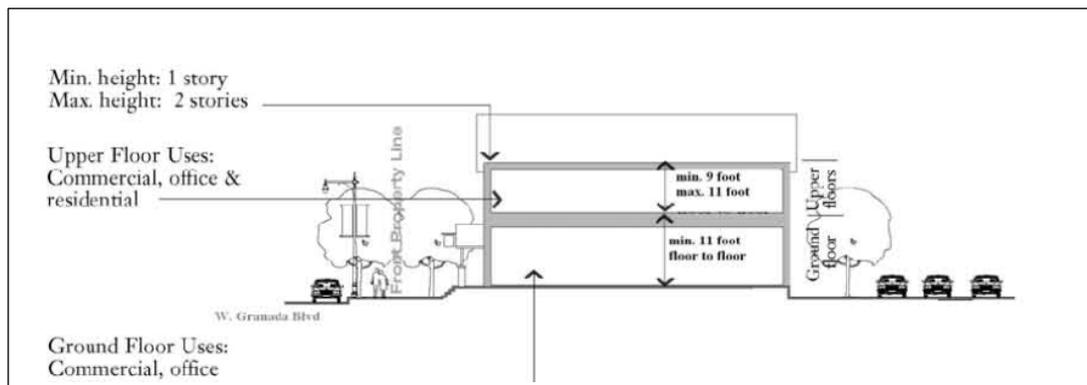


Figure 2. 2-Story Building x Section Typical *(No change to existing text...)*

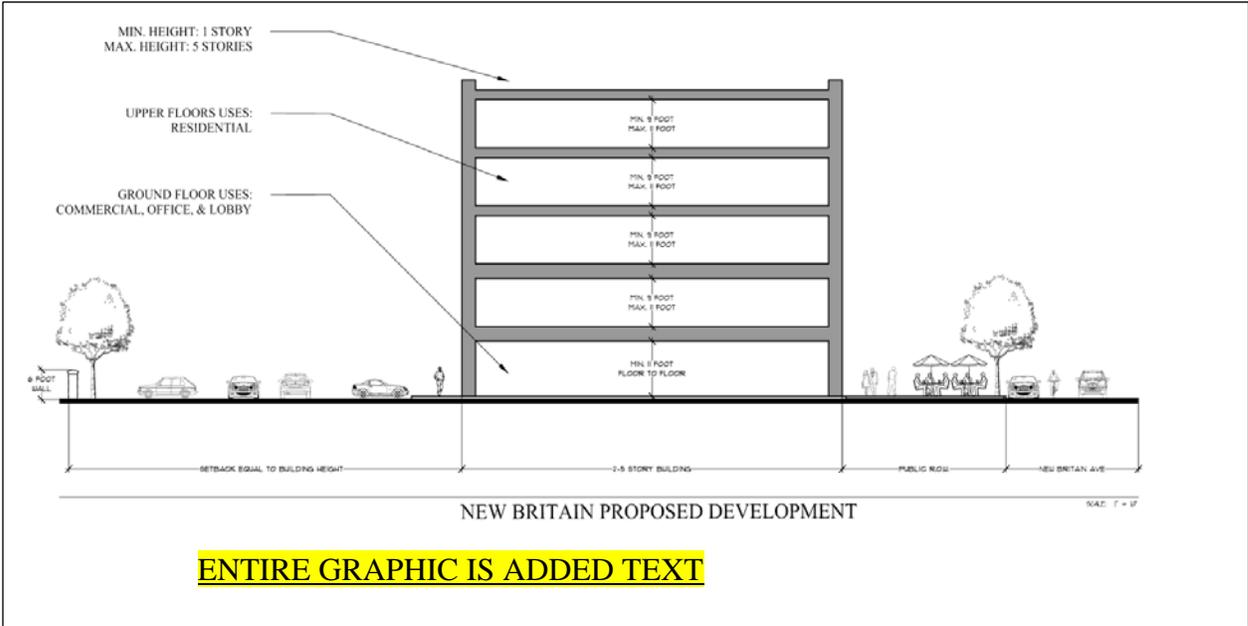


Figure 2. New Britain Avenue proposed development, from North Beach Street to North Ridgewood Avenue

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: November 24, 2016

SUBJECT: 2016 Capital Improvements Element (CIE) Annual Update

APPLICANT: Administrative

NUMBERS: MM 16-107

PROJECT PLANNER: S. Laureen Kornel, AICP, Senior Planner

INTRODUCTION: Each year local governments must update their Capital Improvements Element (CIE), including the Five-Year Schedule of Capital Improvements (Schedule) to demonstrate funded or planned to fund the public facility improvements needed to support their population (163.3177 Florida Statutes). These facilities include water, sewer, stormwater, solid waste, roads, parks, and schools. The subject Annual Update is administrative and updates the schedules of CIE of the City of Ormond Beach Comprehensive Plan, in accordance with State law. This update does not include any text changes to the goals, objectives and policies of the CIE.

BACKGROUND: Local governments are mandated to plan for the availability of public facilities and services to support development and the impacts of such development. The purpose of the CIE and the Schedule is to identify the capital improvements needed to implement the Comprehensive Plan and ensure adopted Level of Service (LOS) Standards are achieved and maintained for concurrency-related facilities. This CIE commences in the fiscal year 2016/2017 and identifies potential projects for the initial five-year planning period.

The capital improvements schedule is not required to be submitted as a comprehensive plan amendment pursuant to the submittal procedures required by Section 163.3184, F.S. Other revisions related to the capital improvements schedule such as map amendments or level of service revisions may not be adopted in the same ordinance. The CIE annual update is limited solely to the schedule itself. The conditions governing the notice and hearing are the same as those required for the adoption of any local ordinance. The City is no longer required to submit the adoption ordinance and updated schedule to the Department of Economic Opportunity, but as a courtesy will continue to do so. Finally, the statutory definition of "financial feasibility" and the December deadline were removed by House Bill 7207.

DISCUSSION: The CIE Schedule includes all projects required to meet or maintain adopted LOS standards for concurrency-related facilities or implement the Goals, Objectives, and Policies of the Comprehensive Plan. The concurrency management system for the City of Ormond Beach is established by policy in the City's Comprehensive Plan, and administered through regulations contained within the City's Land Development Code. The Planning Department is responsible for regularly

monitoring the cumulative effect of all approved Development Orders and Development Permits on the capacity of public facilities. In addition to the individual concurrency reviews for current development proposals, staff has identified and provided a brief summary of most of the public facilities and services subject to concurrency review at sufficient levels.

Recreation & Open Space: Based on the 2010 Census data the population of Ormond Beach is 38,137. The City's adopted comprehensive plan applies a level of service of 13 acres per 1,000 people. According to the adopted Parks and Recreation Master Plan Study there are approximately 472 total acres of parkland in Ormond Beach. Since the adoption of the Study the following additional parkland acres have been acquired: Ormond Crossings (17 acres), linear parks (7 acres), Andy Romano Beachfront Park (4.07 acres) and Central Park (7.94 acres). Since the last update of the CIE in 2015 there have been no parklands acquired. The current total number of acres of parkland in Ormond Beach remains at 508.01 acres as reported in 2014. The City exceeds its LOS standard by approximately 12.2 acres. The City will likely need to review proposed facility improvements based on available funding.

Sanitary Sewer: The existing wastewater treatment plant is currently permitted for a rated capacity of 8 Million Gallons per Day (MGD) for wastewater influent flow from the sanitary sewer collection system. The City, in December 2014, FDEP Operating Permit for the 8 MGD Treatment Facility to include expansion of the City's reclaimed water land application design capacity to 9.40 MGD having a service area to 3,500 acres. The most recent annual period average daily flow to the facility is 4.19 MGD. The most recent annual period average daily treated effluent flow to reuse customers is (3.42 +/-) MGD. Approved development projects proposed for waste water treatment added with current wastewater plant flow is estimated at 5.85 MGD at build out. The plant capacity remaining is 2.15 MGD if all approved projects are built out. The LOS for sanitary sewer continues to be met.

Potable Water: The City operates a single water treatment plant having a permitted and rated capacity remaining at 12 MGD. Demand and capacity has not changed much from last year. The existing demand for water use during the most recent annual period is 5.51 MGD. When the proposed projects for the City's service area are added to the existing demand, the total is 7.54 MGD. There is a remaining capacity of 4.46 MGD if all approved projects are built out. The LOS for potable water service continues to be met.

