



A G E N D A
ORMOND BEACH PLANNING BOARD
Regular Meeting

February 14, 2013

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

- I. ROLL CALL**
- II. INVOCATION**
- III. PLEDGE OF ALLEGIANCE**
- IV. NOTICE REGARDING ADJOURNMENT**

THE PLANNING BOARD WILL NOT HEAR NEW ITEMS AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

- V. APPROVAL OF THE MINUTES:** December 13, 2012 and January 10, 2013.
- VI. PLANNING DIRECTOR'S REPORT**
- VII. PUBLIC HEARINGS**

A. SE 13-38: 294 South Yonge Street, TropiCasual Home and Patio: Special Exception for Outdoor Activity

This is a request submitted by Charles Hughes of TropiCasual Home and Patio, for a Special Exception to authorize an outdoor activity use. The outdoor activity application requests the permanent outdoor storage, display, and sales of merchandise under certain conditions at the TropiCasual Home and Patio store located at 294 South Yonge Street. The Special Exception applies only to the unit at 294 South Yonge Street and no other construction is proposed. The subject property is a unit within a larger retail area located at the northwest intersection of Division Avenue and South Yonge Street (US1).

B. PBD 13-03: 3 North Yonge Street, Sunoco, Planned Business Development Rezoning

This is a request by William Norris of C & R General Contractors, Inc., on behalf of Sunoco, Inc. for a rezoning from B-4 (Central Business) to (PBD) Planned Business Development at 3 and 9 North Yonge Street. The application seeks to demolish the existing convenience store and three bay service station with twelve fueling stations and re-construct a 3,159 square foot Sunoco convenience store with twelve fueling positions and associated site improvements.

C. PBD 13-02: 1546 West Granada Boulevard, Sunoco, Planned Business Development Rezoning

This is a request by William Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc. for a rezoning from B-7 (Highway Tourist Commercial) to (PBD) Planned Business Development at the southeast corner of the intersection of Interstate 95 and Granada Boulevard. The property addresses are 1546 and 1566 West Granada Boulevard. The application seeks to demolish the existing on-site building at 1566 West Granada Boulevard (former Waffle House) and construct a 3,159 square feet Sunoco convenience store with eight fueling dispensers (16 stations) and associated site improvements.

D. LUPA 12-099: 1608 N US Highway 1 (Days Inn/Scottish Inns), Small Scale Future Land Use Map Amendment

This is an administrative request as the result of annexation for approval of a Small Scale Land Use Map amendment for approximately ± 6.88 developed acres owned by Shantoshi, Inc. from Volusia County "Commercial" to Ormond Beach "Tourist Commercial".

E. LUPA 12-101: 1622 N US Highway 1 (Exxon/Burger King), Small Scale Future Land Use Map Amendment

This is an administrative request as the result of annexation for approval of a Small Scale Land Use Map amendment for approximately ± 1.15 developed acres owned by Aayush Corporation from Volusia County "Commercial" to Ormond Beach "Tourist Commercial".

F. LUPA 12-103: 1626 N US Highway 1 (Diary Queen), Small Scale Future Land Use Map Amendment

This is an administrative request as the result of annexation for approval of a Small Scale Land Use Map amendment for approximately ± 0.46 developed acres owned by Jon J. Welsch from Volusia County "Commercial" to Ormond Beach "Tourist Commercial".

G. RZ 12-100: 1608 N US Highway 1 (Days Inn/Scottish Inns), Rezoning

This is an administrative request as the result of annexation for approval of a rezoning for approximately ± 6.88 developed acres owned by Shantoshi, Inc. from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).

H. RZ 12-102: 1622 N US Highway 1 (Exxon/Burger King), Rezoning

This is an administrative request as the result of annexation for approval of a rezoning for approximately ± 1.15 developed acres owned by Aayush Corporation from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).

I. RZ 12-104: 1626 N US Highway 1 (Dairy Queen), Rezoning

This is an administrative request as the result of annexation for approval of a rezoning for approximately ± 0.46 developed acres owned by Jon J. Welsch. From Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).

VIII. OTHER BUSINESS**IX. MEMBER COMMENTS****X. ADJOURNMENT**

M I N U T E S
ORMOND BEACH PLANNING BOARD
Regular Meeting

December 13, 2012

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL 32174

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

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I. ROLL CALL

Members Present

Al Jorzak
Harold Briley
Pat Behnke
Rita Press
Doug Thomas
Doug Wigley
Lewis Heaster (Excused)

Staff Present

Richard Goss, AICP, Planning Director
Laureen Kornel, AICP, Senior Planner
Becky Weedo, AICP, Senior Planner
Meggan Znorowski, Recording Technician

II. INVOCATION

Mr. Jorzak led the invocation.

III. PLEDGE OF ALLEGIANCE

IV. NOTICE REGARDING ADJOURNMENT

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V. APPROVAL OF MEETING MINUTES: October 11, 2012

Mr. Briley moved to approve the minutes as submitted. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.

VI. PLANNING DIRECTOR'S REPORT

Mr. Goss stated that a meeting has been held with Main Street and FDOT regarding the median project beginning January 7, 2013, and the project will run for 105 days. Mr. Goss continued that after 105 days the landscaping will be placed. Therefore the project should be completed around June, 2013, for completion of the first two projects.

Mr. Goss explained that Steven Spraker, Senior Planner, has been working on obtaining easements for the underground utilities. Mr. Goss continued that approximately 56 need signatures and approximately 26 have been obtained. Ms. Goss stated that once all signatures are acquired that is when the underground utility project will begin.

Mr. Jorczak asked if traffic will be reduced to one lane each direction.

Mr. Goss responded no, they will keep both lanes open in both directions while constructing the medians which means the parking will be temporarily removed. Mr. Goss explained most of the work will be done at night; the day work will include the handicap accessibility improvements.

