



# AGENDA

## ORMOND BEACH BOARD OF ADJUSTMENT AND APPEALS

August 3, 2016

### **ORMOND BEACH TRAINING ROOM**

7:00 P.M.

**I. ROLL CALL**

**II. APPROVAL OF THE MINUTES**

A. June 1, 2016

**III. NEW BUSINESS**

**A. Case 2016-095: 202 Summerhaze Court, side yard variance**

This is a request for a side yard variance submitted by Charlotte Dodson, personal representative of the estate of Carmine DeSantolo (applicant), property owner of 202 Summerhaze Court. The applicant seeks to replace a screen enclosure with a hard roof that encroaches into the required side yard setback. The property at 202 Summerhaze Court is zoned R-4 and Section 2-17(B)(9)(d) Ormond Beach Land Development Code requires a 20' side yard setback. The variance seeks to allow an 8' by 10' screen room with a side yard setback of 15.3', requiring a variance of 4.7' to the required 20' side yard setback.

**IV. OTHER BUSINESS**

**V. ADJOURNMENT**

**MINUTES**  
**BOARD OF ADJUSTMENT**

**June 1, 2016**

**7:00 p.m.**

**Commission Chambers**  
22 South Beach Street  
Ormond Beach, Florida

**I. ROLL CALL**

Members Present

Staff Present

Ryck Hundredmark  
Jean Jenner  
Norman Lane  
Tony Perricelli  
Dennis McNamara, Chairman

Steven Spraker, Senior Planner  
Ann-Margret Emery, Deputy City Attorney  
Melanie Nagel, Minutes Technician

**II. APPROVAL OF THE MINUTES**

**A. April 6, 2016 Minutes**

**Mr. Jenner moved to approve the April 6, 2016 Minutes as submitted. Mr. Hundredmark seconded the motion. Vote was called, and the motion was approved, with Mr. Perricelli abstaining.**

**III. NEW BUSINESS**

**A. Case No. 2016-067: 670 Hand Avenue, Deck Variance**

Mr. Steven Spraker, Senior Planner, City of Ormond Beach stated this is a request for a variance at 670 Hand Avenue for a deck. Mr. Spraker explained that a pool had been installed in 2013, and the applicant thought the deck was part of the pool permit. There was a Code Enforcement case for two violations, an accessory building that was too close to the side and rear property lines, and the deck that was not permitted. Mr. Spraker showed the location of the deck and stated that it meets the rear setbacks, but not the side yard setbacks. The applicant would need a 5' variance to the 5' setback, for a 0' final setback. Mr. Spraker detailed the location, orientation, and characteristics of the subject property and presented the staff report. Mr. Spraker stated staff is recommending approval.

Mary Eisenhauer, property owner at 670 Hand Avenue, stated that there is a letter from their neighbor stating that she has no problems with the deck. The homeowners have already removed the tiki bar and have paid a fine for the code violations. Ms. Eisenhauer stated that they keep their property so nice, when other home owners on the street don't, and all they are asking is to keep the deck.

**Following discussion, Mr. Perricelli moved to approve the variance as submitted. Mr. Hundredmark seconded the motion. Vote was called and the Board unanimously approved the variance application (5-0).**

**B. Case No. 2016-075: 554 Riverside Drive, Side Yard Variance**

Mr. Steven Spraker, Senior Planner, City of Ormond Beach stated this is a request for a side yard variance for 554 Riverside Drive. This is presently a vacant lot, but previously had a single family home on it. The house was demolished, with the intention of building a new single family home. This property is in a transition area, where the shoreline transitions from deeper lots to the south, to shallower lots to the north. The original house plans did not recognize that there is a 25' drainage and utility easement on the north side of the property. Within the easement there is a 36" storm pipe and a 12" water line. So, the applicant was forced to redesign the property, since both of the utilities are major infrastructures that serve the peninsula of the City.

Mr. Spraker explained that just the variance for the side yard is what is coming before the Board. The City's utility department has reviewed the plan, and has some concerns that need to be addressed regarding the location of the water line and the house. There is concern how the house will be constructed in relationship to the water line, and then after the house is built, how the water line is maintained, and how the house is protected. Those issues are ongoing, but are separate from the variance to the side yard.

Mr. Spraker detailed the location, orientation, and characteristics of the subject property and presented the staff report. He stated that staff was concerned about the impact on neighboring properties. The survey that has been provided shows that the property to the south, because of the shape of the waterfront, will sit in front of the proposed house. So the impact to the property owner is just along the garage, and is a minor encroachment. Mr. Spraker stated staff is recommending approval.

Mr. Jenner stated that the water line *does* impact the house that is being built. Mr. Spraker stated that yes it does, in that it needs to be resolved. The resolution of the water lines will not happen at this Board meeting. It will be between utility, planning and building staff. Mr. Jenner again stated that it does impact the decisions being made. Deputy City Attorney, Ms. Ann-Margret Emery, stated that it can be made clear in the order that this is a variance for just the one particular side, and it doesn't impact what needs to be done by building and utilities.

Mr. Perricelli asked if the water lines were for this area of the subdivision. Mr. Spraker stated that this is one of three lines that provide water to the peninsula, and that the storm lines are further into the lot, so there is probably no potential impact with the storm water lines with the proposed house plot plan.

Mr. Lane asked if there was a wall between the subject property and the house on the variance side. Mr. Spraker stated that the survey shows a wall, but there is not a 6' high fence, or anything close to that.

Mr. Jim Morris, representative for the applicant Maurice Kaufman, stated that there is no wall between the properties. He further commented that the 25' easement on the property is City-owned. Mr. Kaufman purchased the property, and the title search did not identify the easement. He thought he was buying 100' of useable waterfront property, but because of the easement being there, and he wants to stay completely away from the easement, he only has 75' to work with.

Mr. Morris continued that in order to have some reasonable use of the property, and looking at the scale of neighboring houses, this variance is needed. Mr. Morris and Mr. Kaufman met with the neighbor to the south, Dr. Cohen, and explained to him the location of the new house, where it would sit on the lot, and its impact to the garage part of Dr. Cohen's home. The view of the river will not be impacted at all. Mr. Morris stated after meeting with Dr. Cohen, that he does not object to the variance.

Mr. Lane stated that he did not see a letter in the packet from the abutting property owner. Mr. Morris stated that Dr. Cohen had been out of the country, and had just returned, so they had just met that day. Mr. Spraker stated the Dr. Cohen had left him a voicemail, stating that he had no objections.

Mr. McNamara asked about the statement on the survey, that the finished floor would be about 6'. Mr. Morris stated that the elevation will be subject to permitting and the local flood ordinance, and will be to whatever the building code requires.

Mr. Hundredmark asked if the client could build a house smaller than what is proposed, without the variance. Mr. Morris stated that the house is approximately 4,000 sq. ft., and the applicant has already lost 25% of the lot that he thought he could use. This wasn't a hardship that the applicant created. The City requires 20' of total setback on the side yards. Since there will be a 25' setback on the north side, and the applicant is looking for a 4' setback for the south side, this will be a total of 29' versus the 20' requirement.

Mr. Hundredmark asked if the title company had disclosed the easement. Mr. Morris stated that the title company did not disclose it, and it was their duty to do so.

Mr. Lane asked if the house was designed prior to this need for a variance. Mr. Morris stated that the house was designed to comply to all the setbacks of the City, which would have provided encroachment onto the easement. The builder turned in a complete set of building plans, for the first version of the house. At that time, the utilities and GIS identified that the water and storm lines were located on this property. The builder then re-worked the drawings, reduced a courtyard out of the interior of the building, narrowed the house down as much as he could from the original design and re-formatted the floor plan.

Mr. Lane asked that when the architect learned what the setbacks were, did they design the house to encroach on the 4' setback. Mr. Morris explained that the architect took the original design and re-formatted it and did everything that they could to shrink it to fit within the space available. There was consultation with City

staff, and since the property owner was not made aware of the 25' easement, this was the best way to stay as close to the original design as possible.

Mr. Hundredmark asked Mr. Spraker if the property owner had come to the Planning Department prior to purchasing the property and asked if there were any easements, would he have been able to find out about this. Mr. Spraker stated that if a homeowner comes to the department and asks specifically about something such as this, yes a person can get this information. But, they typically ask what their setbacks are and they usually do not delve into easements or other issues. Mr. Morris stated that the normal process is to get proof of title when you buy a piece of property, and the title company is obligated to search the public records and present the property owner with a report of title, so that everything that impacts the property is shown. This easement is recorded in the public records of Volusia County, and the title company should provide this type of information.

Mr. Jenner asked Mr. Spraker, if the house that is designed were centered on the lot, would it meet the setback requirements. Mr. Spraker stated that it would meet the setbacks, but it would be on the easement. Mr. Jenner stated that this is exactly what this Board was created for - to grant variances when people are faced with circumstances that have nothing to do with their own doing. When someone purchases a lot, they don't hire a private investigator to research these things, they depend on the title company. This Board has granted variances because a tree is in the way, and the Board allows them to build further back. The applicant had nothing to do with this situation, there is no impact on the adjacent properties, and the Board was formed for instances like this.

**Following discussion, Mr. Jenner moved to approve the variance as submitted. Mr. Perricelli seconded the motion. Vote was called and the Board unanimously approved the variance application (5-0).**

## **V. OTHER BUSINESS**

None.

## **VI. ADJOURNMENT**

As there was no other business, the meeting was adjourned at 7:37 p.m.

Respectfully submitted,

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Steven Spraker, AICP, Senior Planner

ATTEST:

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Dennis McNamara, Chairman

*Minutes prepared by Melanie Nagel.*

Pursuant to section 286-0105, Florida Statutes, if any person decides to appeal any decision made by the board of adjustment with respect to any matter considered at this public meeting, such person will need a record of the proceedings and for such purpose, such person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which the appeal is to be based.

All persons appealing to the board of adjustment must be present, or represented at the public hearing scheduled for the consideration of his request. Failure to be present or to be represented, results in the automatic refusal by this board to grant permission for any variance. In order to allow the meeting to proceed in an orderly fashion, the board, by motion, may limit the time allowed for remarks concerning a specific agenda item to a maximum of thirty (30) minutes for city staff, the designated representative of the applicant and the designated representative of any organized group and to five (5) minutes for members of organizations and other individual speakers. Additional time shall be allowed to respond to questions from the board.

Persons with a disability, such as a vision, hearing or speech impairment, or persons needing other types of assistance and who wish to attend city commission meetings or any other board of committee meeting may contact the city clerk in writing, or may call 677-0311 for information regarding available aids and services.

# STAFF REPORT

## City of Ormond Beach Department of Planning

**DATE:** July 27, 2016

**SUBJECT:** 202 Summerhaze Court

**APPLICANT:** Charlotte Dodson, personal representative of the estate of Carmine DeSantolo

**FILE NUMBER:** 2016-095

**PROJECT PLANNER:** Steven Spraker, AICP, Senior Planner

### **INTRODUCTION:**

This is a request for a side yard variance submitted by Charlotte Dodson, personal representative of the estate of Carmine DeSantolo (applicant), property owner of 202 Summerhaze Court. The applicant seeks to replace a screen enclosure with a hard roof that encroaches into the required side yard setback. The property at 202 Summerhaze Court is zoned R-4 and Section 2-17(B)(9)(d) Ormond Beach Land Development Code requires a 20' side yard setback. The variance seeks to allow an 8' by 10' screen room with a side yard setback of 15.3', requiring a variance of 4.7' to the required 20' side yard setback.

### **BACKGROUND:**

The property is designated as "Medium Density Residential" on the City's Future Land Use Map (FLUM) and is zoned R-4 (Single Family Medium Residential) on the City's Official Zoning Map. The existing use of the property is consistent with the FLUM designation and zoning district. The existing structure was built in 1980 according to the Volusia County Property Appraiser website.

The subject property is part of the Tymber Creek Planned Unit Development (formerly known as Chimney Hill) that was approved in Volusia County in 1974. The Tymber Creek subdivision was reviewed, approved and constructed under the jurisdiction of Volusia County. In 1996, the City conducted a referendum that allowed the annexation of the Tymber Creek development. Based on research for this variance and past applications, there are a number of properties where the existing structures do not meet the R-4 City zoning designation setbacks which was placed on the development. The existing built environment is unique for this subdivision and expansions/replacement of existing structures often cannot meet the setbacks established in the R-4 zoning district. The subject property had an existing hard roofed entry screen room which was demolished based on the age and declining condition of the structure. This variance application seeks to re-establish the screen room with a hard roof.