Solid Waste: The City maintains a solid waste, recycling, yard waste and construction/demolition debris roll-off collection program through a private contractor. Current manual solid waste collection occurs twice per week per residential unit, with recycling and yard waste collection occurring once per week. Roll-off collection is customer generated and is an as needed basis. Commercial or mechanical solid waste collection occurs from a minimum of three days per week to a maximum of six days per week. Solid waste collections average 5.22 per capita (up from 5.13 pounds per capita in 2015). In addition, recycling collections average 7.13 pounds per capita (up from 7.01

per capita in 2015) as the City continues to recycle more each year. While the City's solid waste collections exceed the adopted LOS Standard (4.0 pounds per capita), the amount of solid waste generated by individuals is something the City cannot control. The City will continue to promote recycling programs and work toward achieving the adopted LOS Standard.

Traffic: The city maintains a traffic concurrency monitoring system for new development in the city. Concurrency determinations differ in the designated multi-modal corridors than outside of the corridors. Inside the designated multimodal corridors of US 1, SR40 and A1A, the focus is on road efficiency improvements only and transit and non-motorized (trails and sidewalks) with the purpose of reducing vehicle miles travelled. Outside of the designated multimodal corridors, the focus is on maintaining road capacity to meet LOSS. County and State roadways which are impacted by Ormond Beach development have segments that do not meet adopted LOS Standards. West Granada Boulevard (SR 40) had an LOS of E between US 1 and Halifax in 2016, and has an LOS F between Clyde Morris Road and I95 in 2021 and 2026, Rima Ridge to Tymber Creek in 2026, Williamson with LOS D in 2021 and 2026, and Hand Avenue with LOS E and F in 2021 and 2026 respectively.

The City's updated Long Term Roadway Assessment for 2015-26 indicates that should traffic trends continue, segments of Granada Boulevard (2014, 2021 and 2026), Williamson (2021, 2026) and Hand Avenue (2021 and 2026) will have an LOS of D or worse. During 2015, only one segment of road that is impacted by the City approval of development has an LOS below the adopted LOS. The City has designated US 1, A1A and SR 40 multimodal corridors where a mobility fee will be assessed in lieu of a transportation impact fee that will focus on transit, non-motorized improvements and transportation efficiency improvements. Increasing road capacity is highly unlikely along these designated road corridors since they are policy constrained due to the high costs for right-of-way purchase. Reducing vehicle miles travelled through multimodal strategies will become increasing important.

Public Schools: Based on the most up to date LOS Tables provided by the School Board from 2016, overall the City is currently meeting its LOS Standards.

The subject update to the schedules of the CIE is attached for review (Exhibit A) and includes other statutorily required information such as:

- Projects included in the Transportation Planning Organization TIP (Transportation Improvements Program) that the City relies on for concurrency; and
- The Volusia County School District Five-Year Work Program.

In addition, Tables E and F, 2025 Mass Transit Schedule of Capital and Operating Improvements and Non-Motorized Schedule of Capital Improvements respectively are included with this report. It is expected that the Annual Update to the CIE will be

reviewed by the City Commission on January 17, 2017 (1st reading) and again on February 7, 2017 (2nd Reading).

RECOMMENDATION: Staff recommends that the Planning Board recommend **approval** to the City Commission of the adoption of the 2016 CIE Annual Update.

Attachments: Exhibit A – 2016 Capital Improvement Element Annual Update

Exhibit A

2016 Capital Improvements Element
Annual Update

Amendments are shown in ~~strikethrough~~ (deleted)
and underline (proposed text)

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table A
Leisure Services
Capital Improvements Schedule
November, 2015

#	Project Description/Area	Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20	Relationship to Comprehensive Plan
Community Parks									
4	Nova Community Park Renovations	Property Taxes- General CIP	\$37,500	0	\$0	\$0	\$0	\$37,500	Recreation Element - Obj. 1.4
		FRDAP	\$112,500	\$0	\$0	\$0	\$0	\$112,500	
2	Nova Community Park Master Plan Phase 1	Property Taxes- General CIP	\$0	\$0	\$0	\$550,000	\$0	\$550,000	Recreation Element - Obj. 1.4
3	OBSC Improvements	Property Taxes- General CIP	\$115,000	\$275,000	\$0	\$0	\$0	\$390,000	Recreation Element - Obj. 1.4
		FRDAP	\$115,000	\$0	\$0	\$0	\$0	\$115,000	
		ECHO Grant	\$0	\$275,000	\$0	\$0	\$0	\$275,000	
		Total	\$380,000	\$550,000	\$0	\$550,000	\$0	\$1,480,000	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Leisure Services Funding Schedule

Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20
Property Taxes- General CIP	\$265,000	\$275,000	\$0	\$550,000	\$0	\$1,090,000
FRDAP	\$115,000	\$0	\$0	\$0	\$0	\$115,000
ECHO Grant	\$0	\$275,000	\$0	\$0	\$0	\$275,000
Total	\$380,000	\$550,000	\$0	\$550,000	\$0	\$1,480,000

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table B
Utilities
Capital Improvements Schedule
November, 2015**

#	Project Description/Area	Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20	Relationship to Comprehensive Plan
Stormwater Improvements									
1	Corrugated Metal Pipe Rehabilitation	Stormwater Charges	\$250,000	\$250,000	\$250,000	\$250,000	\$250,000	\$1,250,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
2	Laurel Creek Stormwater Pump Station Improvements	Stormwater Charges	\$437,000	\$0	\$0	\$0	\$0	\$437,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
3	Laurel Creek Stream Gauge Stations	Stormwater Charges	\$68,805	\$0	\$0	\$0	\$0	\$68,805	Utilities Element -Objs. 1.1, 1.7, and 1.8
4	Wilmette Avenue Pump Station	Water and Sewer Charges	\$23,400	\$171,600	\$0	\$0	\$0	\$195,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
Waste Water System Expansion									
5	Force Main Improvements	Wastewater Impact Fees	\$0	\$0	\$0	\$60,000	\$540,000	\$600,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
6	Breakaway Trails Reclaimed Water Storage and Pump	Bond Proceeds	\$0	\$0	\$0	\$240,000	\$2,460,000	\$2,700,000	Utilities Element -Objs. 1.1, 1.7, and 1.8

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20	Relationship to Comprehensive Plan
7	South Peninsula Reclaimed Water Main Expansion	Wastewater Impact Fees	\$270,000	\$938,400	\$0	\$0	\$0	1,208,400	Utilities Element -Objs. 1.1, 1.7, and 1.8
		Bond Proceeds	\$0	\$1,200,000	\$0	\$0	\$0	\$1,200,000	
		SJRWMD Grant	\$0	\$1,200,000	\$0	\$0	\$0	\$1,200,000	
Wastewater Systems Improvements									
8	MLS-Comminutor	Bond Proceeds	\$165,000	\$0	\$0	\$0	\$0	\$165,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
9	Pretreatment Effluent Pump (PEP Replacement)	Water and Sewer Charges	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$500,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
10	Sanitary Sewer Inflow Infiltration	Bond Proceeds	\$250,000	\$250,000	\$250,000	\$250,000	\$250,000	\$1,250,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
11	Wastewater Sludge Thickener Upgrades	Bond Proceeds	\$325,000	\$0	\$0	\$0	\$0	\$325,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
12	Deer Creek Reclaimed Water Connection	Bond Proceeds	\$0	\$0	\$0	\$135,000	\$0	\$135,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
13	Outfall Pipe Replacement	Bond Proceeds	\$690,000	\$0	\$0	\$0	\$0	\$690,000	Utilities Element -Objs. 1.1, 1.7, and 1.8
14	Lift Station Rehabilitation	Water and Sewer Charges	\$600,000	\$400,000	\$400,000	\$600,000	\$400,000	\$2,400,000	Utilities Element -Objs. 1.1, 1.7, and 1.8

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 14-15	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 14-19	Relationship to Comprehensive Plan
15	Sludge Dewatering Improvements	Bond Proceeds	\$0	\$195,000	\$1,560,000	\$0	\$	\$1,755,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
16	Laboratory Upgrades	Bond Proceeds	\$0	\$0	\$0	\$540,000	\$0	\$540,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
Water System Expansion									
17	Distribution System-North Peninsula	Bond Proceeds	\$0	\$0	\$0	\$90,000	\$922,500	\$1,012,500	Utilities Element - Objs. 1.1, 1.7, and 1.8
18	Water Main Replacement	Bond Proceeds	\$237,000	\$1,575,000	\$180,000	\$1,200,000	\$0	\$3,192,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
Water System Improvements									
19	General Facility Upgrades - Water	Water and Sewer Charges	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$1,000,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
20	Meter Installation	Water and Sewer Charges	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000	\$450,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
21	Secondary Raw Water Main	Water Impact Fees	\$0	\$300,000	\$2,400,000	\$0	\$0	\$2,700,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
22	Water Storage Tank Repairs	Water and Sewer Charges	\$200,000	\$100,000	\$100,000	\$100,000	\$0	\$500,000	Utilities Element - Objs. 1.1, 1.7, and 1.8