Mr. Goss explained that the meeting went well; there were 45 attendees including the contractor, FDOT, Mr. Spraker, and the Engineering Department, and everyone seemed to be on board and knew what was going to transpire.

Mr. Briley inquired if the business owners had been notified of the parking being temporarily removed.

Mr. Goss yes.

Mr. Goss stated there will be a neighborhood meeting for proposed 150' telecommunication tower behind BodEz by Houligan's in the rear, and the meeting is being held at the South Forty Clubhouse and Community Center on January 9, 2013 at 6:00 PM.

Ms. Press asked if the residents in the area have been notified.

Mr. Goss responded yes, it is required.

Mr. Goss stated there is also another neighborhood meeting on January 3, 2013, at 6:00 PM at 1275 W. Granada Boulevard, for a State Farm office building which will replace an old house beside the Vin Yard.

Ms. Press asked what the variance was for the property located on the corner of Williamson Boulevard and SR 40.

Mr. Goss replied it is a variance to replace the canopy at the gas station, and it was approved.

VII. PUBLIC HEARINGS

A. LUPA 12-116: 1433, 1435, 1437 and 1439 North US Highway 1 (MBA Business Center)- Small Scale Land Use Map Amendment.

Ms. Becky Weedo, Senior Planner, stated this is an administrative small scale Comprehensive Plan Land Use Map Amendment as a result of the recent annexation of the MBA Business Center located at 1433, 1435, 1437, and 1439 North US Highway 1. Ms. Weedo explained that since the property has been annexed, it is required to have a similar City Future Land Use assigned. Ms. Weedo continued that the current Volusia County Future Land Use is Commercial, and the most similar City Future Land Use designation is considered Low Intensity Commercial based on the location and existing uses in the area.

Ms. Weedo explained the orientation and location of the subject properties.

Ms. Weedo stated staff recommends that the Planning Board recommend approval to the City Commission of the proposed land use change from Volusia County Commercial to the Ormond Beach Low Intensity Commercial as described in the Planning Board packet.

Mr. Jorczak moved to approve LUPA 12-116 as presented. Mr. Briley seconded the motion. Vote was called, and the motion unanimously approved.

B. RZ 12-117: 1433, 1435, 1437, 1439 N US Highway 1 (MBA Business Center) Zoning Map Amendment.

Ms. Becky Weedo, Senior Planner, stated this is an administrative request to amend the City's Official Zoning Map for the MBA Business Center located at 1433, 1435, 1437, and 1439 North US Highway 1 from the existing zoning designation of Volusia County Mixed Plan Unit Development to the City of Ormond Beach Planned Business Development (PBD). Ms. Weedo explained that since the property has been annexed, it is required to have a similar City zoning classification assigned. Ms. Weedo continued that the primary reasons for choosing the PBD is that it is typically applied to developed annexed properties to make a project conforming that developed under different standards and to hold harmless the property owner since a designation of nonconformity can cause

issues with insurance and refinancing, and it allows flexibility upon such time that all or portions of the MBA Business Center is destroyed, the development would be permitted to be rebuilt at current City standards or go through the PBD amendment process.

Ms. Weedo explained the orientation and location of the subject properties on the zoning map.

Ms. Weedo stated staff recommends that the Planning Board recommend approval to the City Commission of the proposed rezoning from Volusia County Mixed Planned Unit Development to the Ormond Beach Planned Business Development as described in the Planning Board packet. Ms. Weedo explained the proposed rezoning classifications are contingent upon the approval of the future land use amendments.

Ms. Press asked if the annexed properties were paying the City for water and sewer as out-of-city buyers, now that they have been annexed does their rate decrease.

Ms. Weedo responded yes.

Ms. Press inquired as to how much it is reduced.

Ms. Weedo replied approximately 25% as well as the property tax millage rate being reduced.

Mr. Briley moved to approve RZ 12-117 as presented. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.

C. LUPA 12-118: 1-103 Bella Vita Way (Gardens at Addison)- Future Land Use Map Amendment- Expedited State Review Process.

Ms. Weedo stated this is an administrative Comprehensive Plan Land Use Map Amendment as a result of the recent annexation of Gardens at Addison located at 1-103 Bella Vita Way. Ms. Weedo explained that since the property has been annexed, it is required to have a similar City Future Land Use assigned. Ms. Weedo continued the current Volusia County Future Land Use is Commercial and Urban Medium Density, and the most similar City Future Land Use designation is considered Medium Density Residential for this 11.5 acre developed parcel.

Ms. Weedo explained the orientation and location of the subject properties.

Ms. Weedo stated staff recommends that the Planning Board recommend approval to the City Commission of the proposed land use change from Volusia County Commercial and Urban Medium Density to the Ormond Beach Medium Density Residential as described in the Planning Board packet.

Mr. Jorczak moved to approve LUPA 12-118 as presented. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.

D. LUPA RZ-119: 1-103 Bella Vita Way (Gardens at Addison)- Zoning Map Amendment

Ms. Becky Weedo stated this is an administrative request to amend the City's Official Zoning Map for the Gardens at Addison located at 1-103 Bella Vita Way from the existing zoning designation of Volusia County Mixed Plan Unit Development to the City of Ormond Beach Planned Residential Development (PRD). Ms. Weedo explained that since the property has been annexed, it is required to have a similar City zoning classification assigned.

Ms. Weedo explained the orientation and location of the subject properties on the zoning map.

Ms. Weedo stated staff recommends that the Planning Board recommend approval to the City Commission of the proposed rezoning from Volusia County Mixed Planned Unit Development to the Ormond Beach Planned Residential Development as described in the Planning Board packet. Ms. Weedo explained the proposed rezoning classifications are contingent upon the approval of the future land use map amendments.