**Exhibit 1: Site Aerial**



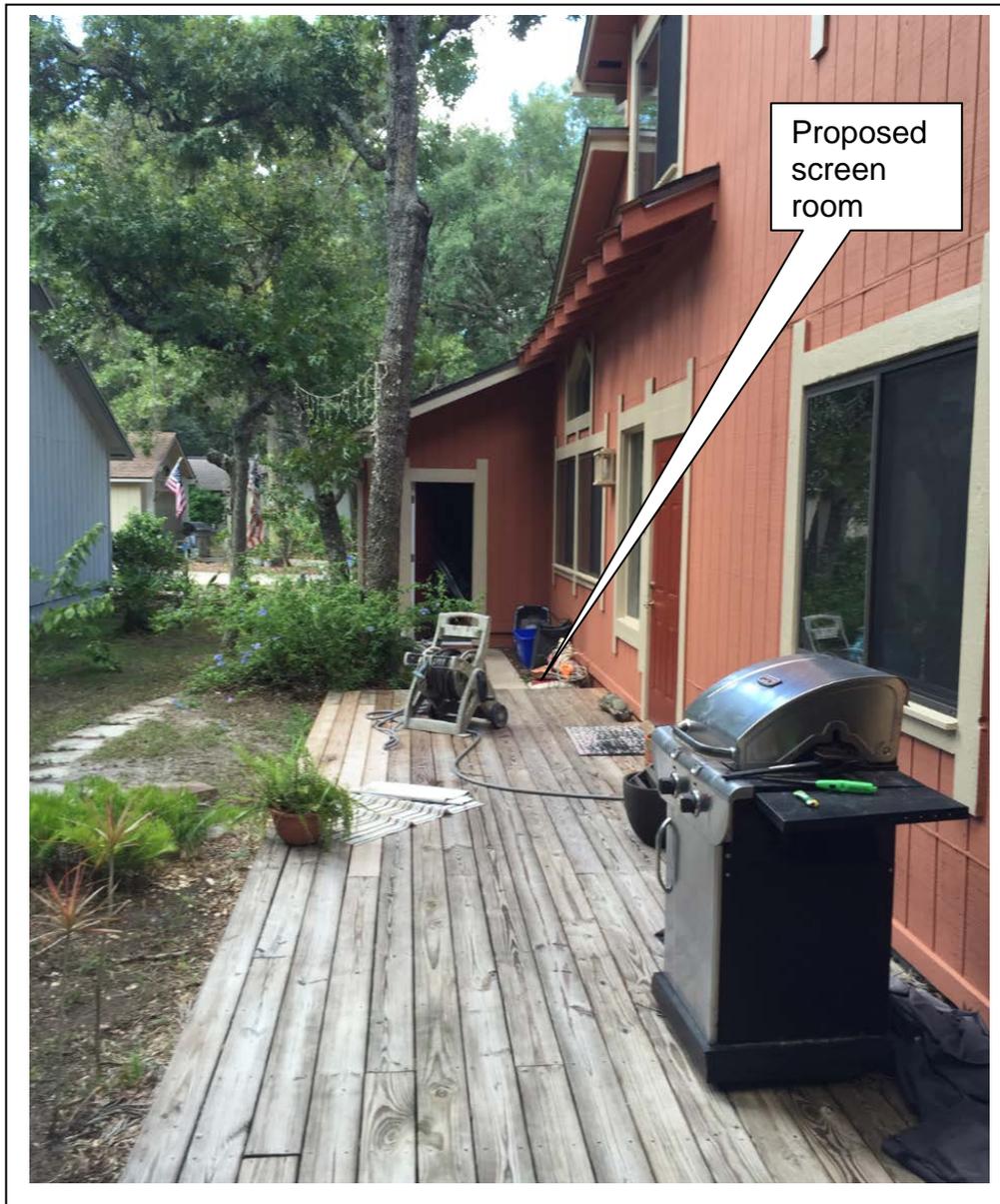
**Exhibit 2: Adjacent land uses and zoning:**

	Current Land Uses	Future Land Use Designation	Zoning
<b>North</b>	Stormwater pond	"Open Space/ Recreation"	SE (Special Environmental)
<b>South</b>	Single Family	"Medium Density Residential"	R-4 (Single Family Medium Residential)
<b>East</b>	Single Family	"Medium Density Residential"	R-4 (Single Family Medium Residential)
<b>West</b>	Single Family	"Medium Density Residential"	R-4 (Single Family Medium Residential)

**ANALYSIS:**

The property at 202 Summerhaze Court is zoned R-4 and Section 2-17(B)(9)(d) Ormond Beach Land Development Code requires a 20' side yard setback. The variance seeks to allow an 8' by 10' screen room with a side yard setback of 15.3', requiring a variance of 4.7' to the required 20' side yard setback. The area of the variance is show in the picture below:

**Exhibit 3: Area of proposed variance**



Within the submitted application form, the property owner has obtained the signatures in support of the variance application from both of the abutting properties.

## **CONCLUSION:**

Chapter 1, Article II, Section 1-16.D.2, of the Land Development Code states, "The Board of Adjustment and Appeals shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape, topographical condition, or other physical or environmental conditions that are unique to the specific property involved and are not the result of the actions of the applicant. If the basis for the request is the unique quality of the site, the Board shall make the following required findings based on the granting of the variance for that site alone. If, however, the condition is common to numerous sites so that requests for similar variances are likely to be received, the Board shall base its findings on the cumulative effect of granting the variance to all who may apply."

1. **The property where the structure is located meets the minimum lot area standards for the zoning district, as specified in Chapter 2, Article II.**

Argument for the variance: The R-4 zoning classification requires a minimum lot area of 5,000 square feet for zero lot line single family lots. The subject property is shown by the site survey to be 50' in width and 100' in depth. The subject property meets the minimum lot area for the R-4 zoning district.

Argument against the variance: None, the property meets the minimum lot area for the R-4 zoning district.

2. **There are no other ways of altering the structure that will not result in increasing the nonconforming cubic content of the structure.**

Argument for the variance: The proposed screen room with a hard roof previously existed and is depicted on the Volusia County Property Appraiser's building sketch for the property. Based on the R-4 zoning district setbacks not matching the existing built environment within the Tymber Creek subdivision, there are no other ways to alter the existing structure without obtaining the variance. The existing structure is located at a 23.3' setback and an 8' width of the structure results in a final setback of 15.3'.

Argument against the variance: None. Based on the 20' setback and the 23.3' existing structure, the property owner can only expand the screen room with a hard roof 3.3' which would not be a functional screen room.

3. **The proposed expansion will be consistent with the use of the structure and surrounding structures, given that the use is permitted by right, conditional use or Special Exception in the zoning district within which the structure is located.**

Argument for the variance: The existing single-family residential use is a permitted use in the R-4 zoning district and is consistent with the purpose of this zoning district.

Argument against the variance: None.

4. **The proposed expansion effectively "squares-off" an existing building, or does not extend beyond the furthest point of an adjacent building.**

Argument for the variance: The proposed screen room with a hard roof will be in line with the existing structure at 202 Summerhaze Court and will not block any view corridors.

Argument against the variance: None.

5. **The proposed expansion is in scale with adjacent buildings.**

Argument for the variance: The proposed screen room with a hard roof is in scale with adjacent buildings. There are multiple properties that enjoy similar improvements as the one sought by the applicant. The screen room with a hard roof would replace the screen room that was previously removed.

Argument against the variance: None.

6. **The proposed expansion will not impact adjacent properties by limiting views or increasing light and/or noise.**

Argument for the variance: The proposed screen room with a hard roof addition will not impact adjacent properties by limiting view or increasing light or noise. As stated earlier in this report, both abutting property owners have provided their signature of support for the application.

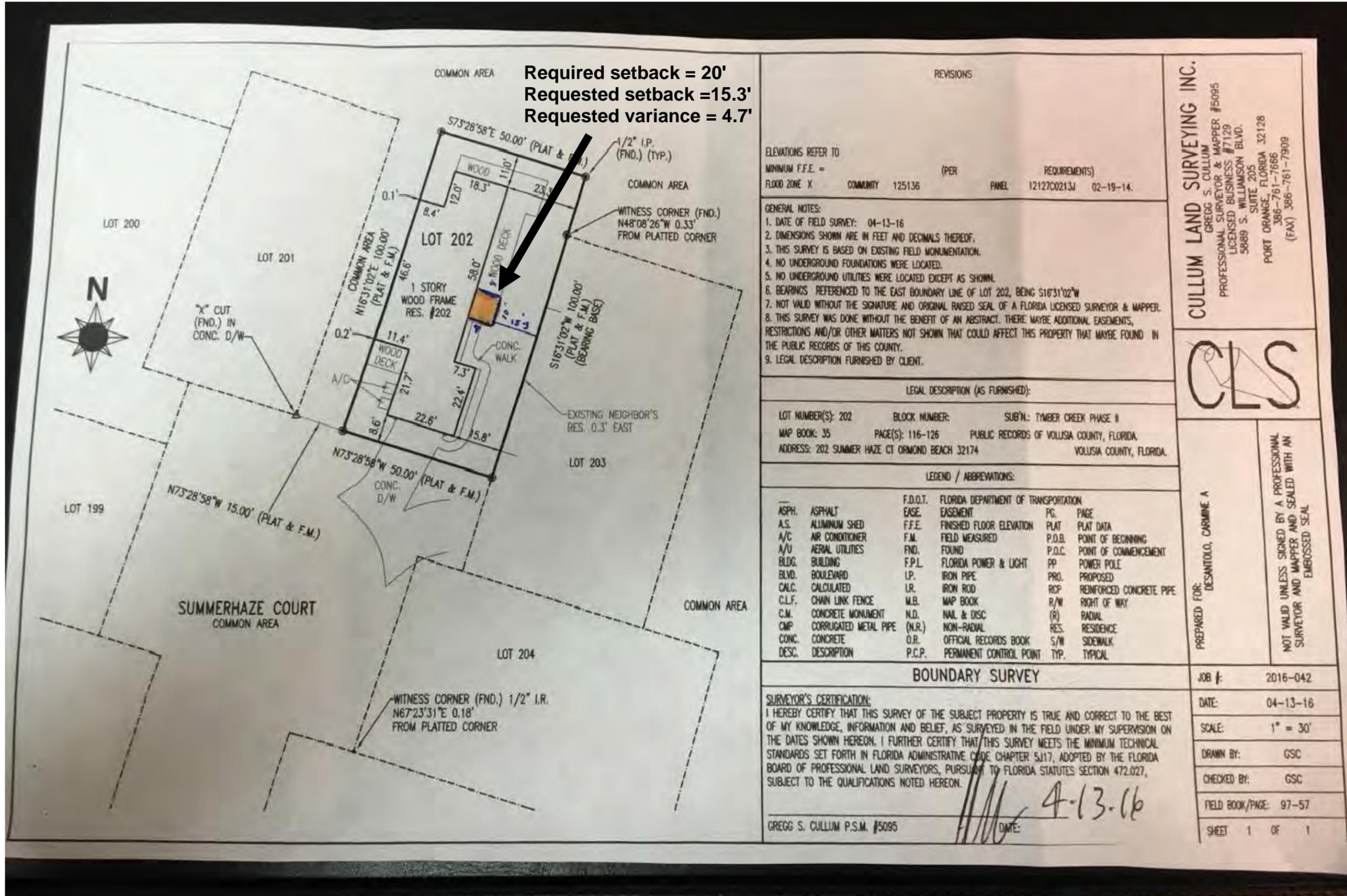
Argument against the variance: None.

**RECOMMENDATION:** It is recommended that the Board of Adjustments and Appeals **APPROVE** the application for a variance to allow an 8' by 10' screen room with a side yard setback of 15.3', requiring a variance of 4.7' to the required 20' side yard setback established in the R-4 zoning district.

# **ATTACHMENT 1**

Variance Exhibit

# VARIANCE EXHIBIT



Required setback = 20'  
 Requested setback = 15.3'  
 Requested variance = 4.7'

### REVISIONS

ELEVATIONS REFER TO  
 MINIMUM F.F.E. = (PER REQUIREMENTS)  
 FLOOD ZONE X COMMUNITY 125136 PANEL 12127C0213J 02-19-14.