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 14-15	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 14-19	Relationship to Comprehensive Plan
23	Rima Ridge Auxiliary Power Generator	Bond Proceeds	\$200,000	\$0	\$0	\$0	\$0	\$200,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
24	N. Peninsula Water System Improvements	Bond Proceeds	\$70,200	\$562,000	\$0	\$0	\$0	\$632,200	Utilities Element - Objs. 1.1, 1.7, and 1.8
25	Water Plant Lime Silo Dust Collector Replacement	Water and Sewer Charges	\$290,000	\$0	\$0	\$0	\$0	\$290,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
26	Process and Instrumentation Control Improvements	Bond Proceeds	\$550,000	\$300,000	\$200,000	\$0	\$0	\$1,050,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
27	City-wide Meter Replacement	Water and Sewer Charges	\$555,000	\$515,000	\$530,000	\$490,000	\$500,000	\$2,590,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
28	WTP Solids Handling Facility Upgrades	Bond Proceeds	\$150,000	\$1,200,000	\$0	\$0	\$0	\$1,350,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
29	Hydrant Replacement	Water and Sewer Charges	\$161,000	\$161,000	\$0	\$0	\$0	\$322,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
30	VFD retrofit for Wells 39-41	Bond Proceeds	\$0	\$0	\$0	\$0	\$162,000	\$162,000	Utilities Element - Objs. 1.1, 1.7, and 1.8

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20	Relationship to Comprehensive Plan
Community Redevelopment									
31	Downtown: Ocean-District Streetlight Replacement	Property Taxes - TIF	\$300,000	\$0	\$0	\$0	\$0	300,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
32	Downtown: Stormwater Improvements	Capital Project Reserves	\$600,000	\$0	\$0	\$0	\$0	\$600,000	Future Land Use Element - Obj. 7.2
33	Downtown: Sidewalk Renovations	Property Taxes - TIF	\$50,000	\$300,000	\$300,000	\$0	\$0	\$650,000	Future Land Use Element - Obj. 7.2
34	Downtown: Upgrades and Improvements	Property Taxes - TIF	\$50,000	\$50,000	\$25,000	\$25,000	\$0	\$150,000	Future Land Use Element - Obj. 7.2
35	Downtown: Thompson Creek, Phase II	TPO	\$0	\$0	\$0	\$894,750	\$0	\$894,750	Future Land Use Element - Obj. 7.2
		Property Taxes - TIF	\$0	\$0	\$0	\$298,250	\$0	\$298,250	
-	-	Total	\$6,882,405	\$10,058,000	\$6,585,000	\$5,563,000	\$5,874,500	\$34,962,905	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Utilities Funding Schedule

Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20
Bond Proceeds	\$2,637,200	\$5,282,000	\$2,190,000	\$2,455,000	\$3,794,500	\$16,358,700
Stormwater Charges	\$755,805	\$250,000	\$250,000	\$250,000	\$250,000	\$1,755,805
Wastewater Impact Fees	\$270,000	\$938,400	\$0	\$60,000	\$540,000	\$1,808,400
Water and Sewer Charges	\$2,219,400	\$1,737,600	\$1,420,000	\$1,580,000	\$1,290,000	\$8,247,000
Water Impact Fees	\$0	\$300,000	\$2,400,000	\$0	\$0	\$2,700,000
Property Taxes - TIF	\$400,000	\$350,000	\$325,000	\$323,250	\$0	\$1,398,250
TPO	\$0	\$0	\$0	\$894,750	\$0	\$894,750
Capital Project Reserves	\$600,000	\$0	\$0	\$0	\$0	\$600,000
SJRWMD Grant	\$0	\$1,200,000	\$0	\$0	\$0	\$1,200,000
Total	\$6,882,405	\$10,058,000	\$6,585,000	\$5,563,000	\$5,874,500	\$34,962,905

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table C
Transportation
Capital Improvements Schedule
November, 2015

#	Project Description/Area	Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20	Relationship to Comprehensive Plan
1	Forest Hill Trail	FDOT JPA	\$51,664	\$530,359	\$0	\$0	\$0	\$582,023	Transportation Element - Obj. 1.1
		Property Taxes - Transportation	\$5,740	\$58,929	\$0	\$0	\$0	\$64,669	
2	Railroad Crossing	Property Taxes - Transportation	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$250,000	Transportation Element - Obj. 1.1
3	Road Resurfacing	Local Option Gas Tax	\$550,000	\$450,000	\$450,000	\$450,000	\$450,000	\$2,350,000	Transportation Element - Obj. 1.1
4	Street Light Maintenance	Property Taxes - Transportation	\$40,000	\$30,000	\$0	\$65,000	\$65,000	\$200,000	Transportation Element - Obj. 1.1
5	Traffic Signal Maintenance	Property Taxes - Transportation	\$0	\$70,000	\$65,000	\$70,000	\$45,000	\$250,000	Transportation Element - Obj. 1.1
6	US 1 North Sidewalk	TPO Grant	\$55,530	\$166,590	\$1,110,600	\$0	\$0	\$1,332,720	Transportation Element - Obj. 1.1
		Property Taxes - Transportation	\$6,170	\$18,510	\$123,400	\$0	\$0	\$148,080	
7	A1A Mast Arm Installation	TPO	\$0	\$0	\$495,184	\$0	\$0	\$495,184	Transportation Element - Obj. 1.1
		Property Taxes - Transportation	\$0	\$0	\$55,021	\$0	\$0	\$55,021	
8	Tomoka State Park Sidewalk	TPO	\$0	\$0	\$859,990	\$0	\$0	\$859,990	Transportation Element - Obj. 1.1
		Property Taxes - Transportation	\$0	\$0	\$85,999	\$0	\$0	\$85,999	
Total			\$759,104	\$1,374,388	\$3,295,194	\$635,000	\$610,000	\$6,673,686	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Transportation Funding Schedule

Funding Source	FY 15-16	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 15-20
VTPO	\$55,530	\$166,590	\$2,465,774	\$	\$0	\$2,687,894
Property Taxes-- Transportation	\$101,910	\$227,439	\$379,420	\$185,000	\$160,000	\$1,053,769
Local Option Gas Tax	\$550,000	\$450,000	\$450,000	\$450,000	\$450,000	\$2,350,000
FDOT JPA	\$51,664	\$530,359	\$0	\$0	\$0	\$582,023
Total	\$759,104	\$1,374,388	\$3,295,194	\$635,000	\$610,000	\$6,673,686

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table D
Volusia County School District Five-Year Work Program
2015/16 – 2019/20**

Projection Description/Area	FY 15-2016	FY 16-2017	FY 17-2018	FY 18-2019	FY 19-2020
New Construction					
Pierson Elm – Replacement	\$1,000,000	\$15,000,000	————	\$1,000,000	————
Chisholm Elm – Replacement	————	\$1,000,000	\$15,000,000	\$1,000,000	————
George Marks Elm – Replacement	————	————	————	\$1,000,000	————
Tomoka Elm – Replacement	————	————	————	\$1,000,000	————
Deltona Middle – Replacement	————	————	\$2,000,000	————	\$30,000,000
Elementary Additional Capacity	————	————	\$4,000,000	————	\$3,000,000
Total New Construction	\$1,000,000	\$16,000,000	\$21,000,000	\$4,000,000	\$33,000,000
-					
Major Projects at Existing Schools & Facilities					
Portables – Lease	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000
Portables – Moves & Compliance	\$400,000	\$400,000	\$400,000	\$400,000	\$400,000
Various Schools – Highschool Athletics	\$500,000	\$1,000,000	\$1,500,000	\$1,500,000	\$1,500,000
Various Facilities – Infrastructure Technology	\$1,000,000	\$1,000,000	\$1,000,000	\$1,000,000	\$1,000,000
Various Schools – Security	\$250,000	\$1,000,000	\$2,000,000	\$2,000,000	\$2,000,000
Various Schools – Minor Projects	\$2,500,000	\$3,000,000	\$3,000,000	\$3,000,000	\$3,000,000
Atlantic HS – Renovations	————	————	\$10,000,000	————	————
New Smyrna Bch Mid – Renovations & Additions	————	————	————	————	\$10,000,000
Orange City Elm – Renovations & Additions	————	————	————	\$8,500,000	————
Pine Trail Elm – HVAC, Ceiling & Lighting	\$5,500,000	————	————	————	————
Spruce Creek HS – Renovations & Additions	————	————	————	\$15,000,000	————
Various Facilities – Facilities Review Projects	\$8,295,000	\$8,500,000	\$8,500,000	\$8,500,000	\$8,500,000
Total Major Prjs at Existing Schools & Facilities	\$18,545,000	\$15,000,000	\$26,500,000	\$40,000,000	\$26,500,000
-					
Facilities Management					
Facilities Management – Various Projects	\$1,600,000	\$18,000,000	\$2,000,000	\$2,000,000	\$2,000,000
-					
Technology					
Network EDP & Communication Equipment	\$6,300,000	\$6,000,000	\$9,000,000	\$9,000,000	\$9,000,000