Mr. Briley moved to approve RZ 12-119 as presented. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.

E. LDC 13-21: Land Development Code Amendment, Mobility Fees

Mr. Goss stated that in February 2011, the Planning Board was presented with a mobility fee designed to replace the Volusia County Roadway Impact Fee. The Planning Board was told that in no event would the City assess the mobility fee and the Volusia County Road Impact Fee together. For the past two years, the City has attempted to gain an exempt status from the Volusia County Road Impact Fee based upon SB 360ER. The city has been unsuccessful in this regard.

Mr. Goss explained that when this was brought before the Board previously it was presented as a fee based upon \$77 per person trip. The mobility fee would have three components: roads, transit, and non-motorized. It would be assessed in the Transportation Concurrency Exception Areas (TCEA) established by Ordinance 10-48A for SR 40, A1A, and US Highway 1. Ormond Crossings is under a TCEA, but governed by a separate ordinance under the Development Agreement; therefore, the mobility fee would not apply to Ormond Crossings or outside of the TCEA.

A needs analysis was drafted, which projected the number of new development trips into 2025. Mr. Goss explained how the fee was derived, the fee calculation, and the land uses that will benefit from the mobility fee. Most land uses will save

25-50% through the mobility fee and these reductions should be incentives o redevelopment on the corridor.

Mr. Goss stated for the uses that would have increases such as single family, they are not promoted uses along the three corridors. However, the City is trying to promote multi-family, and along A1A, hotels/motels, and for those uses the cost would go up, but minimally. Mr. Goss explained the benefits of the mobility fee outweigh any negatives for the land uses where the cost has gone up.

Mr. Jorczak asked if the fees will be fixed through 2025.

Mr. Goss responded no. Periodically the fees will be updated and indexed as costs come back from Votran, and as sidewalks are completed or added. Mr. Goss explained this fee is based upon the projects on the capital improvement element list.

Mr. Goss explained the formula for calculating the mobility fee. Mr. Goss stated for road impact fees rarely do you give credit for pass-by trips or captured trips, and if you do it is not typically more than 20%. However with the mobility fee uses are given a deduction, many of which exceeds 20%, which is another incentive; therefore, only net new trips are assessed. Mr. Goss continued that every land use has a capture rate, and some of the capture rates are as low as 8 and some are as high 75%.

Mr. Goss explained the fee allocation is split between transit, non-motorized, and roads. Mr. Goss stated the fee of \$16.00 per person trip will be allocated by the percentages among those three components at the time of building permit issuance.

Ms. Press asked for clarification that the roads affected are A1A, SR 40, and US Highway 1, and if this is for redevelopment as there is not much room for new development.

Mr. Goss responded the mobility fee would apply to SR 40 from A1A to Williamson Boulevard; US 1 from Wilmette to the southern city boundary line; and A1A from SR40 to the southern city boundary line, and yes this is for redevelopment. Mr. Goss explained if someone demolished a building to expand, they would get credit for what they had and the rest would follow the mobility fee calculation.

Ms. Press asked if they would pay impact fees.

Mr. Goss answered the City's road impact fee will apply as presently adopted outside of the TCEAs. Volusia County road impact fee remains applicable for all state and county roads within the city regardless of the TCEA status.

Ms. Press inquired as to where this money goes, and how this involves Votran.

Mr. Goss indicated the funds would be used to support Votran to improve transit amenities and expand frequency of service on US 1, A1A, and SR40; assist the city to construct trails; implement the Elementary School pedestrian/bike safety improvements studies, enhance existing sidewalks by widening the existing width from 5 feet to 8 feet and, implement sidewalk connectivity from existing residential neighborhoods to transit stops, commercial shopping areas, public parks/recreation facilities and other public facilities such as the library. On this latter point, Mr. Goss reminded the Planning Board of the interrelatedness of these planning efforts by pointing out that missing sidewalk connectivity was one of the criteria presented to the Planning Board in support of the US 1 Finding of Necessity.

Mr. Goss continued by explaining that the road money is not to for expanding road capacity. The City Commission has never wanted to widen the three corridors, so officially it is constrained politically, environmentally, or because of right of way costs exceeds costs of the road construction. Mr. Goss explained that the idea was to accomplish a way to provide efficiency improvements which are typically at intersections. Mr. Goss explained how it could be done: the \$300,000 can be used as a match to TPO for signal improvements such as a timing system. Currently only 12 signals are being done, the other 12 could be done using this money as the match to the TPO.

Mr. Goss stated outside of the TCEAs road impact fees are assessed is for capacity improvements, but not in these three corridors.

Ms. Press asked where most of the money comes from to repair streets.

Mr. Goss responded that road impact fee or mobility fee money cannot be used for the maintenance of roads; that is regular R&R which comes out of the General Fund.

Mr. Goss explained that the \$2,715,000–projected to be collected to 2025 seems small, it can be used to match funds for a lot of the improvements thereby getting more bang for the buck. Mr. Goss stated previously all of the improvements were going to be done by the City. Mr. Goss explained the mobility fee is an economic development incentive; it costs less, but at the same time it keeps the Transportation Concurrency Exception Area (TCA) intact should future legislation dictates stronger concurrency measures.

Mr. Jorczak moved to approve LDC 13-21 as presented. Mr. Briley seconded the motion. Vote was called, and the motion unanimously approved.

F. LDC 13-24: Land Development Code Amendment, Doggie Dining

Mr. Goss stated this is an LDC amendment to permit Doggie Dining. Mr. Goss explained that §509, Fla. Stat. requires it to be in the Land Development Code, and essentially it is an enabling ordinance which permits a restaurant to apply for a doggie dining license to allow patrons to have dogs on premises if they have

separately designated outdoor seating areas and the applicant meets the rest of the criteria in the statute. Mr. Goss explained that what is proposed is to delete Section 257, which separates all of the different types of restaurants by type and replace it with a table. Mr. Goss stated if they have outdoor dining all restaurant types can have doggie dining subject to a license.