- GENERAL NOTES:
1. DATE OF FIELD SURVEY: 04-13-16
  2. DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
  3. THIS SURVEY IS BASED ON EXISTING FIELD MONUMENTATION.
  4. NO UNDERGROUND FOUNDATIONS WERE LOCATED.
  5. NO UNDERGROUND UTILITIES WERE LOCATED EXCEPT AS SHOWN.
  6. BEARINGS REFERENCED TO THE EAST BOUNDARY LINE OF LOT 202, BEING S16°31'02"W
  7. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.
  8. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF AN ABSTRACT. THERE MAYBE ADDITIONAL EASEMENTS, RESTRICTIONS AND/OR OTHER MATTERS NOT SHOWN THAT COULD AFFECT THIS PROPERTY THAT MAYBE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
  9. LEGAL DESCRIPTION FURNISHED BY CLIENT.

### LEGAL DESCRIPTION (AS FURNISHED):

LOT NUMBER(S): 202 BLOCK NUMBER: SUB'N: TIMBER CREEK PHASE II  
 MAP BOOK: 35 PAGE(S): 116-126 PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.  
 ADDRESS: 202 SUMMER HAZE CT ORMOND BEACH 32174 VOLUSIA COUNTY, FLORIDA.

### LEGEND / ABBREVIATIONS:

ASPH.	ASPHALT	F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
A.S.	ALUMINUM SHED	EASE.	EASEMENT
A/C	AIR CONDITIONER	F.F.E.	FINISHED FLOOR ELEVATION
A/U	AERIAL UTILITIES	F.M.	FIELD MEASURED
BLDG.	BUILDING	FND.	FOUND
BLVD.	BOULEVARD	F.P.L.	FLORIDA POWER & LIGHT
CALC.	CALCULATED	I.P.	IRON PIPE
C.L.F.	CHAIN LINK FENCE	I.R.	IRON ROD
C.M.	CONCRETE MONUMENT	M.B.	MAP BOOK
CMP	CORRUGATED METAL PIPE	N.D.	NAIL & DISC
CONC.	CONCRETE	(N.R.)	NON-RADIAL
DESC.	DESCRIPTION	O.R.	OFFICIAL RECORDS BOOK
		P.C.P.	PERMANENT CONTROL POINT
		PG.	PAGE
		PLAT	PLAT DATA
		P.D.B.	POINT OF BEGINNING
		P.O.C.	POINT OF COMMENCEMENT
		PP	POWER POLE
		PRO.	PROPOSED
		RCF	REINFORCED CONCRETE PIPE
		R/W	RIGHT OF WAY
		(R)	RADIAL
		RES.	RESIDENCE
		S/W	SIDEWALK
		TYP.	TYPICAL

### BOUNDARY SURVEY

**SURVEYOR'S CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS SURVEY OF THE SUBJECT PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, AS SURVEYED IN THE FIELD UNDER MY SUPERVISION ON THE DATES SHOWN HEREON. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH IN FLORIDA ADMINISTRATIVE CODE CHAPTER 5J17, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS, PURSUANT TO FLORIDA STATUTES SECTION 472.027, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

GREGG S. CULLUM P.S.M. #5095

DATE: 4-13-16

**CULLUM LAND SURVEYING INC.**  
 GREGG S. CULLUM  
 PROFESSIONAL SURVEYOR & MAPPER #5095  
 LICENSED BUSINESS #7129  
 5889 S. WILLIAMSON BLVD.  
 SUITE 205  
 PORT ORANGE, FLORIDA 32128  
 386-761-7666  
 (FAX) 386-761-7909



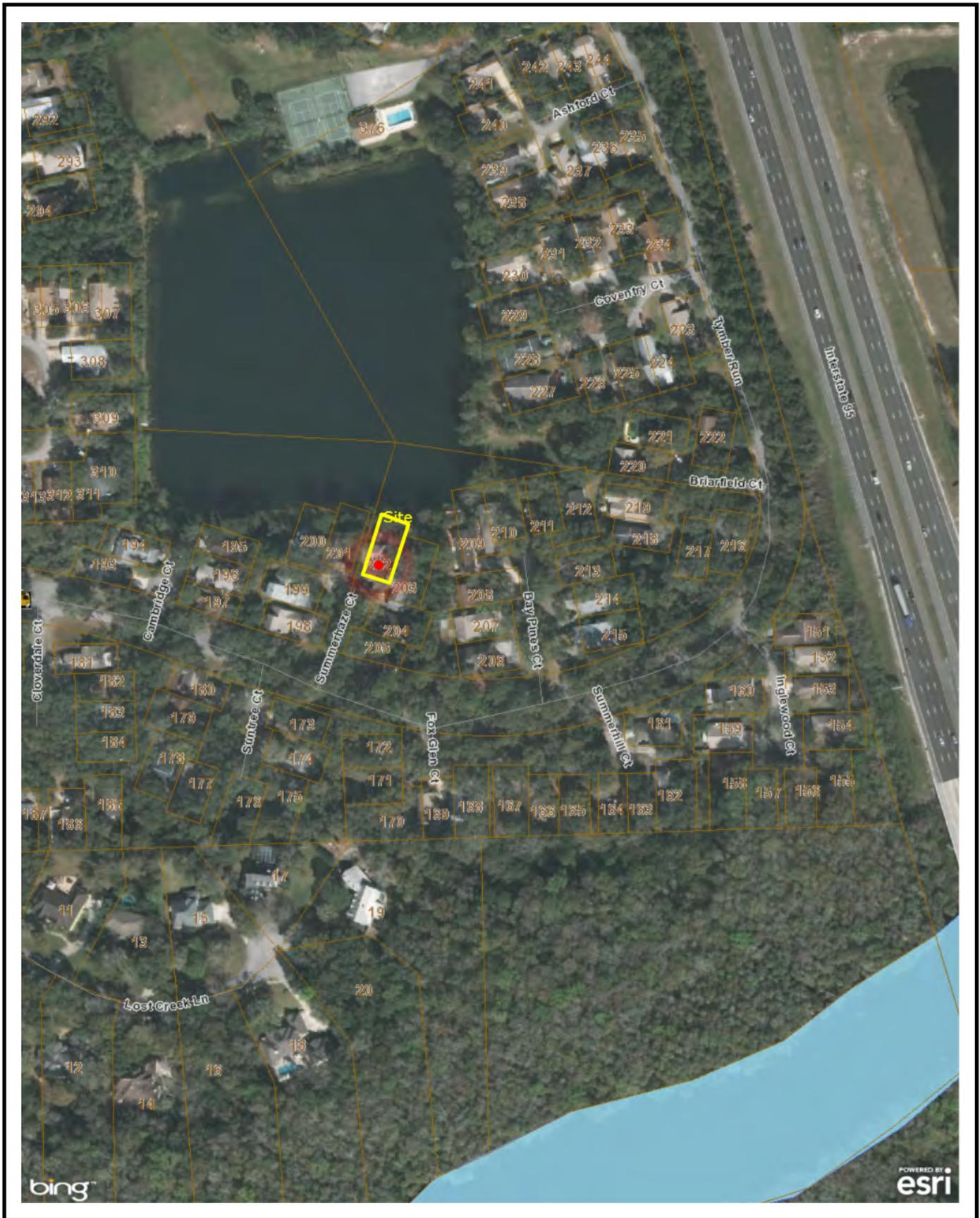
PREPARED FOR: DESANTOLO, CARMINE A

NOT VALID UNLESS SIGNED BY A PROFESSIONAL SURVEYOR AND MAPPER AND SEALED WITH AN EMBOSSED SEAL

JOB #:	2016-042
DATE:	04-13-16
SCALE:	1" = 30'
DRAWN BY:	GSC
CHECKED BY:	GSC
FIELD BOOK/PAGE:	97-57
SHEET	1 OF 1

# ATTACHMENT 2

- Maps and pictures



LOCATION MAP  
202 Summerhaze Court





Area where  
screen  
room  
requested



Area where  
screen  
room  
requested

Area where  
screen  
room  
requested



# **ATTACHMENT 3**

Applicant provided  
information



**CITY OF ORMOND BEACH**

v3.2013

Planning Department

22 South Beach Street, Ormond Beach, FL 32174

Tel: (386) 676-3238

www.ormondbeach.org

comdev@ormondbeach.org

**VARIANCE - APPLICATION**

*For Planning Department Use*

Application Number

Date Submitted

713116

**APPLICATION TYPE AND FEES**

	Application	Advertising Deposit for Advisory Board	Advertising Deposit for Commission	Total*
<input checked="" type="checkbox"/> Residential or Commercial	350	350	N/A	700
<input type="checkbox"/> After the Fact Residential or Commercial	700	350	N/A	1050

\*The total is calculated as the Application plus approximate Advisory Board and Commission Public Notification Fees. Depending on the actual costs, Staff shall refund any remaining balance or require additional payment.

**APPLICANT INFORMATION**

This application is being submitted by

Property Owner

Agent, on behalf of Property Owner\*\*

Name

Charlotte Dodson

Full Address

202 Summerhaze Ct. Ormond Bch. FL 32174

Telephone

386 212 5543

Email

charlottedodson@me.com

\* If this application is being submitted by a person other than the property owner, please provide the following Property Owner Information as well as a notarized letter designating you as agent.

**PROPERTY OWNER INFORMATION\*\*\***

Name

Charlotte Dodson Personal Rep.

Full Address

202 Summerhaze Ct

Telephone

386 212 5543

Email

charlottedodson@me.com

\*\*\*If the property owner does not reside on the property for which the application refers, please provide the following Property Details.

**PROPERTY DETAILS**

Full Address

Parcel ID Number

Legal Description

**REQUEST**

For the Board of Adjustment and Appeals to grant a variance, there must be special conditions or circumstances existing which are peculiar to a particular piece of land, structure or building. The variance should not request special privilege denied to other lands, buildings or structures, and must prove deprivation of rights commonly enjoyed by other property owners in the subject property area that results in an unnecessary hardship. The request should be the minimum possible to make reasonable use of the land and, if granted, should not be injurious to the area or materially diminish the value of the surrounding properties, alter the essential characteristics of the neighborhood or otherwise be detrimental to the public welfare or create a public nuisance. A purely financial hardship does not, except under extreme circumstances, constitute sufficient grounds for hardship.

Request:

**ABUTTING PROPERTY OWNERS**

Please provide abutting property owner signatures or provide letters indicating position toward the request.

Signature	Street Address	For	Against
<i>John J. [Signature]</i>	<i>201 SUMMERHAZE CT</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>George LaVone</i>	<i>203 Summerhaze Ct.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>

**CRITERIA: CONFORMING**

Section 1-16.D.3 of the Land Development Code requires that the Board of Adjustment and Appeals make a finding based on substantial competent evidence on each of the following 8 criteria. Additional pages, photographs, surveys, plot plans or other materials may be attached as exhibits.

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district:

**NA**

2. The special conditions and circumstances do not result from the actions of the applicant:

**NA**

3. Literal interpretation of the provisions of these zoning regulations deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these zoning regulations and would work unnecessary and undue hardship on the applicant:

**NA**

4. No practical alternative exists and the variance, if granted, is the minimum variance that will make possible the reasonable use of the land, building or structure:

NA

5. The variance request is not based exclusively upon a desire to reduce the cost of developing the site. Financial disadvantages or physical inconvenience to the applicant shall not in and of themselves constitute conclusive proof of unnecessary hardship:

NA

6. The proposed variance will not substantially increase congestion on surrounding streets, or the danger of fire or other hazard to the public:

NA

7. The effect of the proposed variance is in harmony with the general intent of this Code and the specific intent of the relevant subject area(s) of the Code and will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site:

NA

8. Granting this variance requested will not confer on the applicant any special privilege that is denied by this Code to other lands, buildings or structures in the same zoning district:

NA

**CRITERIA: NONCONFORMING**

Section 1-16.D.4 of the Land Development Code establishes separate criteria for the expansion of an existing nonconforming structure or portion of that structure. The Code requires that the Board of Adjustment and Appeals make a finding based on substantial competent evidence on each of the following 6 criteria. Additional pages, photographs, surveys, plot plans or any other materials may be attached as exhibits.