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Projection Description/Area	FY 15-2016	FY 16-2017	FY 17-2018	FY 18-2019	FY 19-2020
System Wide Equipment & Vehicles					
Various Schools & Departments Furn. & Equip.	\$2,500,000	\$3,000,000	\$3,000,000	\$3,000,000	\$3,000,000
Buses					
Transportation Dept. - Bus Replacement	\$2,605,250	\$2,687,780	\$2,687,780	\$2,687,780	\$2,687,780
Project Totals	\$32,550,250	\$44,487,780	\$64,187,780	\$60,687,780	\$76,187,780
Transfers					
Transfers - To General Funds	\$9,007,250	\$7,007,250	\$5,007,250	\$3,007,250	\$1,007,250
Transfers - To Debt Service	\$49,706,140	\$29,107,764	\$22,236,584	\$22,239,984	\$22,237,594
Total Transfers	\$58,713,390	\$36,115,014	\$27,243,834	\$25,247,234	\$23,244,844
Totals	\$91,263,640	\$80,602,794	\$91,431,614	\$85,935,014	\$99,432,624

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table E
2025 Transit Fee Revenues and Expenses
November, 2015

Project Description	FY	Projected Total Cost
Revenue		
Transit Fee	2016-2025	\$175,000
Total Revenues		\$175,000
Multi-Modal Expenses		
SR 40 Corridor Frequency of service improvements from 1 hour headways to 30 minute headways (Operating)	2021-2025	\$65,000
US 1 Corridor Frequency of Service improvements from 1 hour headways to 30 minute headways (Operating)	2020-2024	\$80,000
A1A Corridor Frequency of service improvements from 1 hour headways to 15 minute headways (Operating)	2024-2025	\$30,000
Total Expenses		\$175,000

Note: Mobility Fee does not include those costs related to improvements that are to be paid for by other sources.

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table F
2025 Projected Non-Motorized Revenue and Expenditures
November, 2015**

	FY	Projected Total Cost
Revenue		
Non-Motorized Fee	2016-24	\$75,000
TIF	2016-2024	\$ 41,000
TPO Bike/Ped Funds	2016-2024	\$3,816,000
General Fund	2016-2014	\$ 100,000
Total Revenues		\$4,032,000
Non-Motorized Expenses		
Forest Hills Connector	2016	\$560,000
Tomoka State Park – Phase II	2019	\$ 1,046,000
US 1	2021	\$ 1,710,000
Thompson Creek	2023	\$ 666,000
Total Expenses		\$4,032,000

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table A
Leisure Services
Capital Improvements Schedule
November, 2016

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
Community Parks									
1	Ormond Beach Sports Complex Field 9/10 Lighting	Property Taxes - General CIP	\$450,000	\$0	\$0	\$0	\$0	\$450,000	Recreation Element - Obj. 1.4
2	Nova Community Park Renovations	Property Taxes - General CIP	\$0	\$37,500	\$0	\$0	\$0	\$37,500	Recreation Element - Obj. 1.4
		FRDAP	\$0	\$112,500	\$0	\$0	\$0	\$112,500	
3	Nova Community Park Master Plan Phase 1	Property Taxes - General CIP	\$0	\$0	\$0	\$0	\$500,000	\$500,000	Recreation Element - Obj. 1.4
4	OBSC Improvements	Property Taxes - General CIP	\$88,000	\$0	\$225,000	\$0	\$0	\$313,000	Recreation Element - Obj. 1.4
		ECHO Grant	\$0	\$0	\$400,000	\$0	\$0	\$400,000	
		General Fund Reserves	\$0	\$0	\$300,000	\$0	\$0	\$300,000	
		FRDAP	\$0	\$0	\$115,000	\$0	\$0	\$115,000	
5	Underground Electric Utilities	Property Taxes - General CIP	\$0	\$0	\$0	\$55,000	\$0	\$55,000	Recreation Element - Obj. 1.4
Total			\$538,000	\$150,000	\$1,040,000	\$55,000	\$500,000	\$2,283,000	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Leisure Services Funding Schedule

<u>Funding Source</u>	<u>FY 16-17</u>	<u>FY 17-18</u>	<u>FY 18-19</u>	<u>FY 19-20</u>	<u>FY 20-21</u>	<u>FY 16-21</u>
Property Taxes - General CIP	\$538,000	\$37,500	\$225,000	\$55,000	\$500,000	\$1,355,500
FRDAP	\$0	\$112,500	\$115,000	\$0	\$0	\$227,500
ECHO Grant	\$0	\$0	\$400,000	\$0	\$0	\$400,000
General Fund Reserves	\$0	\$0	\$300,000	\$0	\$0	\$300,000
<u>Total</u>	<u>\$538,000</u>	<u>\$150,000</u>	<u>\$1,040,000</u>	<u>\$55,000</u>	<u>\$500,000</u>	<u>\$2,283,000</u>

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table B
Utilities
Capital Improvements Schedule
November, 2016**

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
Stormwater Improvements									
1	Wilmette Avenue Pump Station	Stormwater Charges	\$171,600	\$0	\$0	\$0	\$0	\$171,600	Utilities Element - Objs. 1.1, 1.7, and 1.8
2	Sandpiper Lane Drainage Improvement	Stormwater Charges	\$50,600	\$0	\$0	\$0	\$0	\$50,600	Utilities Element - Objs. 1.1, 1.7, and 1.8
3	Fleming Avenue Storm drain Improvements	Stormwater Charges	\$220,000	\$0	\$0	\$0	\$0	\$220,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
4	Corrugated Metal Pipe Rehabilitation	Stormwater Charges	\$250,000	\$250,000	\$250,000	\$250,000	\$250,000	\$1,250,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
Waste Water System Expansion									
5	South Peninsula Reclaimed Water Main Expansion	Wastewater Impact Fees	\$938,000	\$0	\$0	\$0	\$0	\$938,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
		Bond Proceeds	\$1,200,000	\$0	\$0	\$0	\$0	\$1,200,000	
		SJRWMD Grant	\$1,200,000	\$0	\$0	\$0	\$0	\$1,200,000	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
Wastewater Systems Improvements									
6	WWTP Influent Pump Station VFD Replacement	Water and Sewer Charges	\$25,000	\$170,000	\$0	\$0	\$0	\$195,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
7	General Facility and System Upgrades	Water and Sewer Charges	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$1,000,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
8	Pretreatment Effluent Pump (PEP) Replacement	Water and Sewer Charges	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000	\$500,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
9	Sanitary Sewer Inflow Infiltration	Water and Sewer Charges	\$0	\$0	\$0	\$100,000	\$0	\$100,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
10	Outfall Pipe Replacement	Bond Proceeds	\$720,000	\$0	\$0	\$0	\$0	\$720,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
11	Lift Station Rehabilitation	Bond Proceeds	\$400,000	\$400,000	\$600,000	\$0	\$0	\$1,400,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
		Water and Sewer Charges	\$0	\$0	\$0	\$400,000	\$0	\$400,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
12	MLS Comminutor	Water and Sewer Charges	\$30,000	\$0	\$0	\$0	\$0	\$30,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
13	WTTP Sludge Dewatering Improvements	Bond Proceeds	\$195,000	\$1,560,000	\$0	\$0	\$0	\$1,755,000	Utilities Element - Objs. 1.1, 1.7, and 1.8