Mr. Goss stated that at the workshop with the City Commission the criteria proposed are required. Local government may adopt additional requirements that must be met to obtain a permit but Mr. Goss stated that the only thing he did add was a hold harmless clause for the City because essentially what is being done is enabling a restaurant to allow this to occur, so if there are issues between dogs, a dog bites a patron, or the like, the restaurant will hold the City harmless meaning the restaurant will be liable, not the City.

Mr. Goss stated there is a companion amendment, which is a fee ordinance. The license will be \$100, and they have to have an inspection to make sure they meet the criteria and that fee is \$45.

Ms. Press asked what will be inspected, and offered the example of sanitizer.

Mr. Goss responded exactly, and that they have the proper signs and such. Mr. Goss explained the applicant will file their application with all of the requirements, and before the license is issued there will be an inspection. Mr. Goss continued if they pass the inspection the license is good for one year. Mr. Goss explained if they fail, they have to pay another \$35 for another inspection.

Ms. Press asked if anyone will be inspecting during the one-year period.

Mr. Goss responded only if there are complaints, as it is then a code enforcement issue.

Mr. Briley asked if they are only required to adopt the requirements if they adopt the ordinance and the City is not required to adopt the ordinance.

Mr. Goss responded that is correct, the City is not required to do anything. Mr. Goss explained that in order to allow doggie dining, an ordinance has to be passed laying out the license and requirements of the statute.

Mr. Briley stated his concerns are the bites and fights, and no one would want to listen to begging or barking dogs.

Ms. Behnke stated she would sooner hear a dog bark as a baby scream because she has had meals ruined because of babies screaming.

Mr. Briley asked who is to know that the dogs come to the restaurants are even vaccinated as well as the issues of waste removal and the health issues. Mr. Briley also inquired as to who is responsible for picking up the waste because the staff at a restaurant have enough to worry about with spilled dishes.

Mr. Goss responded that if the City finds they are in violation twice, they lose their license for 160 days.

Mr. Briley asked if it can be dictated what type of ground surface they can have such as concrete because concrete is porous, so if a dog has an accident how would that be cleaned.

Mr. Goss responded he hadn't gotten into the cleanliness of floors. Mr. Goss stated that he did get a call from Jonathan Murblock and Mr. Murblock wanted him to convey that he is resident who likes to take his wife out to dinner and finds bringing dogs to restaurants to be intrusive and is afraid of dog bites and fights. Mr. Murblock wanted to be sure his name was on record that objects to this amendment.

Mr. Goss stated he knows there are issues, but there are a number of cities that have proven this works.

Mr. Briley stated he sees a myriad of problems with this, and has seen places that allowed dogs until they barked and then posted a "no pets" sign.

Mr. Goss stated that restaurant was in violation of state statute if it was in Ormond Beach.

Mr. Briley added he sees the potential to have a lot of problems with something like this and he doesn't see the need to open the City up for it.

Mr. Wigley asked if Mr. Goss stated there was a separate area in addition for doggie dining.

Mr. Goss replied first there has to be an outdoor seating area, and the outdoor seating area where the dogs are going to needs to be separated from the other outdoor seating area. Mr. Goss explained it is up to the restaurant as to how they do it, some will put a fence up with a sign that says doggie dining or dogs allowed with cleansers. Mr. Goss stated when it is inspected it has to be separate and meet all of the requirements.

Ms. Press asked why this has been brought to the Board, did someone come in and wanted this done.

Mr. Thomas responded because the City Commission directed staff to.

Mr. Goss responded yes, there has been one gentleman and he organized a number of people to sign a petition as well as restaurants.

Ms. Press asked if he owned a restaurant.

Mr. Goss responded he does not believe so; he believes the gentleman takes his dog places.

Ms. Behnke stated she has been to a good portion of Europe and people take their dogs to restaurants all the time, and they don't interfere with other people. Although Ms. Behnke stated she can't say there has never been an incident where someone was bitten, but people get people get bit in parks by dogs on a leash, so there is no guaranty that any dog won't bite. Ms. Behnke stated she approves of this amendment, and feels it is an option business owners should have. Ms. Behnke added that we have a lot of people traveling through and they cannot take their dogs on the beach even in a vehicle they are not permitted, and therefore a lot of people don't get to go on the beach because they cannot leave a dog in a hot car. Ms. Behnke continued she knows it works, and has seen it work. Ms. Behnke stated on Page 5, Item 11, fourth line, in the table there is a typo: it states "September 155h" and it should read "September 15th".

Mr. Briley stated he agreed with Ms. Behnke that dogs should be allowed on the beach.

Mr. Thomas stated people can go to Flagler Beach to eat and take their dogs to the beach.

Ms. Behnke added yes, they can spend their money there instead of Volusia County.

Mr. Jorczak stated if a business wants to take advantage of something the state has taken the time to research and create, they should have every right to take advantage of that; the Board should not deny that businessman to employ a state statute to do something he thinks will aid his business. Mr. Jorczak added, on the other hand, if a restaurant was to put doggie dining in, he would not personally go to that restaurant, he would find a restaurant with similar food where he wouldn't have to deal with dogs while he was eating. Mr. Jorczak stated he viewed it as a business decision that the owner makes that he feels would be beneficial, and if the City will provide the code enforcement to insure it complies with regulations then so be it.

Mr. Goss stated he believes the City Commission thinks the same way.