1. The property where the structure is located meets the minimum lot area standard for the zoning district, as specified in Chapter 2, Article II:

Platted at approval in Volusia County less than 5,000 square feet less than typical of variance

2. There are no other ways of altering the structure that will not result in increasing the nonconforming cubic content of the structure:

Structure was there previously w/ safety issue and just making repair plus improvement to property

3. The proposed expansion will be consistent with the use of the structure and surrounding structures, given the use is permitted by right, conditional use or special exception in the zoning district within which the structure is located:

Since 2005 this has been a single family house, we'd like city employees as well as family + friends can be shielded by the weather and enjoy a screened in area.

4. The proposed expansion effectively "squares-off" an existing building, or does not extend beyond the furthest point of an adjacent building on the site:

existing improvement not going any further than what was already there.

5. The proposed expansion is in scale with adjacent buildings:

there are many other properties with screened in porch and feel it would improve the property

6. The proposed expansion will not impact adjacent properties by limiting views or increasing light and/or noise:

existing improvement as well as safety issue architectural control community has approved it and so has the neighbors - adjoining neighbor has no windows facing the porch will also improve "cost of value" to the rest of property owners in the area.

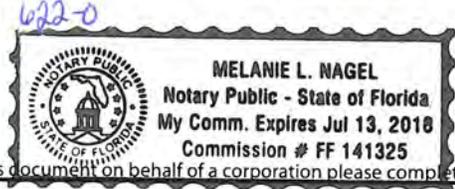
**CERTIFICATION**

By submitting this application, I hereby certify that the information provided above is true and correct to the best of my knowledge and that I am aware of the application submittal requirements and review process for this application. I hereby authorize City of Ormond Beach Staff to place legal notice on my property and to take pictures pertaining to my request. I am aware of the required pre-application meeting and am aware that if all the submittal requirements are not provided, my application will be continued to the next regularly scheduled hearing.

Signature: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF Volusia

The foregoing instrument was acknowledged before me this 13<sup>th</sup> day of JULY, 2016, by CHARLOTTE C. DODSON as PROPERTY OWNER (title\*) for 202 SUMMERHAZE Ct. OB, FL (name of corporation\*), who  provided FL D.L. #D325-103-66 as identification, or  who is personally known to me.



Melanie L. Nagel  
Notary Public, State of Florida  
My Commission Expires: JULY 13, 2018

\* If you are executing this document on behalf of a corporation please complete the spaces with your title and the name of your company as indicated.

# Architectural Control Committee

## Tymber Creek Homeowners Association, Inc.

Post Office Box 730085, Ormond Beach, FL 32173  
Telephone (386) 446-6333 – Facsimile (386) 446-1830

June 1, 2016

Charlotte Dodson  
202 Summerhaze Ct.  
Ormond Beach, FL 32174

Re: 202 Summerhaze Ct. – Screened-in Porch (ACC 202 052716)

Dear Ms. Dodson:

( 12-7-15 )

The Architectural Control Committee (ACC) for the Tymber Creek Homeowners Association, Inc. has reviewed your recent submittal for the above-referenced property. The committee had previously granted approval for this screened-in porch (see letter dated 12/27/2015) and hereby, once again, grants **conditional approval** accordingly:

- Build and install screen room on existing footer (8' x 10').
- Frame and screen in front porch, powder coat brown aluminum framing rail, charcoal gray fiberglass screen all the way to bottom frame rail (no kick plate bottom), and two 36" entry doors on opposite sides of porch.
- Extrusion Color: Bronze; Screen Mesh: 18/14; Roof Type: 3" w/o; Stainless Steel Fasteners.
- Replace 6" seamless gutters with leaf guards and downspouts at all roof lines.

Any deviation must be submitted and approved by the ACC prior to construction materials. No adjoining properties or roadways are to be used for staging of construction materials. Any and all applicable permits, governmental approvals, etc., must be obtained prior to commencement of work and copies are to be provided to the ACC for permanent filing. **Compliance with any and all applicable construction, building, and property codes is the full and complete responsibility of the property owner including any variances that need approval by the City of Ormond Beach.**

Should you have questions or require additional assistance regarding this matter, please contact Brett Robinson at (386) 446-6333.

Sincerely,

  
Denise Brady  
ACC Chairperson

IN THE CIRCUIT COURT FOR VOLUSIA COUNTY, FLORIDA  
PROBATE DIVISION

IN RE: ESTATE OF

**Carmine A. DeSantolo**

File No. 2015 11063 PRDL  
Division : 10

**a/k/a Carmine Anthony DeSantolo,**

Deceased.

APPOINTMENT IS IN FULL  
FORCE AND EFFECT

LETTERS OF ADMINISTRATION  
(single personal representative)

TO ALL WHOM IT MAY CONCERN:

WHEREAS, **Carmine A. DeSantolo**, a resident of Ormond Beach, Volusia County, Florida, died on **April 6, 2015**, owning assets in the State of Florida, and

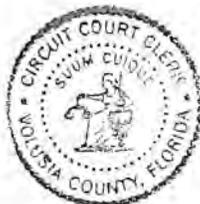
WHEREAS, **Charlotte Cara Dodson** has been appointed personal representative of the estate of the decedent and has performed all acts prerequisite to issuance of Letters of Administration in the estate,

NOW, THEREFORE, I, the undersigned Circuit Judge, declare **Charlotte Cara Dodson** duly qualified under the laws of the State of Florida to act as personal representative of the estate of **Carmine A. DeSantolo**, deceased, with full power to administer the estate according to law; to ask, demand, sue for, recover and receive the property of the decedent; to pay the debts of the decedent as far as the assets of the estate will permit and the law directs; and to make distribution of the estate according to law.

Ordered on June 16, 2015.

*C. M. Kevin Smith*  
Circuit Judge

Form No. PA-3.0700  
Effective January 1, 2014



STATE OF FLORIDA, VOLUSIA COUNTY  
HEREBY CERTIFY the foregoing is a true copy  
of the original filed in this office. This  
19th day of June 2015  
Clerk of Circuit and County Court  
By D. Patterson  
Deputy Clerk

2015 JUN 17 AM 9:31  
CLERK OF THE CIRCUIT  
& COUNTY COURT VOLUSIA COUNTY, FL  
CC 49

FILED

22901991

WARRANTY DEED  
FORM NO. 12 (REV. 11-80)

BOOK PAGE

FORM NO. 12

This Warranty Deed Made the 12th day of August A.D. 1981 by  
FRANK W. PAGE, JR. and KATHY S. PAGE, his wife and  
RAY E. SMITH and ANN SMITH, his wife  
hereinafter called the grantor to  
CARMINE A. DeSANTOLO and CHARLOTTE S. DeSANTOLO

whose postoffice address is 970 Bramblebush Circle, Port Orange, Florida  
hereinafter called the grantee

Witnesseth: That the grantor, her and in consideration of the sum of \$ 10.00--- and other  
valuable considerations, receipt whereof is hereby acknowledged hereby grants, conveys, re-  
leases, conveys and confirms unto the grantee, all that certain land situate in Volusia  
County, Florida, viz

Lot 12, Block 10, Deep Forest Subdivision, as per map in Map  
Book 33, pages 98, 99, and 100, Public Records of Volusia County,  
Florida.

Subject to a mortgage in favor of Heritage Federal Savings and  
Loan Association in which grantees hereby assume and agree to pay.

Subject to taxes for the year 1981 and subsequent years. Subject  
to easements, restrictions and limitations of record, if any, the  
mention of which shall not be deemed to reimpose the same.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-  
wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land  
in fee simple, that the grantor has good right and lawful authority to sell and convey said land, that the  
grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of  
all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent  
to December 31, 1980.

STATE OF FLORIDA  
NOTARY PUBLIC  
JAMES J. ...  
282.05

In Witness Whereof, the said grantor has signed and sealed their presents the day and year  
first above written.

Signed, sealed and delivered in our presence:  
Ray E. Smith  
Ann Smith  
Carmine A. DeSantolo  
Charlotte S. DeSantolo

Frank W. Page, Jr.  
Kathy S. Page

STATE OF Florida  
COUNTY OF Volusia

I HEREBY CERTIFY that on this day, before me, an officer duly  
authorized in the State of Florida and in the County aforesaid to take  
acknowledgments, personally appeared FRANK W. PAGE, JR.  
and KATHY S. PAGE, his wife

to me known to be the persons designated in and who executed the  
 foregoing instrument and they acknowledged before me that they  
 executed the same

WITNESS my hand and official seal to the County and  
 State, this 12th day of  
 AUGUST A.D. 1981

Notary Public, State of Florida  
MY COMMISSION EXPIRES:

XXXXXX

NOTARY PUBLIC'S OFFICE ON FILE AT LAST  
BY COUNTY CLERK'S OFFICE AUG 12 1985

NOTARY PUBLIC'S OFFICE ON FILE AT LAST  
BY COUNTY CLERK'S OFFICE AUG 12 1985  
Aug 17 2 21 PM '81  
068166

2290 1992

BOOK PAGE

STATE OF FLORIDA  
COUNTY OF VOLUSIA

I HEREBY CERTIFY that on this day before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared RAY E. SMITH and ANN SMITH, his wife, to me known to be the persons described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 12th day of August, 1981.

*Richard L. Smith*  
NOTARY PUBLIC, STATE OF FLORIDA  
AT LARGE

MY COMMISSION EXPIRES:

Notary Public, State of Florida At Large  
My Commission Expires Dec. 22, 1981

Warranty Deed

To

*Warranty Deed*

Recording \$7.00  
Documentary Stamps \$292.05

1105166

Inactive  
Purge

Prepared by/Record and Return To:  
CARMINE A DESANTOLO  
202 SUMMERHAZE CT

ORMOND BEACH, FL 32174  
Loan Number: 6128670004  
Min:  
MERS Phone, if applicable: 1-888-679-6377  
Outbound Date: 03/17/10

SATISFACTION OF MORTGAGE

KNOW ALL MEN BY THESE PRESENTS: CHASE HOME FINANCE LLC SBM TO CHASE MANHATTAN MORTGAGE CORPORATION ATTY IN FACT FOR FEDERAL HOME LOAN MORTGAGE CORPORATION A/K/A FREDDIE MAC, the Owner and Holder of a certain Mortgage Deed executed by FRANK W. PAGE AND KATHY SUE PAGE AND RAY E. SMITH AND ANN SMITH to HERITAGE FEDERAL SAVINGS AND LOAN ASSOCIATION bearing the date of November 17, 1980, recorded December 8, 1980 in Official Records Volume/Book 2224 Page 0061 Document 101627 in the Office of the Clerk of the Circuit Court of VOLUSIA County, State of Florida, securing a certain note in the principal sum of \$44,400.00 and certain promises and obligations set forth in said Mortgage Deed, upon the property situated in said State and County described as follows, to wit:

Property Address: BRAMBLE BUSH CIRCLE, PORT ORANGE, FL 32019

ASSUMPTION AND MODIFICATION AGREEMENT FROM FRANK W. PAGE AND KATHY SUE PAGE AND RAY E. SMITH AND ANN SMITH TO HERITAGE FEDERAL SAVINGS AND LOAN ASSOCIATION DATED AUGUST 13, 1981, RECORDED AUGUST 29, 1981, VOLUME/BOOK 2294 PAGE 0434 DOCUMENT 072036.

Power of Attorney for FEDERAL HOME LOAN MORTGAGE CORPORATION, State of Florida, County/City of VOLUSIA, Sent on January 13, 1999 Recorded on February 11, 1999 Volume/Book: 4398 Page: 3007 Document: 99027533

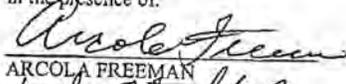
Hereby acknowledges full payment and satisfaction of said Note and Mortgage Deed, and surrenders the same as cancelled, and hereby directs the Clerk of said Circuit Court to cancel the same of record.

In witness whereof CHASE HOME FINANCE LLC SBM TO CHASE MANHATTAN MORTGAGE CORPORATION ATTY IN FACT FOR FEDERAL HOME LOAN MORTGAGE CORPORATION A/K/A FREDDIE MAC has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereto duly authorized, 03/24/10.

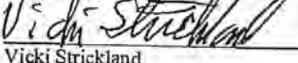
CHASE HOME FINANCE LLC SBM TO CHASE MANHATTAN MORTGAGE CORPORATION ATTY IN FACT FOR FEDERAL HOME LOAN MORTGAGE CORPORATION A/K/A FREDDIE MAC



Ulanda Willis  
Vice President  
Signed, sealed and delivered  
in the presence of:



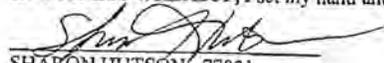
ARCOLA FREEMAN



Vicki Strickland

State of Louisiana  
Parish/County of: OUACHITA

On this 03/24/10, before me a Notary Public, the undersigned officer, personally appeared Ulanda Willis, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and did depose and say that he/she executed the same for the entity named and for the purposes therein contained. IN WITNESS WHEREOF, I set my hand and signature which certifies as my seal.