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan	
Water System Expansion			-						-	
14	Secondary Raw Water	Water Impact Fees	\$300,000	\$2,400,000	\$0	\$0	\$0	\$2,700,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	
Water System Improvements			-						-	
15	WTP Lime Slaker Unit Replacement	Water and Sewer Charges	\$35,000	\$350,000	\$0	\$0	\$0	\$385,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	
16	WTP Sodium Hypochlorite Generator Replacement	Water and Sewer Charges	\$18,000	\$180,000	\$0	\$0	\$0	\$198,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	
17	Water Storage Tank Repairs	Bond Proceeds	\$690,000	\$0	\$0	\$0	\$0	\$690,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	
		Water and Sewer Charges	\$0	\$110,000	\$400,000	\$136,000	\$200,000	\$846,000		
18	Meter Installation	Water and Sewer Charges	\$90,000	\$90,000	\$90,000	\$90,000	\$90,000	\$450,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	
19	Water Main Replacement	Bond Proceeds	\$1,575,000	\$180,000	\$1,200,000	\$0	\$0	\$2,955,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	
20	N. Peninsula Water System Improvements	Bond Proceeds	\$562,000	\$0	\$0	\$0	\$0	\$562,000	Utilities Element - Objs. 1.1, 1.7, and 1.8	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
<u>21</u>	Process and Instrumentation Control Improvements	Bond Proceeds	\$300,000	\$200,000	\$0	\$0	\$0	\$500,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
<u>22</u>	City-wide Meter Replacement	Water and Sewer Charges	\$543,000	\$243,000	\$247,000	\$256,000	\$250,000	\$1,539,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
<u>23</u>	WTP Solids Handling Facility Upgrades	Bond Proceeds	\$1,200,000	\$0	\$0	\$0	\$0	\$1,200,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
<u>24</u>	Hydrant Replacement	Water and Sewer Charges	\$161,000	\$0	\$0	\$0	\$0	\$161,000	Utilities Element - Objs. 1.1, 1.7, and 1.8
Community Redevelopment			-	-	-	-	-	-	-
<u>25</u>	Downtown: Cassen Park Public Dock	FBIG	\$400,000	\$0	\$0	\$0	\$0	\$400,000	Future Land Use Element - Obj. 7.2
		FIND	\$372,100	\$0	\$0	\$0	\$0	\$372,100	
<u>26</u>	Downtown: Cassen Park Improvements	Property Taxes - TIF	\$225,000	\$325,000	\$0	\$0	\$0	\$550,000	Future Land Use Element - Obj. 7.2
<u>27</u>	Downtown: Rockefeller Garden Stage Shade Cover	Property Taxes - TIF	\$49,000	\$0	\$0	\$0	\$0	\$49,000	Future Land Use Element - Obj. 7.2
<u>28</u>	Downtown: Stormwater Improvements	Property Taxes - TIF	\$50,000	\$550,000	\$100,000	\$500,000	\$400,000	\$1,600,000	Future Land Use Element - Obj. 7.2

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
Community Redevelopment			-	-	-	-	-	-	-
<u>29</u>	<u>Downtown: Sidewalk Renovations</u>	<u>Property Taxes - TIF</u>	<u>\$0</u>	<u>\$0</u>	<u>\$350,000</u>	<u>\$0</u>	<u>\$0</u>	<u>\$350,000</u>	<u>Future Land Use Element - Obj. 7.2</u>
<u>30</u>	<u>Downtown: Upgrades and Improvements</u>	<u>Property Taxes - TIF</u>	<u>\$65,000</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$65,000</u>	<u>Future Land Use Element - Obj. 7.2</u>
		Total	\$12,335,300	\$7,308,000	\$3,537,000	\$2,032,000	\$1,490,000	\$26,702,300	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Utilities Funding Schedule

Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21
Bond Proceeds	\$6,842,000	\$2,340,000	\$1,800,000	\$0	\$0	\$10,982,000
Stormwater Charges	\$692,200	\$250,000	\$250,000	\$250,000	\$250,000	\$1,692,200
Wastewater Impact Fees	\$938,000	\$0	\$0	\$0	\$0	\$938,000
Water and Sewer Charges	\$1,202,000	\$1,443,000	\$1,037,000	\$1,282,000	\$840,000	\$5,804,000
Water Impact Fees	\$300,000	\$2,400,000	\$0	\$0	\$0	\$2,700,000
Property Taxes - TIF	\$389,000	\$875,000	\$450,000	\$500,000	\$400,000	\$2,614,000
SJRWMD Grant	\$1,200,000	\$0	\$0	\$0	\$0	\$1,200,000
FIND	\$372,100	\$0	\$0	\$0	\$0	\$372,100
FBIG	\$400,000	\$0	\$0	\$0	\$0	\$400,000
Total	\$12,335,300	\$7,308,000	\$3,537,000	\$2,032,000	\$1,490,000	\$26,702,300

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table C
Transportation
Capital Improvements Schedule
November, 2016

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
1	<u>Amsden Road Rehabilitation</u>	<u>Property Taxes - Transportation</u>	\$223,000	\$0	\$0	\$0	\$0	\$223,000	Transportation Element - Obj. 1.1
2	<u>Forest Hill Trail</u>	<u>FDOT JPA</u>	\$530,359	\$0	\$0	\$0	\$0	\$530,359	Transportation Element - Obj. 1.1
		<u>Property Taxes - Transportation</u>	\$58,929	\$0	\$0	\$0	\$0	\$58,929	
3	<u>Railroad Crossing</u>	<u>Property Taxes - Transportation</u>	\$50,000	\$50,000	\$50,000	\$50,000	\$0	\$200,000	Transportation Element - Obj. 1.1
4	<u>Road Resurfacing</u>	<u>Local Option Gas Tax</u>	\$500,000	\$460,000	\$470,000	\$453,000	\$450,000	\$2,333,000	Transportation Element - Obj. 1.1
5	<u>Street Light Maintenance</u>	<u>Property Taxes - Transportation</u>	\$40,000	\$30,000	\$65,000	\$65,000	\$0	\$200,000	Transportation Element - Obj. 1.1
6	<u>US 1 North Sidewalk</u>	<u>TPO Grant</u>	\$55,530	\$166,590	\$1,110,600	\$0	\$0	\$1,332,720	Transportation Element - Obj. 1.1
		<u>Property Taxes - Transportation</u>	\$6,170	\$18,510	\$123,400	\$0	\$0	\$148,080	
7	<u>Traffic Signal Maintenance</u>	<u>Property Taxes - Transportation</u>	\$0	\$70,000	\$65,000	\$70,000	\$45,000	\$250,000	Transportation Element - Obj. 1.1
8	<u>Tomoka Elementary Connector Sidewalk</u>	<u>TPO Grant</u>	\$0	\$118,800	\$0	\$0	\$0	\$118,000	Transportation Element - Obj. 1.1

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	Project Description/Area	Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21	Relationship to Comprehensive Plan
9	Williamson Blvd./Hand Ave. Pedestrian Improvements	Property Taxes - Transportation	\$26,400	\$0	\$0	\$0	\$0	\$26,400	Transportation Element - Obj. 1.1
		TPO Grant	\$0	\$0	\$0	\$193,600	\$0	\$193,600	
10	A1A Mast Arm Installation	TPO	\$0	\$495,184	\$0	\$0	\$0	\$495,184	Transportation Element - Obj. 1.1
		Property Taxes - Transportation	\$50,000	\$5,021	\$0	\$0	\$0	\$55,021	
11	Tomoka State Park Sidewalk	TPO	\$0	\$859,990	\$0	\$0	\$0	\$859,990	Transportation Element - Obj. 1.1
		Property Taxes - Transportation	\$0	\$85,999	\$0	\$0	\$0	\$85,999	
		Total	\$1,540,388	\$2,360,094	\$1,884,000	\$831,600	\$495,000	\$7,111,082	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Transportation Funding Schedule

Funding Source	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 16-21
<u>VTPO</u>	<u>\$55,530</u>	<u>\$1,640,564</u>	<u>\$1,110,600</u>	<u>\$193,600</u>	<u>\$0</u>	<u>\$2,999,694</u>
<u>Property Taxes - Transportation</u>	<u>\$454,499</u>	<u>\$259,530</u>	<u>\$303,400</u>	<u>\$185,000</u>	<u>\$45,000</u>	<u>\$1,247,429</u>
<u>Local Option Gas Tax</u>	<u>\$500,000</u>	<u>\$460,000</u>	<u>\$470,000</u>	<u>\$453,000</u>	<u>\$450,000</u>	<u>\$2,333,000</u>
<u>FDOT JPA</u>	<u>\$530,359</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$0</u>	<u>\$530,359</u>
Total	<u>\$1,540,388</u>	<u>\$2,360,094</u>	<u>\$1,884,000</u>	<u>\$831,600</u>	<u>\$495,000</u>	<u>\$7,111,082</u>