Ms. Press stated she thought perhaps she had a different view because she doesn't have a dog, but she asked other people about this issue and they all had very strong feelings. Ms. Press explained that those that have traveled to Europe told her they do it, and others told her it was the worst thing and would never eat in a restaurant with dogs. Ms. Press continued that she came to the meeting without having an opinion, but after listening to everyone she agrees with Mr. Jorczak. Ms. Press stated that the restaurant has doggie dining is taking on a big bite in the sense that insurance could go up, health inspection issues, and that he could lose money. Ms. Press expressed that she thinks the idea is ridiculous, however, a business owner should be able to so if he chooses.

Mr. Wigley stated he is not in favor of this item. Mr. Wigley asked who will be enforcing the set up.

Mr. Goss responded building inspectors will handle the inspections related to the licensing, but once they have their license and are operating, it will be handled by Neighborhood Improvement.

Mr. Thomas stated he owns a 128 pound dog and cannot imagine taking his dog to a restaurant; however, he agrees with Mr. Jorczak and Ms. Press. Mr. Thomas explained that if a business owner wants to do this that is his business.

Ms. Behnke moved to approve LDC 13-24 as presented. Mr. Jorczak seconded the motion. Vote was called: Mr. Briley against; Mr. Jorczak for; Ms. Press for; Mr. Wigley against; Ms. Behnke for; Mr. Thomas for. The motion carried.

G. LDC 12-112: Land Development Code Amendment, Site Signage

Steven Spraker, Senior Planner, presented the history of this item and the staff report for LDC 12-112.

Ms. Press asked what is being done about signs that are nonconforming; for example the sign across from Hull's.

Mr. Spraker responded nothing because there has been no action to trigger anything with that sign; when they redevelop the site they will have to remove the sign, but the City cannot make someone remove a sign just because the business closed. The trigger for the sign to be altered is site redevelopment or destruction of the sign. When an applicant comes in to redevelop the site is when the code is applied; the redevelopment is what causes the nonconformity to go away.

Mr. Jorczak asked if the sign is not structurally sound can the sign forcibly be taken down.

Mr. Spraker responded yes, if it is imminent risk to public safety. Mr. Spraker explained that the policy for nonconforming signs was not designed to be aggressive; there is no amortization schedule or set date that all nonconforming signs have to come into compliance. Mr. Spraker continued that the triggers are that the use changes, the sign is destroyed more than 50%, or vacancy for longer than 6 months; until one of those triggers happen, the sign stays.

Mr. Briley stated staff crafted what the Board and Commission directed them to.

Mr. Briley moved to approve LDC 12-112 as presented. Mr. Wigley seconded the motion. Vote was called, and the motion unanimously approved.

H. LDC 13-36: Land Development Code Amendment, Residential Rear Yard Setbacks

Steven Spraker, Senior Planner, stated this is an administrative request to amend Chapter 2, District and General Regulations, Article II, District Regulations of the Land Development Code to reduce the rear yard setback in certain residential

zoning districts to 20'. The rear yard setback amendments include the R-2.5, R-3, R-4, R-5, and R-6 zoning districts. Mr. Spraker presented the history and staff report for LDC 12-112.

Mr. Briley asked that if prior to 1992 all of R-3 was 20'.

Mr. Spraker responded R-3 alone was 20', and everything else was 25'.

Mr. Briley how often this is run into with permitting problems.

Mr. Spraker replied a lot, especially as people are building additions because if they look online and are not aware of the exemptions they go with 25' because that is what the code says. However, as you read further down in the zoning section it says less restrictive setbacks are acceptable as long as they were in effect at the time of plotting of the plat, which lends itself to a lot of confusion. Mr. Spraker explained that event absent that issue; staff feels a 20' setback is appropriate.

Mr. Briley asked if that applied to all of the zoning districts in the staff report.

Mr. Spraker responded that this amendment would for consistency's sake, but the Board can modify the amendment.

Mr. Wigley asked if the 20' setback is consistent with the County.

Mr. Spraker answered that he hadn't looked at the County's setbacks.

Mr. Thomas asked if it was 20' or 20% before 1978.

Mr. Spraker responded that it could have been 20% not to be less than 20'.

Ms. Behnke asked if reducing this setback creates problems with homes that are back to back having their backyards now reduced by 10'.

Mr. Spraker replied none that he is aware of.

Mr. Wigley asked if staff is recommending approval.

Mr. Spraker answered yes.

Mr. Wigley moved to approve LDC 13-36 as presented. Ms. Behnke seconded the motion. Vote was called: Mr. Jorczak for; Ms. Press for; Mr. Wigley for; Ms. Behnke for; Mr. Briley for; Mr. Thomas against. The motion carried.

VIII. OTHER BUSINESS

None.

IX. MEMBER COMMENTS

Mr. Jorczak asked when the studies are done for proposed changes to the corridors, is there software available that can create digital models of what the concepts could look like instead of taking staff time to take pictures and make it easier for the Board to visualize the concepts as well as give citizens the ability to grasp the concept better.

Mr. Goss responded yes an example is Google Sketch Up, which has the ability to layout buildings, streetscapes, and the like, but you would have to be trained in it. Mr. Goss explained the issue is it takes time to have the capacity to use the software; hiring someone has been discussed, but we're doing this on a shoestring budget. Unlike New Smyrna Beach, which hired consultants to do the Finding of Necessity (FON) and the plan, Ormond Beach staff did the FON. However, for US1, staff will do the work and hire out the pieces for graphics, and then those graphics or digital renderings can be imported into the document. Mr. Goss explained he is looking at using software called Mindmixer which doesn't cost much, but is a civic engagement tool where staff can ask questions and citizens can provide comments, feedback, and ideas.

Mr. Jorczak stated he was looking at it from the standpoint of stimulating our economic development.