SHARON HUTSON - 77031  
Notary Public  
LIFETIME COMMISSION



# WILLIAMS ENGINEERING

FL CA#27412

206 LIVE OAK ST., NEW SMYRNA BEACH, FL 32168

THOMAS C WILLIAMS P.E. FL#54877

**PLAN TYPE:** Screen Enclosure with Insulated Roof Section

**PROPERTY ADDRESS:** 202 Summer Haze Ct., Ormond Beach, FL 32174

**OWNER:** Brassells

**ALUMINUM CONTRACTOR:** Miller's Screen

**CONTRACTOR:**

**RISK CATAGORY:** I

**WIND SPEED:** 130 MPH Exposure C

**DESIGN WIND PRESSURES:** (See Design Statement on Sheet 2)

Design Pressures

Horizontal Wind Pressure on Windward Surfaces => 32 psf X (0.6) = 19.2 psf

Horizontal Wind Pressure on Leeward Surfaces => 26 psf X (0.6) = 15.6 psf

Vertical Wind Pressure on Screen Surfaces => 9 psf X (0.6) = 5.4 psf

Vertical Wind Pressure on Solid Surfaces => 27 psf X (0.6) = 16.2 psf

Sheet 1

Thomas C Williams  
P.E. Digitally signed  
by Thomas C  
Williams P.E.  
Date: 2016.04.04  
12:30:44 -04'00'



# WILLIAMS ENGINEERING

FL CA#27412

206 LIVE OAK ST., NEW SMYRNA BEACH, FL 32168

THOMAS C WILLIAMS P.E. FL#54877

## Installation of Screen Enclosure

Scope of Work – Screen Enclosure with Insulated Roof Section at 22 Summer Haze Ct., Ormond Beach, FL 32174

### Design Statement

Design Wind Speed 130 MPH

Risk Category I

Exposure Category C

Design wind loads are based upon the Florida Building Code 2014 (5<sup>th</sup> Edition) Chapter 20 – Aluminum and Table 2002.4 Design Wind Pressures for Aluminum Screen Enclosures.

(Note h. – For Allowable Stress Design (ASD) pressures shall be permitted to be multiplied by 0.6)

From Table 2002.4, Exposure – C, 130 – MPH Wind Speed

Design Pressures

Horizontal Wind Pressure on Windward Surfaces => 32 psf X (0.6) = 19.2 psf

Horizontal Wind Pressure on Leeward Surfaces => 26 psf X (0.6) = 15.6 psf

Vertical Wind Pressure on Screen Surfaces => 9 psf X (0.6) = 5.4 psf

Vertical Wind Pressure on Solid Surfaces => 27 psf X (0.6) = 16.2 psf



### Design Notes

1. 2" x 4" Uprights Fastened with ¼" x 1 ½" x 1 11/16" Castle Clip or Internal U Clips or Blind Screwed w/ (4) ea #10 x ¾" S.M.S. or TEK Top and Bottom.
2. Internal Base Fastened to Slab with (4) ¼" x 1-1/4" Masonry Screws.
3. 2" x 4" Top Plates (Header) Fastened to Upright Posts w/ (4) ea #10 x 1 ½" SMS or TEK.
4. Chair Rail or Kick Plate Rail is Fastened with ¼" x 1 ½" x 1 11/16" Castle Clip or Internal U Clips or Blind Screwed w/ (4) ea #10 x ¾" SMS or TEK.
5. Kick Plate (If used) fastened with #10 x 1" SMS or TEK, 2'-0" O.C. Max and within 6" of Ends.
6. Screen Door Fastened with #10 x 1" SMS or TEK, 2'-0" O.C. Max and within 6" of Ends.
7. Fasten Receiving Channel to Fascia w/ #10 x 1 ½" S.M.S., TEK or Wood Screws (2) Per Rafter Tail & #10 x ¾" SMS or Wood Screws 12" O.C.
8. Alternate - Fasten Receiving Channel to Host Structure w/ 2 Rows of ¼" x 1-1/4" Masonry Screws @ 12" O.C. for Masonry Structures or 2 Rows #14 x 1 ½" S.M.S., TEK or Wood Screws (2) Per Rafter Tail & #10 x ¾" S.M.S., TEK or Wood Screws 12" O.C. for Frame Construction.
9. Fasten Insulated Roofing Panels to Receiving Channel (minimum or greater) w/ (3) ea #8 x ½" S.M.S. or TEK Top & Bottom – Apply Caulking to All Exposed Screw Heads. FLASH ACCORDINGLY. Fasten Roofing Panels to Ridge & Edge Beams (minimum or greater) w/ (4) ea. ¼" x 4" Lag Bolts w/ ¼" Fender Washers Per 4' Panel Across the Front and 24" O.C. Along Sides.
10. Anchor 1' x 2" Open Back Extrusion w/ ¼" x 2 ¼" Concrete Fasteners 2'-0" O.C. Max and within 6" of Ends.
11. All other site specific details provided.

**WILLIAMS ENGINEERING PLC**

FL CA #27412

**THOMAS C WILLIAMS, P.E.**

FL #54877

206 LIVE OAK ST.

NEW SMYRNA BEACH, FL 32166

**MILLERS SCREEN**

P.O. BOX 236179

PORT ORANGE, FL 32129-617

CRC 1330597

BRAGELLS

202 SUMMERHAZE CT.  
ORMOND BEACH, FL 32174

130 MPH WIND ZONE / EXPOSURE "C"

DRAWN BY: RICHARD TOWNSEND  
(386) 882 - 0509

ORIGINAL DATE: 3-31-16

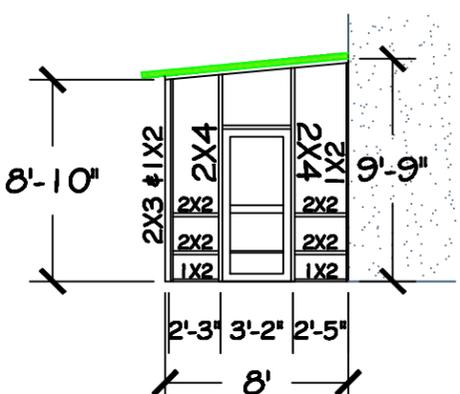
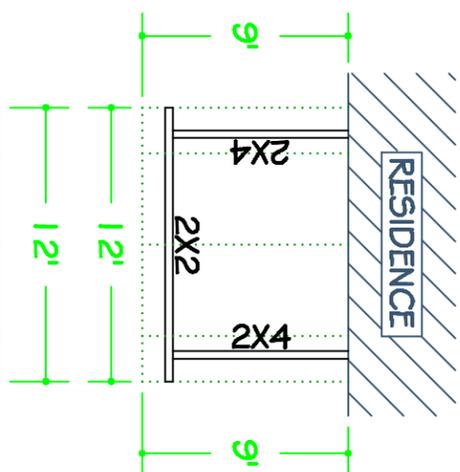
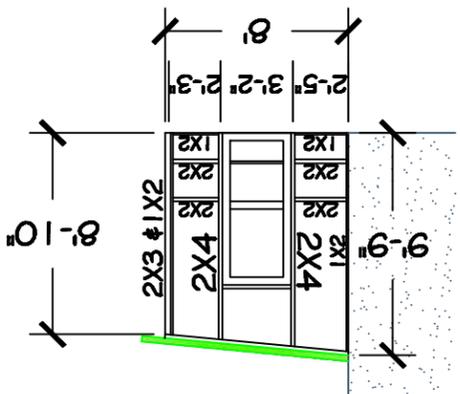
CHECKED BY: T.C.W.

SCALE: 1/8" = 1'

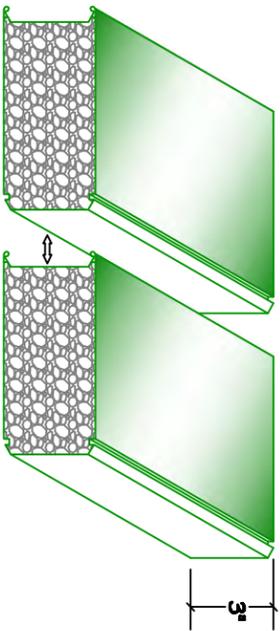
JOB No.

REV. No.      DATE:

REV. No.	DATE:



**COMPOSITE ROOF**



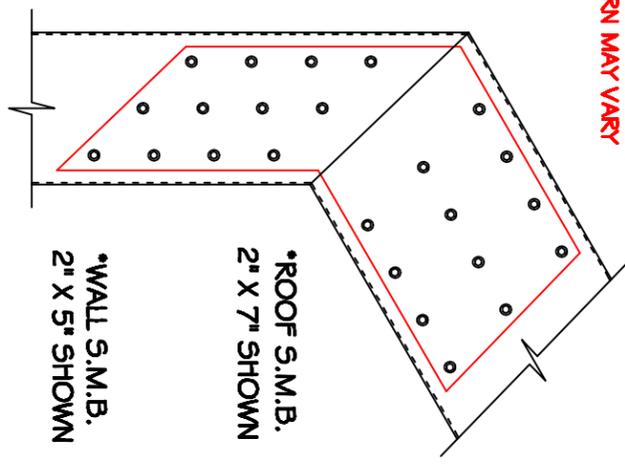
**COMPOSITE ROOF PANEL SYSTEM**  
3" X 48" X 0.024" THICK ALUMINUM  
3105 H-14 OR H-25 ALUMINUM ALLOY  
MIN. #1 DENSITY E.P.S. FOAM CORE

**EXISTING CONCRETE BY OTHERS.  
DOOR LOCATION DETERMINED IN THE FIELD.**  
FLORIDA BUILDING CODE 2014 (5TH EDITION)

THESE DRAWINGS ARE ONLY A GRAPHICAL REPRESENTATION AND SHOULD ONLY BE USED AS A GUIDE. INSTALLATION SHOULD BE DONE BY A LICENSED CONTRACTOR ONLY.

THE DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS HAVE BEEN PREPARED BY AND ARE OWNED BY, WILLIAMS ENGINEERING, P.L.C. EVERY ERROR HAS BEEN MADE TO ENSURE THAT THEY MEET ALL CLIENT AND/OR CONTRACTORS REQUIREMENTS. THEY SHALL NOT BE USED BY ANYONE OTHER THAN THE INTENDED CLIENT AND SHALL HAVE ONLY A ONE TIME USE. NO OTHER USE OR REPRODUCTION OF THESE DOCUMENTS SHALL BE DONE WITHOUT WRITTEN PERMISSION OF WILLIAMS ENGINEERING, P.L.C. IT IS THE RESPONSIBILITY OF THE CLIENT/ CONTRACTOR TO VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS IN THIS DOCUMENT. THE CLIENT/CONTRACTOR SHALL NOT HOLD WILLIAMS ENGINEERING, P.L.C. LIABLE FOR ANY ERRORS, OMISSIONS AND/OR DAMAGE.

• PATTERN MAY VARY



• ROOF S.M.B.  
2" X 7" SHOWN

• WALL S.M.B.  
2" X 5" SHOWN

• MAINTAIN 2d EDGE DISTANCE ON SCREWS

**GUSSET PLATE THICKNESS 0.125"**  
MINIMUM NUMBER OF SCREWS  
EACH SIDE OF SPLICE & EACH  
SIDE OF BEAM.

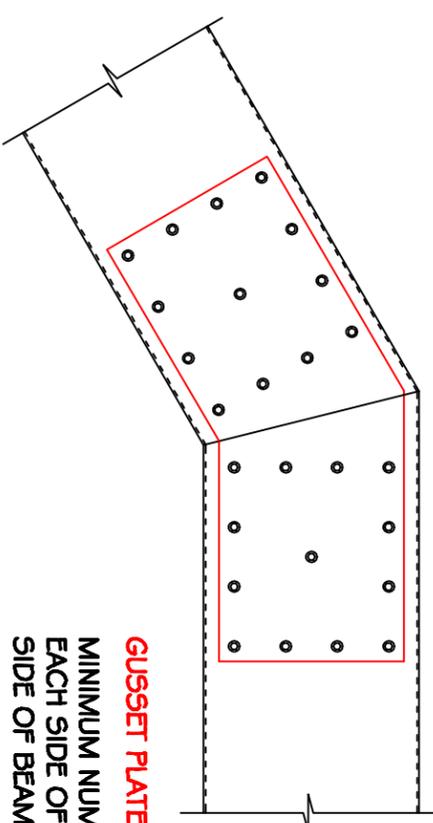
- 2X4 SMB (6) # 12 X 3/4" SMS
- 2X5 SMB (6) # 12 X 3/4" SMS
- 2X6 SMB (8) # 12 X 3/4" SMS
- 2X7 SMB (12) # 12 X 3/4" SMS
- 2X8 SMB (14) # 12 X 3/4" SMS
- GUSSET PLATE THICKNESS 0.25"**
- 2X9 SMB (16) # 12 X 3/4" SMS
- 2X10 SMB (18) # 12 X 3/4" SMS

• ALL FASTENERS ARE 5.5.