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table D
Volusia County School District Five-Year Work Program
2016/17 - 2020/21**

Projection Description/Area	FY 16-2017	FY 17-2018	FY 18-2019	FY 19-2020	FY 20-2021
<u>New Construction</u>					
Bonner Elm – Master Plan	\$1,000,000	-	\$10,000,000	\$1,000,000	
Chisholm Elm – Replacement	\$2,000,000	\$13,000,000	\$2,000,000	-	-
Deltona Middle – Replacement	-	\$2,000,000	\$48,000,000	-	\$3,000,000
George Marks Elm - Replacement	-	-	\$2,000,000	\$15,000,000	\$2,000,000
George Marks Elm – Additional Capacity	-	-	-	\$10,000,000	\$500,000
Pierson Elm - Replacement	\$18,000,000	\$2,000,000	-	-	-
Pierson Elm – Replacement Off Site Infrastructure	\$2,000,000	-	-	-	-
Read Pattillo Elm - Replacement	-	-	-	\$2,000,000	\$13,000,000
Read Pattillo Elm – Additional Capacity	-	-	-	-	\$6,000,000
Tomoka Elm - Replacement	-	-	\$2,000,000	\$18,000,000	\$2,500,000
<u>Total New Construction</u>	<u>\$23,000,000</u>	<u>\$17,000,000</u>	<u>\$64,000,000</u>	<u>\$46,000,000</u>	<u>\$27,000,000</u>
<u>Major Projects at Existing Schools & Facilities</u>					
Atlantic HS – HVAC Renovation Bldg 5	\$1,450,000	-	-	-	-
Brewster Center – Phase II Renovations, Interior	-	\$2,000,000	-	-	-
Central Admin – Main Bldg Window Replacement	-	\$2,000,000	-	-	-
Creekside Mid – Central Energy Plant 2 Bldgs	\$1,350,000	-	-	-	-
Deltona HS – ADA Accessibility	-	-	-	\$2,000,000	-
Detona Trans/Maint. Pavement Improvements	-	-	\$4,000,000	-	-
Enterprise Elm – Renovations	-	-	-	\$1,000,000	\$5,000,000
Galaxy Mid – Campus Wide HVAC/Ceiling/Lighting	\$7,200,000	-	-	-	-
Galaxy Mid – Reroof Campus	\$150,000	\$1,600,000	-	-	-
Heritage Mid – HVAC	\$1,500,000	\$1,500,000	\$1,500,000	\$1,500,000	\$1,500,000
New Smyrna Beach Mid – Renovations & Additions	-	-	-	-	\$3,000,000
Orange City Elm – Renovations & Additions	-	-	\$12,000,000	\$1,500,000	-
Ortona Elm – Renovations & Additions	-	\$1,500,000	-	\$1,000,000	\$4,000,000
Osceola Elm – Renovations	-	-	\$1,500,000	\$10,000,000	\$1,500,000
Pathways Elm – Campus Roof	\$100,000	\$1,100,000	-	-	-
Pine Ridge HS – Upgrade HVAC Bldg 5	\$1,140,000	-	-	-	-

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Projection Description/Area	FY 16-2017	FY 17-2018	FY 18-2019	FY 19-2020	FY 20-2021
Portables - Lease	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000
Portables – Moves & Compliance	\$400,000	\$400,000	\$400,000	\$400,000	\$400,000
Spruce Creek HS – Campus Wide HVAC/Electrical	-	\$1,500,000	\$1,500,000	-	-
Starke Elm – Renovations	-	-	-	\$500,000	\$3,000,000
Various Facilities – Facilities Review Projects	\$7,750,000	\$9,000,000	\$9,000,000	\$9,000,000	\$9,000,000
Various Facilities – High School Athletics	\$1,500,000	\$1,500,000	\$15,000,000	\$1,500,000	\$1,500,000
Various Facilities – Infrastructure for Technology	\$1,000,000	\$1,000,000	\$1,000,000	\$1,000,000	\$1,000,000
Various Schools – Media Center Retrofits	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000
Various Schools – Minor Projects	\$3,000,000	\$3,000,000	\$3,000,000	\$3,000,000	\$3,000,000
Various Schools – Security	\$1,000,000	\$2,000,000	\$2,000,000	\$2,000,000	\$2,000,000
Various Schools – Deltona – Reclaimed Water	\$200,000	\$200,000	\$200,000	-	-
West Side Elm – Renovations & Addition	\$1,000,000	\$5,000,000	-	\$500,000	-
Woodward Elm – Renovations & Addition	-	-	-	\$1,000,000	\$5,000,000
Total Major Prjs at Existing Schools & Facilities	\$29,340,000	\$33,900,000	\$51,700,000	\$36,500,000	\$40,500,000
Facilities Management					
Facilities Management - Various Projects	\$2,000,000	\$2,000,000	\$2,000,000	\$2,000,000	\$2,000,000
Technology					
Network EDP & Communication Equipment	\$9,500,000	\$9,000,000	\$9,000,000	\$9,000,000	\$9,000,000
New District Financial & Student Software Systems	\$10,000,000	-	-	-	-
Total Technology	\$19,500,000	\$9,000,000	\$9,000,000	\$9,000,000	\$9,000,000
System Wide Equipment & Vehicles					
Various Schools & Departments Furn. & Equip.	\$3,000,000	\$3,000,000	\$3,000,000	\$3,000,000	\$3,000,000
Buses					
Transportation Dept. - Bus Replacement	\$2,687,780	\$2,687,780	\$2,687,780	\$2,687,780	\$2,687,780
Project Totals	\$79,527,780	\$67,587,780	\$132,387,780	\$99,187,780	\$84,187,780

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Projection Description/Area	FY 16-2017	FY 17-2018	FY 18-2019	FY 19-2020	FY 20-2021
Transfers - To General Funds	\$6,752,652	\$4,982,268	\$2,982,268	\$982,268	\$582,268
Transfers - To Debt Service	\$32,184,980	\$24,913,800	\$34,759,400	\$34,758,500	\$34,756,450
Total Transfers	\$38,937,632	\$29,896,068	\$37,741,668	\$35,740,768	\$35,338,718
Totals	\$118,465,412	\$97,483,848	\$170,129,448	\$134,928,548	\$119,526,498

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table E
2025 Transit Fee Revenues and Expenses
November, 2016

<u>Project Description</u>	<u>FY</u>	<u>Projected Total Cost</u>
<u>Revenue</u>		
<u>Transit Fee</u>	<u>2016-2025</u>	<u>\$175,000</u>
<u>Total Revenues</u>		<u>\$175,000</u>
<u>Multi-Modal Expenses</u>		
<u>SR 40 Corridor Frequency of service improvements from 1 hour headways to 30 minute headways (Operating)</u>	<u>2021-2025</u>	<u>\$65,000</u>
<u>US 1 Corridor Frequency of Service improvements from 1 hour headways to 30 minute headways (Operating)</u>	<u>2020-2024</u>	<u>\$80,000</u>
<u>A1A Corridor Frequency of service improvements from 1 hour headways to 15 minute headways (Operating)</u>	<u>2024-2025</u>	<u>\$30,000</u>
<u>Total Expenses</u>		<u>\$175,000</u>

Note: Mobility Fee does not include those costs related to improvements that are to be paid for by other sources.