Mr. Thomas asked what is going on with the Texaco.

Mr. Goss responded that the problem with that site is that there are a lot of constraints: overhead lines with easements on Nova Road and SR 40; an access easement that serves Burger King along the back of the property which requires Burger King's approval to move it; and large trees that are protected. Therefore, when you factor in those restrictions there is not much room to develop. Mr. Goss explained that staff had conceptually approved a plan for a bank that would have worked with some variances staff would have supported, but they did not come back; this is a difficult, tight site.

Mr. Thomas asked if the City could buy that and make it a park because it is the biggest eyesore in Ormond Beach.

Mr. Goss responded eventually it will be redeveloped.

Mr. Jorczak suggested a Votran bus stop.

Ms. Press stated she didn't think the City or the tax payers would be happy with that.

Mr. Goss advised the Board that he is working on the study for the communication towers; has been trying to get an RF engineer on board to do a propagation study for the entire city, but so far has been unsuccessful. However, all of the other work is being done in concert with IT. Mr. Goss stated he would

like to bring it before the Board as draft in a couple of months, perhaps through a workshop.

Mr. Briley stated he saw a nice article on the Bill Jones properties along Granada Boulevard, and he wanted to commend Highlander Corp on the awesome job they have done in the downtown. Mr. Briley added he looks forward to continuing serving with the Board.

Mr. Jorczak commented Austin Outdoors is doing a terrific job on the landscaping and medians.

X. ADJOURNMENT

The meeting was adjourned at 8:45 p.m.

Respectfully submitted,

Ric Goss, AICP, Planning Director

ATTEST:

Doug Thomas, Chair

Minutes transcribed by Meggan Znorowski.

M I N U T E S
ORMOND BEACH PLANNING BOARD
Regular Meeting

January 10, 2013

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL 32174

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

I. ROLL CALL

Meggan Znorowski, Recording Technician called the January 10, 2013, Planning Board meeting to order.

Members Present

Al Jorczak
Harold Briley
Pat Behnke
Rita Press
Doug Thomas
Doug Wigley
Lewis Heaster

Staff Present

Richard Goss, AICP, Planning Director
Steven Spraker, AICP, Senior Planner
Meggan Znorowski, Recording Technician

II. ADMINISTRATIVE ITEMS

A. Election of Chairperson

Ms. Znorowski called for nominations for chair.

Mr. Wigley nominated Doug Thomas for chair. Mr. Briley seconded the motion. Vote was called, and the nomination to elect Mr. Thomas chair was unanimously approved.

Election of Vice Chairperson

Mr. Thomas called for nominations for vice chair.

Mr. Jorczak nominated Harold Briley for vice chair. Mr. Heaster seconded the motion. Vote was called, and the nomination to elect Mr. Briley vice chair was unanimously approved.

B. Adoption of 2013 Rules and Procedures

Ms. Behnke moved to adopt the 2013 Rules and Procedures as submitted. Ms. Press seconded the motion. Vote was called, and the motion unanimously approved.

C. Adoption of 2013 Planning Board Calendar

Mr. Briley moved to adopt the 2013 Planning Board Calendar as submitted. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.

III. INVOCATION

Mr. Thomas led the invocation.

IV. PLEDGE OF ALLEGIANCE

V. NOTICE REGARDING ADJOURNMENT

NEW ITEMS WILL NOT BE HEARD BY THE PLANNING BOARD AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

VI. APPROVAL OF MEETING MINUTES: November 9, 2012

Mr. Jorczak moved to approve the minutes as submitted. Mr. Briley seconded the motion. Vote was called, and the motion unanimously approved.

VII. PLANNING DIRECTOR'S REPORT

Mr. Richard Goss, Planning Director, stated the City Commission acted favorably on the mobility fees, doggie dining, and approved (4-1) the Marshside rezoning, which will have its second public hearing the beginning of February. The Commission also approved all of the land use plan amendments to include the zoning amendment for Orchard Street.

Mr. Goss stated indicated, if there is no objection, that future minutes will be summaries of the staff report, but the Board's questions and comments will be captured in the minutes.

Mr. Thomas suggested that if a member has a comment that they feel needs to be conveyed to the Commission, the member should make that point known so that it can be conveyed.

Mr. Goss agreed that those comments would be conveyed in the minutes.

Ms. Press added that staff should be sure that indeed the Commission gets the minutes.

Mr. Goss responded that one of the problems in getting the minutes to the Commission is that staff has so many things to do; previously it was not someone in the office who did the minutes, but rather someone who only attended the meetings, took the minutes. Now it is done by staff and it takes more time because another board was added when the thought was that boards were being dissolved. Mr. Goss stated he understands the Board's concerns, and will be sure the essence of the Board's comments are captured.

Ms. Behnke asked if the minutes and such are sent electronically to the Commission.

Mr. Goss responded no, staff will attach them in Minute Traq, and sometimes staff will make a note in Minute Traq when the item is inputted 3 weeks in advance of the meeting that the minutes are not ready but will be attached at a later time or sometimes the draft minutes are provided because the final minutes cannot be attached until approved and signed by the Board.

Mr. Jorczak inquired if the voice record stays intact.

Mr. Goss responded yes.

VIII. PUBLIC HEARINGS

A. PBD 13-4: 460 South Atlantic Avenue, Sunoco, Planned Business Development Rezoning

Mr. Steven Spraker, Senior Planner, stated this is a request by Bill Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc. for a rezoning from B-7 (Highway Tourist Commercial) to (PBD) Planned Business Development at 460 South Atlantic Avenue. The application seeks to demolish the existing convenience store and eight fueling stations and re-construct a 2,455 square foot Sunoco convenience store with six fueling positions and associated site improvements. Mr. Spraker explained the location, history, orientation, and constraints of the subject parcel, and presented the staff report. Mr. Spraker stated staff is recommending approval.