MOMENT CONNECTION ROOF TO WALL DETAILS

SCALE: 2" = 1'

• ROOF BEAM  
2" X 7" SHOWN



• PATTERN MAY VARY

**GUSSET PLATE THICKNESS 0.125"**  
MINIMUM NUMBER OF SCREWS  
EACH SIDE OF SPLICE & EACH  
SIDE OF BEAM.

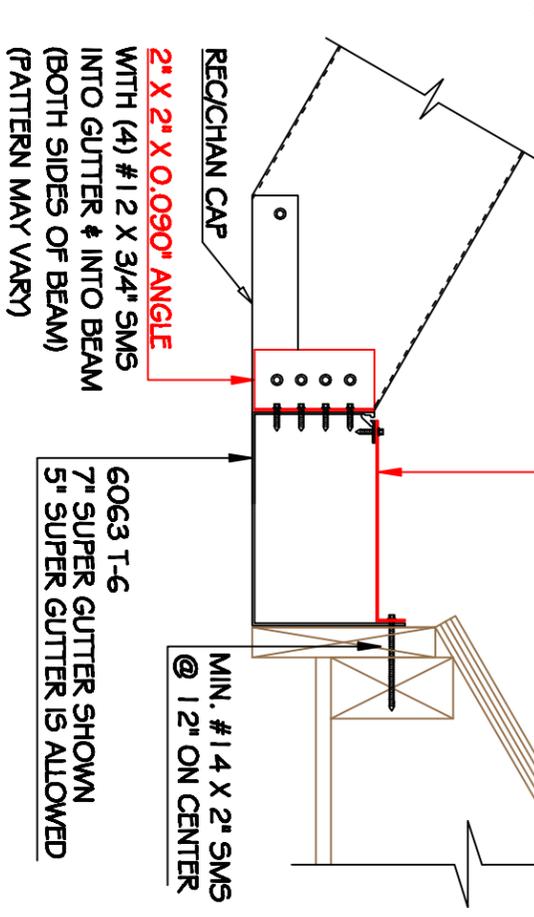
- 2X4 SMB (6) # 12 X 3/4" SMS
- 2X5 SMB (6) # 12 X 3/4" SMS
- 2X6 SMB (8) # 12 X 3/4" SMS
- 2X7 SMB (12) # 12 X 3/4" SMS
- 2X8 SMB (14) # 12 X 3/4" SMS
- GUSSET PLATE THICKNESS 0.25"**
- 2X9 SMB (16) # 12 X 3/4" SMS
- 2X10 SMB (18) # 12 X 3/4" SMS

• ALL FASTENERS ARE 5.5.

ROOF BEAM GUSSET PLATE DETAILS

SCALE: 2" = 1'

• ROOF BEAM  
2" X 7" SHOWN



**4" X 6-1/2" X 0.050" STRAP @**  
EACH BEAM CONNECTION AND  
@ 1/2 BEAM SPACING WITH  
(2) # 12 X 3/4" SMS PER STRAP.

RECCHAN CAP  
WITH (4) # 12 X 3/4" SMS  
INTO GUTTER & INTO BEAM  
(BOTH SIDES OF BEAM)  
(PATTERN MAY VARY)

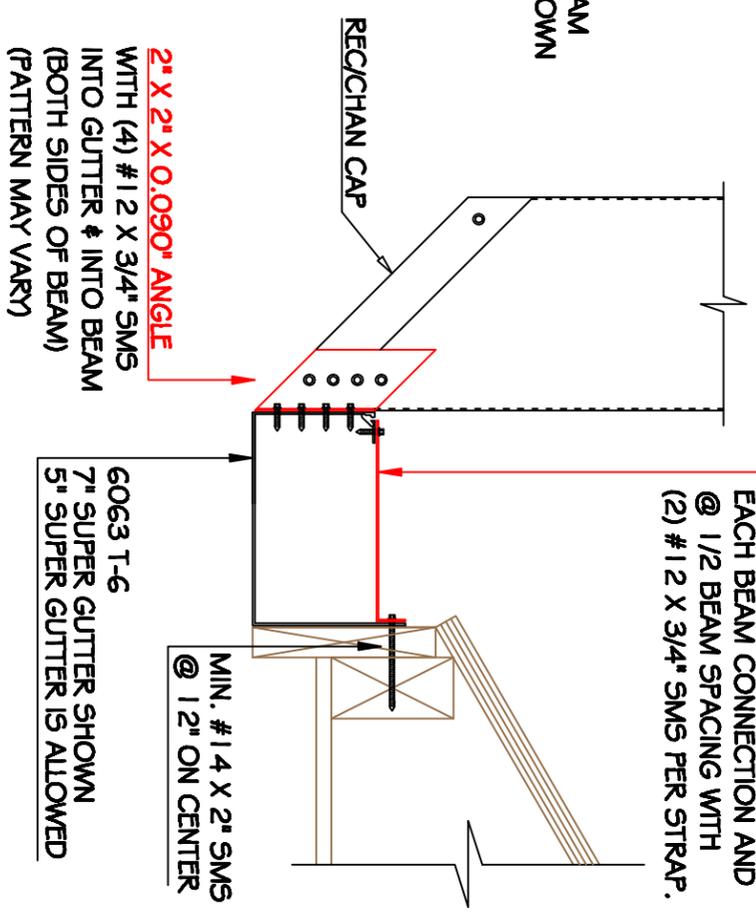
6063 T-6  
7" SUPER GUTTER SHOWN  
5" SUPER GUTTER IS ALLOWED

• ALL FASTENERS ARE 5.5.

ROOF BEAM TO GUTTER & GUTTER TO HOST DETAIL

SCALE: 2" = 1'

• ROOF BEAM  
2" X 7" SHOWN



**4" X 6-1/2" X 0.050" STRAP @**  
EACH BEAM CONNECTION AND  
@ 1/2 BEAM SPACING WITH  
(2) # 12 X 3/4" SMS PER STRAP.

RECCHAN CAP  
WITH (4) # 12 X 3/4" SMS  
INTO GUTTER & INTO BEAM  
(BOTH SIDES OF BEAM)  
(PATTERN MAY VARY)

6063 T-6  
7" SUPER GUTTER SHOWN  
5" SUPER GUTTER IS ALLOWED

• ALL FASTENERS ARE 5.5.

ALTERNATE TRANSOM UPRIGHT

SCALE: 2" = 1'



FLORIDA BUILDING CODE 2014 (5TH EDITION)

**MILLERS SCREEN**

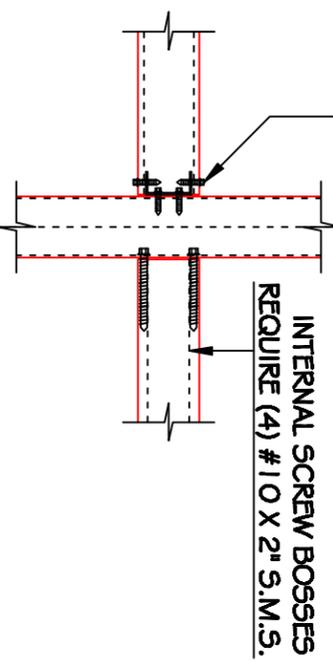
P.O. BOX 238179  
PORT ORANGE, FL 32123-817  
CRC 1330597

**WILLIAMS ENGINEERING PLC**

FL CA #27412  
**THOMAS C WILLIAMS, P.E.**  
FL #54877  
206 LIVE OAK ST.  
NEW SMYRNA BEACH, FL 32168



CHAIR RAIL OR WALL GIRTS ATTACHED TO BEAM OR POST WITH INTERNAL U<sup>1</sup> CHANNEL WITH MIN. (4) #12 S.M.S.



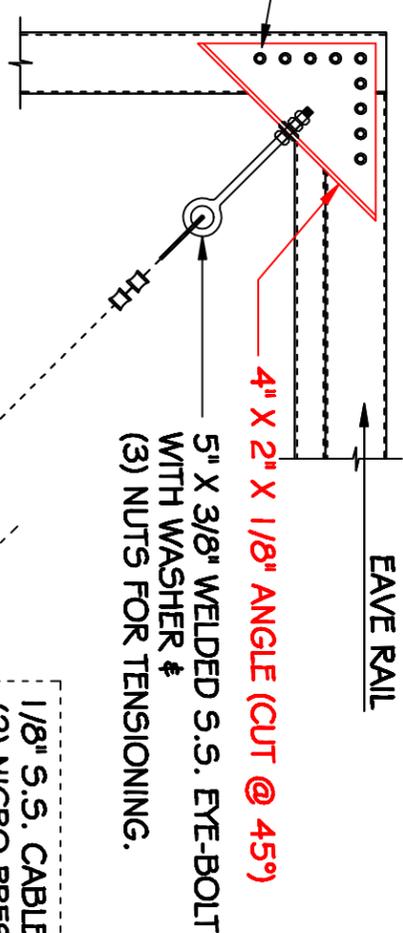
INTERNAL SCREW BOSSSES REQUIRE (4) #10 X 2" S.M.S.

SECONDARY CONNECTION FOR SOLID POSTS. PRIMARY CONNECTION FOR ACCESSIBLE SCREW BOSSSES

• ALL FASTENERS ARE S.S.

GIRT TO POST OR PURLIN TO BEAM ATTACHMENT SCALE: 2" = 1'

ATTACHED WITH A MIN. (7) #12 S.M.S.



EAVE RAIL

4" X 2" X 1/8" ANGLE (CUT @ 45°)

5" X 3/8" WELDED S.S. EYE-BOLT WITH WASHER & (3) NUTS FOR TENSIONING.

1/8" S.S. CABLES WITH (2) MICRO PRESSES @ EACH END.

S.S. PAD EYES / SADDLES MAY BE USED IN PLACE OF 2" X 6" X 1/8" PLATE WHERE NECESSARY.

2" X 6" X 1/8" PLATE W/ (2) 1-1/2" TAPCONS MAINTAIN 5d ON CONCRETE EDGES.

1/8" S.S. CABLE ATTACHMENT TO ENCLOSURE AND CONCRETE

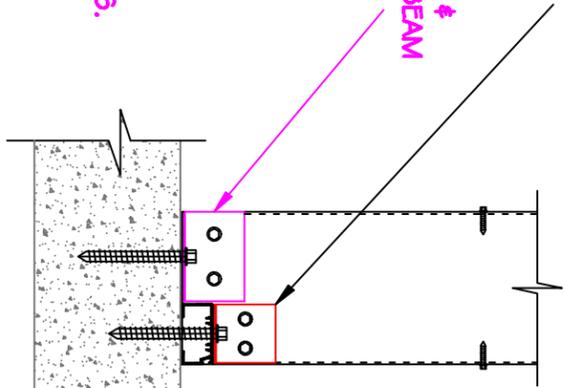
• ALL FASTENERS ARE S.S.