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Table F
2025 Projected Non-Motorized Revenue and Expenditures
November, 2016

	<u>FY</u>	<u>Projected Total Cost</u>
<u>Revenue</u>		
<u>Non-Motorized Fee</u>	<u>2016-24</u>	\$75,000
<u>TIF</u>	<u>2016-2024</u>	\$ 41,000
<u>TPO Bike/Ped Funds</u>	<u>2016-2024</u>	\$3,816,000
<u>General Fund</u>	<u>2016-2014</u>	\$ 100,000
<u>Total Revenues</u>		<u>\$4,032,000</u>
<u>Non-Motorized Expenses</u>		
<u>Forest Hills Connector</u>	<u>2016</u>	\$560,000
<u>Tomoka State Park – Phase II</u>	<u>2019</u>	\$ 1,046,000
<u>US 1</u>	<u>2021</u>	\$ 1,710,000
<u>Thompson Creek</u>	<u>2023</u>	\$ 666,000
<u>Total Expenses</u>		<u>\$4,032,000</u>

CITY OF ORMOND BEACH

FLORIDA

PLANNING

M E M O R A N D U M

TO: Planning Board members

FROM: Steven Spraker, AICP, Senior Planner

DATE: December 1, 2016

SUBJECT: Development projects

Attached to this memorandum is the monthly development report. Listed below is an itemized summary of significant development project events:

Site Plan Review Committee (SPRC) Review:

1. **Pet Street Veterinary Care Center, 240 South Nova Road.**
 - First SPRC submittal.
 - Project proposes a 5,263 square foot building for a veterinarian clinic and associated site improvements.
 - Project will need to move an existing sewer/utility easement and re-locate the sewer line on-site. The easement vacation and dedicate shall require City Commission review.
2. **RaceTrac, 1670 West Granada Boulevard.**
 - First SPRC submittal.
 - Project proposes site modifications to add outdoor seating. There is no change to the number of gas pumps or size of the existing store.
3. **Ormond Gateway, 1670 North U.S. Highway 1.**
 - First site plan submittal.
 - Project is 17.4 acres and is seeking a rezoning to Planned Business Development to allow a mixture of retail, convenience store with gas pumps, and restaurants.
4. **Ormond Central, 1 South Old Kings Road.**
 - Second site plan submittal.
 - Project proposes a rezoning to Planned Business Development for a proposed 4 unit, 8.72 acre commercial development. The project proposes site improvements to develop 4 pad ready sites. The second submittal shows a proposed traffic light along Granada Boulevard.
 - A neighborhood meeting is required and has a date has not been determined yet for this meeting.

City of Ormond Beach Commercial Development Report December 1, 2016

Applications, site plans, and public hearing documents may be viewed at the Planning Department website:

<http://fl-ormondbeach.civicplus.com/index.aspx?NID=247>

Change in project status

Project nearing completion

#	Project	Description	Application Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commission	Final Approval	DO Expiration	LDC Extension Expiration	Building Permit Info	Building Permit Value	Eng. Permit	Eng. Permit Constr. Value	Under Construction	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
1	146 NORTH ORCHARD STREET 146 North Orchard Street SPRC #14-015	56 space RV & Boat self storage facility with associated parking and infrastructure	11.07.13	11.26.13	01.14.13	06.09.15			NA	NA	07.01.15	Under Constr.				Issued 07.06.15	\$194,733.42	95%		E = Alann Engineering Group O = Pat Baylor/Clinton Baylor
2	550 WEST GRANADA BOULEVARD (BELLA MARIE) 550 West Granada Boulevard SPRC# 2015-028	Modification of approved plan set to construct a retail/office building and 30 residential units.	11.18.14	12.02.14	01.13.15	02.10.15			Neighborhood meeting (2.18.15)	NA	04.13.15	04.13.17		Note: Site incorporated into Granada Pointe project.						E = Daniel Johns, P.E. O = Granada Management, LLC ARC = Ben Butera
3	783 N US HWY 1, CAMPANA 783 N US HWY 1 SPRC 2016-010	Construction of a 1,216 SF building for kayak rental & repair and associated site improvements	11.06.15	11.20.15	02.03.16	03.11.16	05.20.16				05.24.16	Under Constr.			\$80,000	Issued 05.27.2016	\$35,000	15%		E = Alann Engineering Group ARC/E: W.A. Cross O = Steven Campana
4	ANTARES OF ORMOND BEACH 720 West Granada Boulevard SPRC# 2016-012	123 unit Assisted Living Facility and associated site improvements	11.11.15	11.25.15	02.24.16	03.18.16	04.19.16		Neighborhood meeting (12.09.15)		04.12.16	04.12.18		In review	\$14,000,000	Not applied				E = Alann Engineering Group ARC = Lawson Group Architects, Inc. O = Antares of Ormond Beach, LLC
5	CENTER STREET PARTIAL ROW VACATION SPRC# 2016-014 Center Street, south of Sterthaus Drive	Partial ROW vacation associated with the YMCA parking project	11.25.15	12.10.15	05.15.16				Required											A = YMCA E = Zev Cohen & Associates
6	CONCENTRATED ALOE 20 West Tower Circle #SPRC 2015-120	Construct a 37,800 SF manufacturing/office building and associate site improvements on vacant land	08.26.15	09.15.16	10.09.15						10.19.15	10.19.17		Not applied		Not applied				O = Timothy Meadows E = Finley Engineering ARC = Stan Hoelle
7	CUNNINGHAM RESEARCH 3 Signal Avenue SPRC#16-081	Warehouse addition of 2,651 SF	05.26.16	06.09.16	07.26.16						07.26.16			Approved	\$75,000	08.11.16	\$8,000	30%		E = Alann Engineering Group O = Cunningham Family LTD Partnership
8	GRANADA POINTE 600 West Granada Boulevard SPRC#2016-017	Proposed 4 unit, 19.5 acre commercial development on south side of Granada Blvd with associated improvements and 3 acre parcel on north side of Granada Blvd and 10 acre preservation area.	12.08.15	12.23.15	04.05.16	06.09.16	08.07.16													O = Granada Pointe, LLC Eng = Newkirk Engineering, Inc.
9	HULLS SEAFOOD DECK 111 West Granada Boulevard SPRC#2016-15	Construct 2,557 SF covered wood deck for dining and 700 SF bathroom	12.08.15	12.23.15	02.08.16	02.29.16	03.28.16				03.30.16	03.30.18		Not applied		Not applied				O = Hull's Seafood Eng = Mark Dowst & Associates ARC = Richard Brookfield
10	MCDONALD'S 1530 North US 1 SPRC#2016-040	Update existing drive thru and site ADA upgrades	02.10.16	02.29.16	04.20.16						04.22.16	04.22.18		Issued 05.23.16	\$315,000	Issued 05.18.16	\$31,834.83	75%		E = CPH Inc. O = McDonald's USA LLC ARC = CPH Inc.
11	MCDONALD'S 105 Interchange Boulevard SPRC# 2016-066	Update existing drive thru and site ADA upgrades	04.19.16	05.03.16							06.13.16	06.13.18		Issued 08.26.16	\$305,000	Issued 08.10.16	\$35,780.00	75%		E = CPH Inc. O = McDonald's USA LLC ARC = CPH Inc.
12	MCDONALD'S 100 South Nova Road SPRC# 2016-065	Update existing drive thru and site ADA upgrades	07.01.16	07.19.16	09.12.16						09.27.16			Not applied		Not applied				E = CPH Inc. O = McDonald's USA LLC ARC = CPH Inc.

* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

Change in project status

Project nearing completion

#	Project	Description	Application Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commission	Final Approval	DO Expiration	LDC Extension Expiration	Building Permit Info	Building Permit Value	Eng. Permit	Eng. Permit Constr. Value	Under Construction	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
13	McNAMARA WAREHOUSE 480 Andalusia Drive SPRC# 2011-13	4,580 square foot warehouse and associated site improvements	12.22.10	01.05.11					NA	NA	03.06.14	03.06.16		Approved 02.24.16	\$256,938	Approved 02.24.16	included in building permit	10%		E = Parker Mynchenberg & Assoc O = McNamara Construction, LLC ARC = Stan Hoelle
14	MOSS POINT, ENTRY WALL Moss Point subdivision SPRC#2015-072	Install subdivision entry wall, add brick façade to existing wall, and landscaping	03.10.15	03.24.15							04.21.15	Under Constr.		Issued 10.07.15	\$104,000					E = Parker Mynchenberg & Assoc O = Moss Point HOA
15	ORMOND CENTRAL 1 South Old Kings Road SPRC#2015-072	Proposed 4 unit, 8.72 acre commercial development. Project proposes site improvements to develop 4 pad ready sites.	04.01.16	04.26.16	11.16.16															O = Ormond Central Investors, LLC Eng = Newkirk Engineering, Inc.
16	ORMOND GATEWAY PBD 1670 North US 1 SPRC#2017-017	Phased development of 17.45± acres for retail, convenience store with fuel sales, and restaurants	11.29.16	12.13.16																O = Tobali, LLC E = Anderson-Dixon LLC ARC = Ratliff Architecture
17	PET STREET VETERINARY CARE CENTER 240 South Nova Road SPRC#2017-014	Proposed 5,263 square foot building for a veterinarian clinic and associated site improvements	11.11.16	11.29.16																O = Tobali, LLC E = Anderson-Dixon LLC ARC = Ratliff Architecture
18	RACETRAC #332, ADDITION 1670 West Granada Boulevard SPRC#2017-012	Building and site modifications	11.07.16	11.21.16																E = Tannath Design, Inc. O = RaceTrac Petroleum, Inc.
19	REALTY PROS 900 West Granada Boulevard SPRC #2016-091	Construct a 11,400 square foot office/retail building and associated site improvements on a 1.68 acre parcel.	07.20.16	08.03.16	09.12.16				Neighborhood meeting 08.15.16		10.03.16			In review	\$850,000	Issued 10.05.16	\$456,336	15%		E = Newkirk Engineering O = RPA Vestments, LLC ARC = BPF Design Inc.
20	RIVERBEND CHURCH EXPANSION 2080 West Granada Boulevard SPRC# 09-25000008	Site improvements and utility connect in association with expansion in Daytona Beach	09.08.09	09.22.09	01.18.11				NA	NA	07.13.11	Under Constr.			\$515,034	Issued 11.09.11		35%		E = Mark Dowst & Associates O = Riverbend Church
21	SPECIALITY SURGERY CENTER OF FL 1545 Hand Avenue SPRC# 2016-026	Conversion of building to a Surgery Center with clinic including certain site improvements.	01.15.16	02.02.16	02.18.16	06.09.16					06.22.16	06.22.18		Approved	\$2,410,000	Not Applied				E = Jerry Finley, P.E. O = PRC Associates, LLC ARC = Gordon & Associates Architect, LLC
22	S.R PERROTT OFFICE ADDITION 1280 N. US Highway 1 SPRC#2016-041	Construct a 22,000 SF office building and associated site improvements	02.10.16	02.24.16	03.16.16						03.22.16	Under Constr.		Issued 03.30.16	\$3,545,293	Issued 03.30.16	\$160,000	98%		E = Parker Mynchenberg & Assoc O = S.R. Perrott, Inc.
23	TOMOKA AVE, PARTIAL ROW VACATION SPRC#2016-18 Tomoka Avenue & W. Granada Boulevard	Partial ROW vacation associated with the Granada Pointe project	12.08.15	12.23.15	03.31.16	05.15.16	06.09.16			Required										A = Granada Pointe, LLC Eng = Newkirk Engineering, Inc.
24	VALIANT DINER EXPANSION, PH 2 15 W. Tower Circle SPRC# 2016-118	Construct a second building of 20,000 SF and associated site improvements	09.27.16	10.11.16																E = Zev Cohen & Associates O = Valiant Diners Company
25	WINDOW WORLD 1142 North US Highway 1 SPRC#15-092	Construction of 2,975 SF office, showroom, and warehouse and associated site improvements.	05.19.15	06.02.15	08.31.15						01.04.16	01.04.18		In review	\$500,000	Not applied				E = Kirby Engineering, LLC O = Tillman Volusia Holdings, LLC ARC: A.L. Designs
26	YMCA DOG PARK 500 Sterthaus Drive SPRC #2106-088	Construct a public dog park on land owned by the YMCA with associated parking and site improvements	06.03.16	06.17.16																E = Zev Cohen & Associates O = Volusia/Flagler YMCA
27	YMCA PARKING EXPANSION 500 Sterthaus Drive SPRC#2015-011	Parking Lot Expansion	11.04.14	11.18.14	02.24.15															E = Zev Cohen & Associates O = Volusia/Flagler YMCA
28	ZAXBY'S 1287 West Granada Boulevard SPRC# 2014-102	Development of vacant land into a 3,847 square foot, 90 seat drive thru restaurant.	06.24.14	07.08.14	08.27.14				NA	NA	09.16.14	09.16.16	09.16.17	Not applied		Not applied				E = Newkirk Engineering APP = Demerburn, LLC ARC = HFR

* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

Applications, site plans, and public hearing documents may be viewed at the Planning Department website:

<http://fl-ormondbeach.civicplus.com/index.aspx?NID=247>

Change in project status

Project nearing completion

#	Project	Description	Application Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commission	Final Approval	DO Expiration	LDC Extension Expiration	Building Permit Info	Building Permit Value	Eng. Permit	Eng. Permit Constr. Value	Under Construction	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
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Ormond Beach is Utility Provider Only

29	1190 OCEAN SHORE BLVD 1190 Ocean Shore Blvd. SPRC# 2016-096	Sewer connection for existing building	07.26.16	08.09.16							09.26.16					Not applied				E = Anderson-Dixon LLC O = Afshari 1190, LLC
30	1368 OCEAN SHORE BLVD 1368 Ocean Shore Blvd. SPRC# 2015-121	Sewer connection for existing building	08.28.15	09.08.15							02.12.16					Issued 04.13.16	\$29,770	100%		E = Finley Engineering Group O = 1368 Oceanshore Blvd. LLC
31	5500 OCEAN SHORE BOULEVARD 5500 Ocean Shore Boulevard SPRC #2015-097	Water connection for existing building	06.17.14	07.01.14	02.02.15	03.06.15					03.25.16									E = Alann Engineering Group O = Kingston Shores Condo
32	HUNTINGTON GREEN SPRC #2015-117 Flagler County	Provision of utilities to a Flagler County subdivision	07.03.15	07.17.15	09.03.15	12.09.15	02.08.16				02.12.16									E = Zev Cohen & Associates O = BADC Huntington Communities, LLC
33	HUNTINGTON VILLAS, PH 1A SPRC# 2015-070 Flagler County	Provision of utilities to a Flagler County subdivision	03.10.15	03.24.15	05.05.15	06.01.15	08.06.15				08.26.15	Under Constr.				Issued	\$537,833	96%		E = Zev Cohen & Associates O = BADC Huntington Communities, LLC
33	PLANTATION OAKS SPRC# 2016-001 I-95 and North US1	Water connection for phase of subdivision development	10.22.15	11.12.15	08.26.16	11.15.16														E = Parker Mynchenberg & Associates O = Plantation Oaks of Ormond Beach, L.C.

* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

City of Ormond Beach Residential Development Report - December 1, 2016

#	Project	Description	Appli- cation Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commis- sion	Final Approval	DO Expiration	LDC Extension Expiration	2009 SB Expiration	SB 2156 Expiration	HB 7207 Expiration	Improvement Value	Eng. Permit	Under Construc- tion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
A	CHELSEA PLACE, PHASE 3 Chelsea place subdivision SPRC #2016-034	65 single family lots	02.02.16	02.16.16	04.05.16						04.11.16						\$1,097,100	04.21.16	88%		E = Parker Mynchenberg & Associates O = CP & SP Residential Land, LLC
B	GRANDE CHAMPION CYPRESS TRAILS PRD ZONING 355 Clyde Morris Boulevard SPRC# 2016-048	48 single family lots on 28.65 acres	02.29.16	03.14.16	06.09.16	07.07.16	08.03.16		Approved 08.11.16	Approved 09.20.16 &10.04.16	10.04.16 (CC)										E = Matthews Deign Group O = Indigo Development, LLC Purchaser = Grande Champion Partners, LLC
C	ORMOND RENAISSANCE CONDOMINIUM 875 Sterthaus Drive 2014-061	286 multi-family unit	06.17.14	07.01.14	11.05.14	02.04.15			03.12.15	04.21.15 & 05.05.15	04.01.16						\$2,232,081	Approved 08.05.16	8%		E = Parker Mynchenberg & Associates O = Ormond King Center, LLC ARC = David Howard
D	PINELAND East of I-95, north of Airport Road 08-23000002	Preliminary Plat of 192 Single-Family Lots	11.04.08	11.18.08	02.17.09	02.20.16	04.08.16	05.23.16	PB Approved (4-2)	Approved Ord 08-44		Amended									E = Zahn Engineering O = Funcoast Developers
D	PINELAND, PHASE 1 East of I-95, north of Airport Road SPRC #2015-084	Construction of 44 single- family lots	02.04.16	02.23.16	04.21.16	05.24.16				07.20.16	08.15.16	08.15.18									E = Zahn Engineering
D	PINELAND, PRD AMENDMENT East of I-95, north of Airport Road SPRC #2016-086	Amendment to Ordinance 08-44	06.08.16	06.22.16					PB Approved	Approved 09.06.16 & 09.20.16	09.20.16 (CC)	10.21.21									E = Zahn Engineering
E	STONECREEK PRD ZONING 2425 West Granada Boulevard SPRC#2016-115	22 single family lots on 18.63 acres	09.02.16	09.19.16																	E = Matthews Deign Group O = Indigo Development, LLC Purchaser = Grande Champion Partners, LLC

* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).