Ms. Press asked if there will be new fuel tanks, and asked if this location would have generators in the event of a storm.

Mr. Spraker responded that there will be new fuel tanks as there are none currently at this location, and deferred to the applicant regarding the generators.

Ms. Behnke inquired about soil contamination at this site.

Mr. Spraker deferred to the applicant.

Mr. Jorczak inquired as to the location of the bus stop.

Mr. Spraker replied it will be located where the existing bus stop is, but will be an improved Votran bus shelter.

Mr. Rob Merrill, Esquire with Cobb & Cole, 150 Magnolia Avenue, Daytona Beach, attorney for the applicant, introduced Rolando Bethart and Clayton McCain with Sunoco; Peter Ma, Civil Engineer; and Bill Norris, General Contractor. Mr. Merrill stated the applicant has 3 sites in Ormond Beach, this being the first before the Board. Mr. Merrill stated they will rely on Mr. Spraker's report and exhibits attached thereto. Mr. Merrill responded the question about the generators by stating they have 8 large commercial generators that are mobilized in the event of an emergency to each site fitted with a switch gear which allows the generator to hook directly into the location; and addressed the tank question by stating the tanks had long ago been removed and remediated, and has been deemed clean by FDEP. Mr. Merrill stated redeveloping this site will be a huge benefit to beachside as it is a tourist area and having a modern convenience store facility within walking distance of many the resorts is a positive.

Ms. Behnke asked if the Board was only voting on the zoning.

Mr. Merrill responded that before the Board is a Planned Business Development (PBD) zoning meaning that the zoning and site plan being presented to the Board is what will be approved jointly.

Mr. Briley stated he was glad to see something being done to this site, and he has no issues with the waiver of the wall because of FPL's easement. Mr. Briley added that he approved of the signage being requested and had no issues with the canopy signage.

Ms. Press commended the staff with regards to the packet provided to the Board. Ms. Press stated the comments by the landscape architects, engineer, etc. were extremely helpful in understanding the project.

Mr. Heaster stated the project utilized the site well, but had concerns with the canopy sign because it could set a precedent. Mr. Heaster added that the location has excellent visibility without the canopy signs, and other than the canopy signs he thinks it will be an excellent addition to beachside.

Mr. Merrill responded that each PBD stands on its own, but in the last two years his office processed another new service station with canopy signs. Mr. Merrill continued that the canopy signs they are requesting are tasteful.

Ms. Behnke asked for clarification of the location for the trash containers on site and if it would be in a fenced in area.

Mr. Merrill indicated the location on the site plan and responded yes, it will be fenced in.

Ms. Behnke inquired if there were bollards in front of the store.

Mr. Bethart replied that there will be three bollards in front of the building where it constructed of glass.

Ms. Behnke inquired if the monument sign meets the visibility requirements.

Mr. Spraker responded yes, a sight triangle will be maintained; there may be a slight adjustment from the plans submitted for first review.

Mr. Briley inquired if the sight triangle standards would apply to the bus shelter.

Mr. Spraker responded that the details for the bus shelter were still being worked out.

Mr. Marvin Miller, Riverside Drive, thanked the Planning Board for the work it does, it is appreciated. Mr. Miller thanked Mr. Goss for streamlining the process for development, and stated he hoped this project gets streamlined. Mr. Miller stated he only wanted to know when the shovel is going to go in the ground because this site has been vacant for many years and it will be a great improvement and it will help business in the area.

Mr. Wigley stated he agreed with Mr. Heaster regarding the canopy signs. Mr. Wigley explained that other applicants have been turned down, and the Board tries to be fair and consistent in the applications that come before the Board. Mr. Heaster concluded by stating that the canopy signs are a deal breaker for visibility, and the City does not permit canopy signs.

Mr. Briley asked if Circle K asked for a canopy sign when they permitted their project.

Mr. Spraker responded that canopy signs are prohibited by the Code, but the Planned Business Development (PBD) allows for the negotiation of canopy signs. Mr. Spraker explained that Circle K was a straight approval and had no interest in applying for a rezoning to obtain the canopy signs; whereas other gas stations such as RaceTrac, wanted the canopy signs, went through the process, and were granted the canopy signage in the PBD rezoning.

Mr. Briley asked if Circle K had gone through this process could they have had canopy signs as well.

Mr. Spraker responded they could have.

Mr. Merrill stated that there won't be stonework and special treatments by the architect like are being proposed for this project and have already been completed on the RaceTrac site. Mr. Merrill stated the applicant wants the canopy sign exposure, the size has been whittled down to a very small tasteful one, and the applicant was required to do a number of things in exchange for the canopy signs; it was a negotiation process in the PBD. Mr. Merrill stated they are bringing more than they are asking for in his opinion. Mr. Merrill explained the canopy signs are a deal breaker for this site and it means that much to the applicant businesswise.

Mr. Wigley responded that it is a beautiful project, but the Board has gone round and round with signs.

Mr. Merrill explained that by definition, a PBD is a custom zoning, and precedent doesn't come into play.

Ms. Press stated she disagreed with Mr. Heaster and Mr. Wigley because this project looks very appealing. Ms. Press continued that she hates most signs, but does not see a problem with the canopy signs.

Mr. Jorczak stated he thought it was an excellent presentation, the project is needed in the area, and the signage is tasteful.

Mr. Thomas stated he likes when he can see a gas station down the road and he can tell what brand it is, and since A1A is tourist area, he views it as more of an informational consumer service. Mr. Thomas continued that since it is a PBD there is not a precedent being set, and that the project is a wonderful idea.