SCALE: 2" = 1'

2" X 2" X 0.063" ANGLES ANCHORED TO UPRIGHT WITH (2) #12 X 3/4" S.M.S. AND INTO CONCRETE WITH (1) 1/4" X 2 1/4" TAPCONS. (BOTH SIDES OF UPRIGHT)

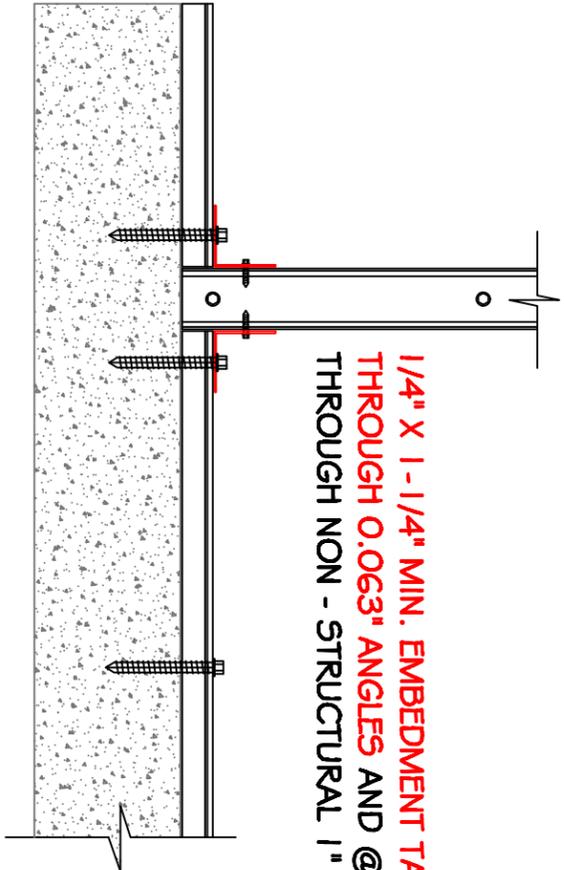
MINIMUM NUMBER OF TAPCONS INTO CONCRETE & #12 X 3/4" S.M.S. INTO UPRIGHT EACH SIDE OF BEAM THROUGH SECONDARY 2" X 2" X 0.063" ANGLES. SEE BELOW

- 2X4 SMB (1) 1/4" X 1 3/4" TAPCON & (2) #12 X 3/4" S.M.S.
- 2X5 SMB (1) 1/4" X 1 3/4" TAPCON & (2) #12 X 3/4" S.M.S.
- 2X6 SMB (2) 1/4" X 1 3/4" TAPCON & (3) #12 X 3/4" S.M.S.
- 2X7 SMB (2) 1/4" X 1 3/4" TAPCON & (4) #12 X 3/4" S.M.S.
- 2X8 SMB (3) 1/4" X 1 3/4" TAPCON & (5) #12 X 3/4" S.M.S.
- 2X9 SMB (4) 1/4" X 1 3/4" TAPCON & (6) #12 X 3/4" S.M.S.
- 2X10 SMB (5) 1/4" X 1 3/4" TAPCON & (7) #12 X 3/4" S.M.S.



IF PAVERS ARE ADDED ON TOP OF CONCRETE ANCHOR LENGTH MUST BE INCREASED TO ACHIEVE 1-1/4" MIN. EMBEDMENT INTO CONCRETE SLAB. THROUGH ANGLES ATTACHED TO UPRIGHT ONLY.

1/4" X 1-1/4" MIN. EMBEDMENT TAPCONS THROUGH 0.063" ANGLES AND @ 24" MAX. ON CENTER THROUGH NON-STRUCTURAL 1" X 2" X 0.044" SOLE PLATE



• ALL FASTENERS ARE S.S.

2X4 OR LARGER POST TO DECK DETAIL

SCALE: 2" = 1'

FLORIDA BUILDING CODE 2014 (5TH EDITION)

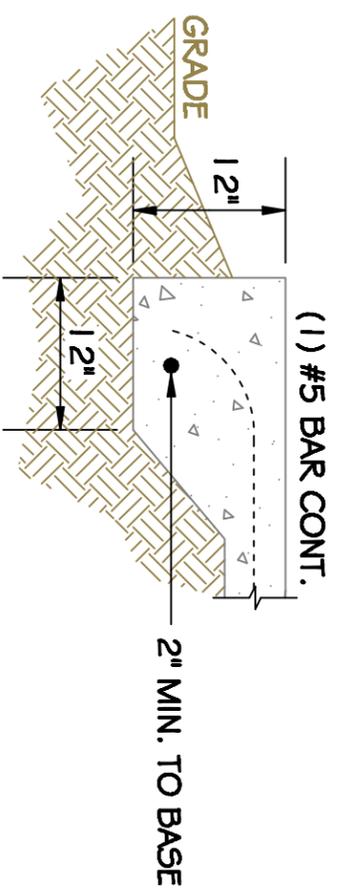
**MILLERS SCREEN**

P.O. BOX 238179  
PORT ORANGE, FL 32123-817  
CRC 1330597

**WILLIAMS ENGINEERING PLC**

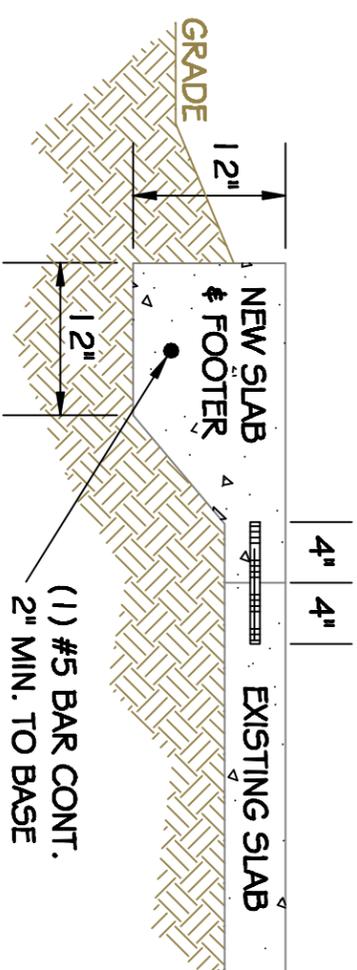
FL CA #27412  
**THOMAS C WILLIAMS, P.E.**  
FL #54877  
206 LIVE OAK ST.  
NEW SMYRNA BEACH, FL 32168



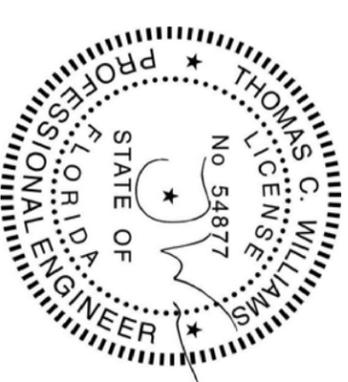


PROPOSED CONCRETE SLAB AND FOOTER

#30 BAR DRILLED & EPOXY SET A MIN. 4" INTO EXISTING SLAB  
& A MIN. 4" INTO NEW SLAB @ 6" FROM EACH END & @ 48" O.C.



PROPOSED CONCRETE SLAB AND FOOTER ATTACHMENT TO EXISTING SLAB



FLORIDA BUILDING CODE 2014 (5TH EDITION)

**MILLERS SCREEN**

P.O. BOX 238179  
PORT ORANGE, FL 32123-817  
CRC 1330597

**WILLIAMS ENGINEERING PLC**

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FL #54877  
206 LIVE OAK ST.  
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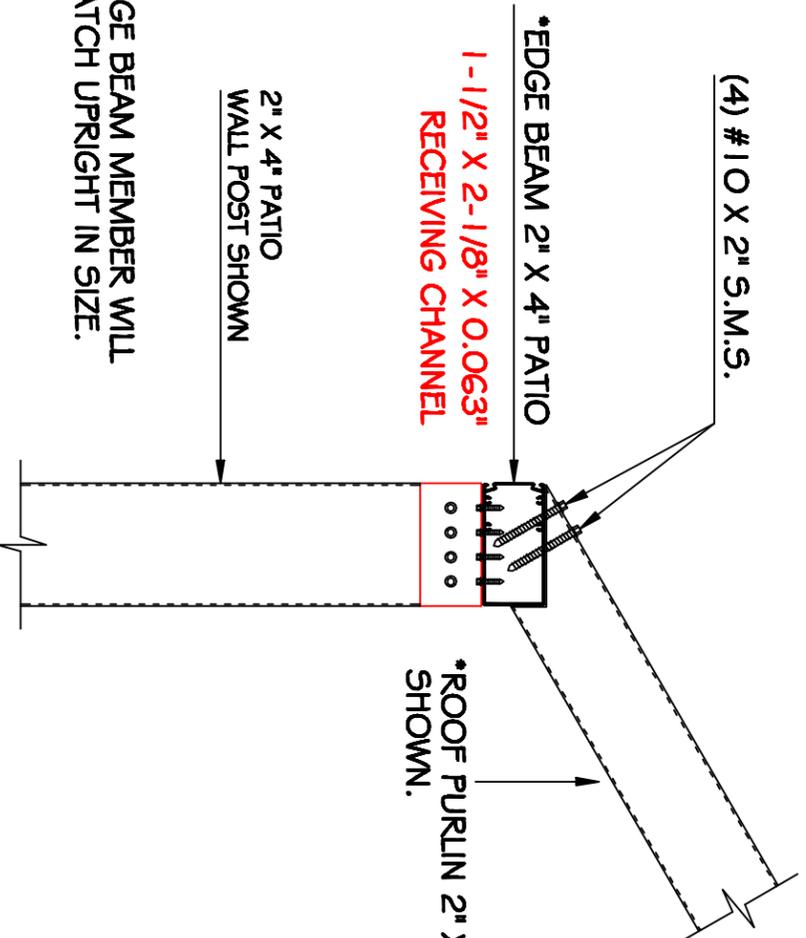
(4) #10 X 2" S.M.S.

\*EDGE BEAM 2" X 4" PATIO  
1-1/2" X 2-1/8" X 0.063"  
RECEIVING CHANNEL

\*ROOF PURLIN 2" X 3"  
SHOWN.

2" X 4" PATIO  
WALL POST SHOWN

EDGE BEAM MEMBER WILL  
MATCH UPRIGHT IN SIZE.



\* ALL FASTENERS ARE 5.5.

ROOF PURLIN TO EDGE BEAM & SIDE WALL CONNECTION DETAIL

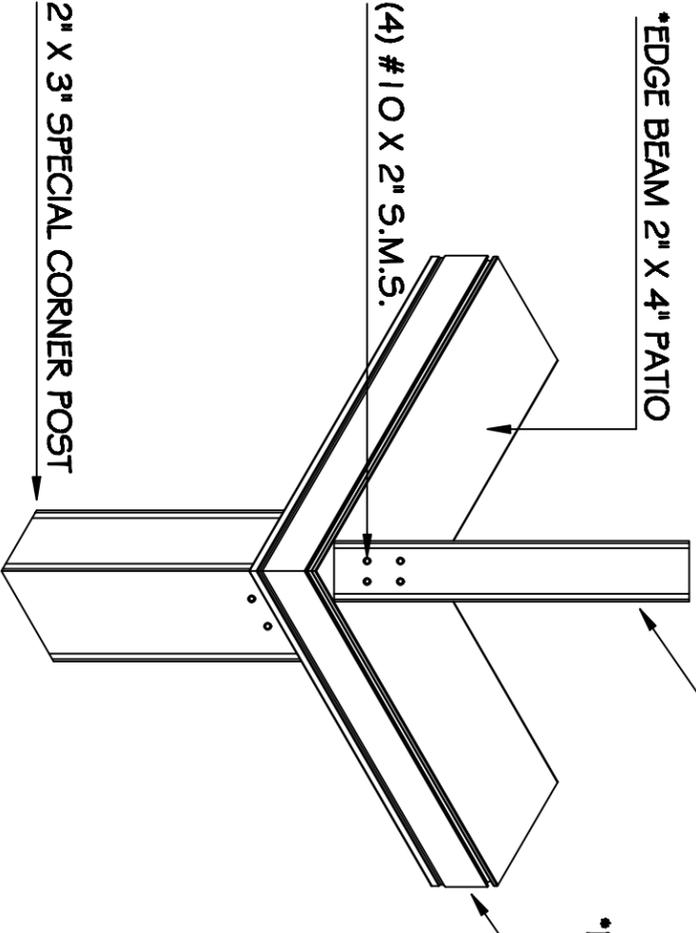
SCALE: 2" = 1'

- Notes:
1. The foundations shown are based on a minimum soil bearing pressure of 1,500 psi. Bearing capacity of soil shall be verified, prior to placing the slab, by field soil test or a soil testing lab.
  2. The slab / foundation shall be cleared of debris, roots, and compacted prior to placement of concrete.
  3. No footing other than 3-1/2" (4" nominal) slab is required except when addressing erosion until the projection from the host structure of the carport or patio cover exceeds 16'-0". Then a minimum of a Type II footing is required. All slabs shall be 3-1/2" (4" nominal) thick.
  4. Monolithic slabs and footings shall be minimum 2,500 psi concrete with 6 x 6 - 10 x 10 welded wire mesh or crack control fiber mesh: Fibermesh ® Mesh, InForce™ e3™ (Formerly Fibermesh MD) per manufacturer's specification may be used in lieu of wire mesh.
  5. If local building codes require a minimum footing use Type II footing or footing section required by local code. Local code governs.





\*ROOF CORNER BRACE 2" X 3" SHOWN.



\*MEMBER SIZE VARIES

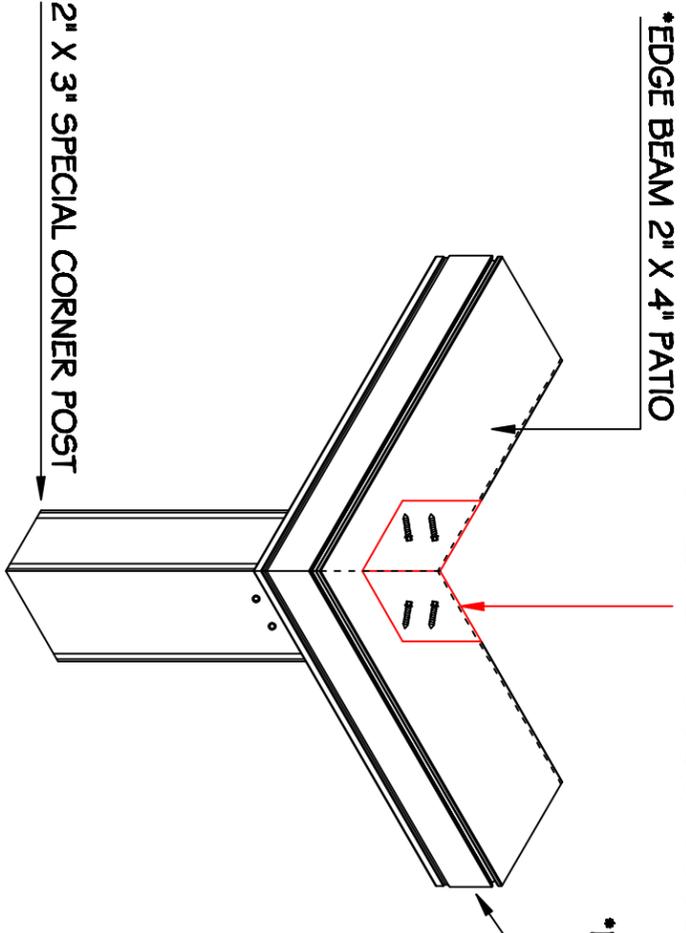
(4) #10 X 2" S.M.S.  
 \*EDGE BEAM 2" X 4" PATIO  
 POST WITH INTERNAL "U" CHANNEL  
 WITH MIN. (4) #12 S.M.S.

2" X 3" SPECIAL CORNER POST

1-1/2" X 2-1/8" X 0.063"  
 RECEIVING CHANNEL  
 (2) #12 X 3/4" S.M.S.

\*ROOF CORNER BRACE 2" X 3" SHOWN.

(2) #12 X 3/4" S.M.S. THROUGH 0.063" INTERNAL ANGLES EACH SIDE OF INSIDE CORNER.



\*MEMBER SIZE VARIES

(4) #10 X 2" S.M.S.  
 \*EDGE BEAM 2" X 4" PATIO

2" X 3" SPECIAL CORNER POST

1-1/2" X 2-1/8" X 0.063"  
 RECEIVING CHANNEL  
 4" X 2" X 1/8" ANGLE (CUT @ 45°)

\*ROOF CORNER BRACE 2" X 3" SHOWN.



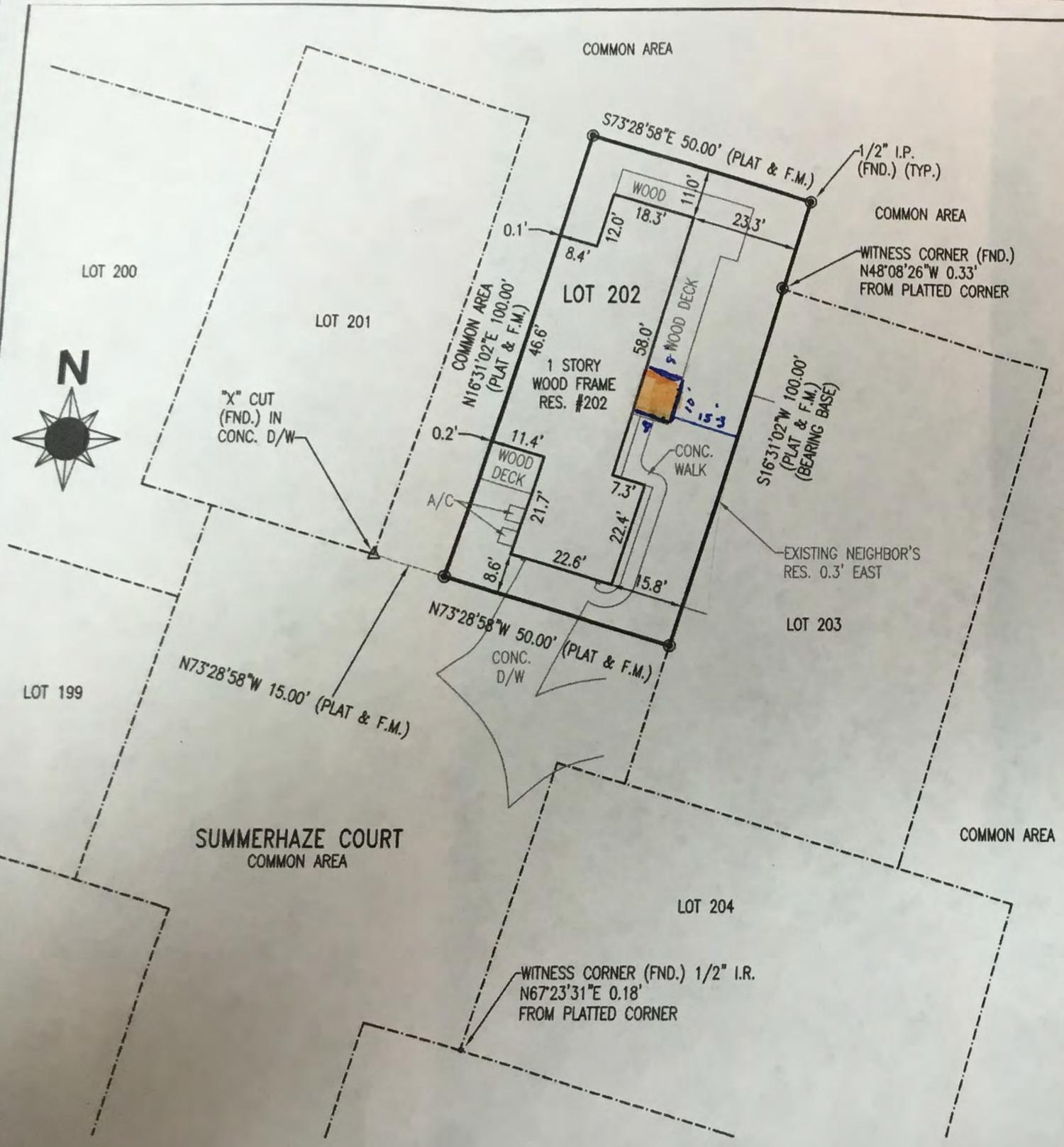
**WILLIAMS ENGINEERING PLC**  
 FL CA #27412  
**THOMAS C WILLIAMS, P.E.**  
 FL #54877  
 206 LIVE OAK ST.  
 NEW SMYRNA BEACH, FL 32169

\* ALL FASTENERS ARE 5.5.

CORNER BRACE TO WALL TOP

FLORIDA BUILDING CODE 2014 (5TH EDITION)

SCALE: 2" = 1'



REVISIONS

ELEVATIONS REFER TO  
 MINIMUM F.F.E. = (PER REQUIREMENTS)  
 FLOOD ZONE X COMMUNITY 125136 PANEL 12127C0213J 02-19-14.

- GENERAL NOTES:
1. DATE OF FIELD SURVEY: 04-13-16
  2. DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
  3. THIS SURVEY IS BASED ON EXISTING FIELD MONUMENTATION.
  4. NO UNDERGROUND FOUNDATIONS WERE LOCATED.
  5. NO UNDERGROUND UTILITIES WERE LOCATED EXCEPT AS SHOWN.
  6. BEARINGS REFERENCED TO THE EAST BOUNDARY LINE OF LOT 202, BEING S16°31'02"W
  7. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.
  8. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF AN ABSTRACT. THERE MAYBE ADDITIONAL EASEMENTS, RESTRICTIONS AND/OR OTHER MATTERS NOT SHOWN THAT COULD AFFECT THIS PROPERTY THAT MAYBE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
  9. LEGAL DESCRIPTION FURNISHED BY CLIENT.

LEGAL DESCRIPTION (AS FURNISHED):

LOT NUMBER(S): 202 BLOCK NUMBER: SUB'N.: TYMBER CREEK PHASE II  
 MAP BOOK: 35 PAGE(S): 116-126 PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.  
 ADDRESS: 202 SUMMER HAZE CT ORMOND BEACH 32174 VOLUSIA COUNTY, FLORIDA.

LEGEND / ABBREVIATIONS:

..... ASPH.	ASPHALT	F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
A.S.	ALUMINUM SHED	EASE.	EASEMENT
A/C	AIR CONDITIONER	F.F.E.	FINISHED FLOOR ELEVATION
A/U	AERIAL UTILITIES	F.M.	FIELD MEASURED
BLDG.	BUILDING	FND.	FOUND
BLVD.	BOULEVARD	F.P.L.	FLORIDA POWER & LIGHT
CALC.	CALCULATED	I.P.	IRON PIPE
C.L.F.	CHAIN LINK FENCE	I.R.	IRON ROD
C.M.	CONCRETE MONUMENT	M.B.	MAP BOOK
CMP	CORRUGATED METAL PIPE	N.D.	NAIL & DISC
CONC.	CONCRETE	(N.R.)	NON-RADIAL
DESC.	DESCRIPTION	O.R.	OFFICIAL RECORDS BOOK
		P.C.P.	PERMANENT CONTROL POINT
		PG.	PAGE
		PLAT	PLAT DATA
		P.O.B.	POINT OF BEGINNING
		P.O.C.	POINT OF COMMENCEMENT
		PP	POWER POLE
		PRO.	PROPOSED
		RCP	REINFORCED CONCRETE PIPE
		R/W	RIGHT OF WAY
		(R)	RADIAL
		RES.	RESIDENCE
		S/W	SIDEWALK
		TYP.	TYPICAL

BOUNDARY SURVEY

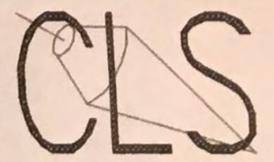
SURVEYOR'S CERTIFICATION:  
 I HEREBY CERTIFY THAT THIS SURVEY OF THE SUBJECT PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, AS SURVEYED IN THE FIELD UNDER MY SUPERVISION ON THE DATES SHOWN HEREON. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH IN FLORIDA ADMINISTRATIVE CODE CHAPTER 5J17, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS, PURSUANT TO FLORIDA STATUTES SECTION 472.027, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

GREGG S. CULLUM P.S.M. #5095

DATE:

*Handwritten Signature* 4-13-16

**CULLUM LAND SURVEYING INC.**  
 GREGG S. CULLUM #5095  
 PROFESSIONAL SURVEYOR & MAPPER  
 LICENSED BUSINESS #7129  
 5889 S. WILLIAMSON BLVD.  
 SUITE 205  
 PORT ORANGE, FLORIDA 32128  
 386-761-7666  
 (FAX) 386-761-7909



PREPARED FOR: DESANTOLO, CARMINE A

NOT VALID UNLESS SIGNED BY A PROFESSIONAL SURVEYOR AND MAPPER AND SEALED WITH AN EMBOSSED SEAL

JOB #:	2016-042
DATE:	04-13-16
SCALE:	1" = 30'
DRAWN BY:	GSC
CHECKED BY:	GSC
FIELD BOOK/PAGE:	97-57
SHEET	1 OF 1