Mr. Goss stated he knows the Board is struggling between normal development that goes through site plan versus an applicant going through a PBD. Mr. Goss explained that staff struggles through it also, but staff looks at it this way: most developers come to staff meeting code, which is a minimum code and our minimum is the maximum to them. Mr. Goss continued that when an applicant goes for a PBD it is a negotiation process. Projects such as the Circle K could go through a PBD, but then they have to provide public benefits. Those upgrades offset the variations in code, which is why straight site review applicants have to comply with the code. Mr. Goss explained in this case the City is getting a much better project that exceeds the City's minimum code in many ways, and when you put all of that together and look at the public benefits, overall it offsets the variations in code, even though he understands the concern about treating everyone equitably and fairly, but it is not the same process.

Mr. Briley moved to approve PBD 13-4 as presented. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.

IX. OTHER BUSINESS

None.

X. MEMBER COMMENTS

Mr. Wigley requested there be a rotation for the invocation.

Ms. Press asked if community gardens had ever been discussed in Ormond Beach because she thinks a community garden is a great idea.

Mr. Goss responded that the City has considered community gardens on City property, but it came down to many of the properties not having access to reuse water and the liability issue.

Mr. Thomas agreed with Ms. Press, and added that it could be done at the airport when reuse water comes to that area.

Mr. Goss stated he will discuss it with Joyce Shanahan.

Mr. Jorczak asked if there has been any movement on Ormond Crossings.

Mr. Goss replied that he is waiting for a meeting with the owners of Ormond Crossings to discuss the legal document, Master Development Agreement Plan. There were a number of changes the City conveyed to them in November; however Mr. Goss thinks they will meet in February.

Mr. Jorczak asked if that is what has to be completed before they start the project.

Mr. Goss responded the development agreement has to be signed before the project is officially brought before the Planning Board for zoning because the Board has only had a workshop on Ormond Crossings.

Ms. Behnke stated she would be willing to be removed from a mailing list for the Board packets and use her Ipad instead.

Mr. Heaster stated that with regards to the development on Tymber Creek Road that the City Commission voted on, we need to keep in mind that everyone focuses on the developer and property owners and blames them, but the issue is the close proximity of two schools and the County has not built sufficient roads and infrastructure. Mr. Heaster continued that this issue has not happened over just few years, but this was an existing problem since before the 1990s when he developed a project in that area. Mr. Heaster stated the blame shouldn't fall on the end user, but hold the entities accountable for their failed planning.

Mr. Briley congratulated Mr. Thomas on his chairmanship, and thanked the Board for their vote of confidence in his nomination and approval as vice chair.

Mr. Briley commented that before SR 40 was four-laned, there was a right turn lane into Indian Springs subdivision, and when it was explained that turn lane was removed. Mr. Briley continued that there was a bad rear-end accident there last night, and he has been approached on different occasions by residents that have concerns with the west-bound traffic and someone getting hit with a carload of

children. Mr. Briley asked if there was anything the City can do or discuss with FDOT the possibility of reconstructing that turn lane.

Mr. Thomas stated that there is going to be a major problem on Tymber Creek Road when the four-lane is stopped between Tymber Crossing and Saddler's Run. Mr. Thomas asked the Planning Department to find out something about that for him; he wants to know who to go to and who to pressure on because it's not that great of a distance to Airport Road.

Mr. Wigley asked what can be done about people driving on the sidewalks along SR40 between the areas of Indian Spring and Breakaway Trails subdivisions.

Mr. Goss responded to take a picture of the license plate and send it to him, and he will turn it over to FDOT because their penalties are high.

XI. ADJOURNMENT

The meeting was adjourned at 8:45 p.m.

Respectfully submitted,

Ric Goss, AICP, Planning Director

ATTEST:

Doug Thomas, Chair

Minutes transcribed by Meggan Znorowski.

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 7, 2013

SUBJECT: TropiCasual Home and Patio: Special Exception for
Outdoor Activity

APPLICANT: Charles Hughes of TropiCasual Home and Patio

NUMBER: 13-38

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION: This is a request submitted by Charles Hughes of TropiCasual Home and Patio, for a Special Exception to authorize an outdoor activity use. The outdoor activity application requests the permanent outdoor storage, display, and sales of merchandise under certain conditions at the TropiCasual Home and Patio store located at 294 South Yonge Street. The Special Exception applies only to the unit at 294 South Yonge Street and no other construction is proposed. The subject property is a unit within a larger retail area located at the northwest intersection of Division Avenue and South Yonge Street (US1).

BACKGROUND: The TropiCasual Home and Patio store is located at 294 South Yonge Street within a larger retail center. The retail center also includes the Kalin's furniture store at 280 South Yonge Street and a vacant retail space at 298 South Yonge Street. The property has approximately 600 linear feet of frontage on South Yonge Street and 685 linear feet of frontage on Division Avenue. The property is zoned as B-4 (Central Business).

TropiCasual Home and Patio store has placed four umbrellas and Adirondack chairs outside along the 12.5' wide sidewalk and has been subject to code enforcement action regarding outdoor activity. Within the B-4 zoning district, outdoor activity requires a Special Exception. The issue of outdoor activity was discussed at the May 10, 2012 Planning Board meeting. The applicant appeared at the Planning Board meeting and stated, "his business is open 363 days of year, and the difference between having an outdoor display and not having one is the difference in his case between staying in business and not staying in business." The Planning Board continued the discussion of outdoor activity onto the June 14, 2012 meeting and provided the direction not to amend the outdoor activity regulations. At a joint workshop of the Planning Board and City Commission, the issue of outdoor activity was further discussed and the direction provided was to maintain the existing Land Development regulations and require a Special Exception for any type of outdoor activity.

Table 1: Site Aerial: Surrounding Uses



Table 2: Surrounding Uses with Land Use and Zoning Designations:

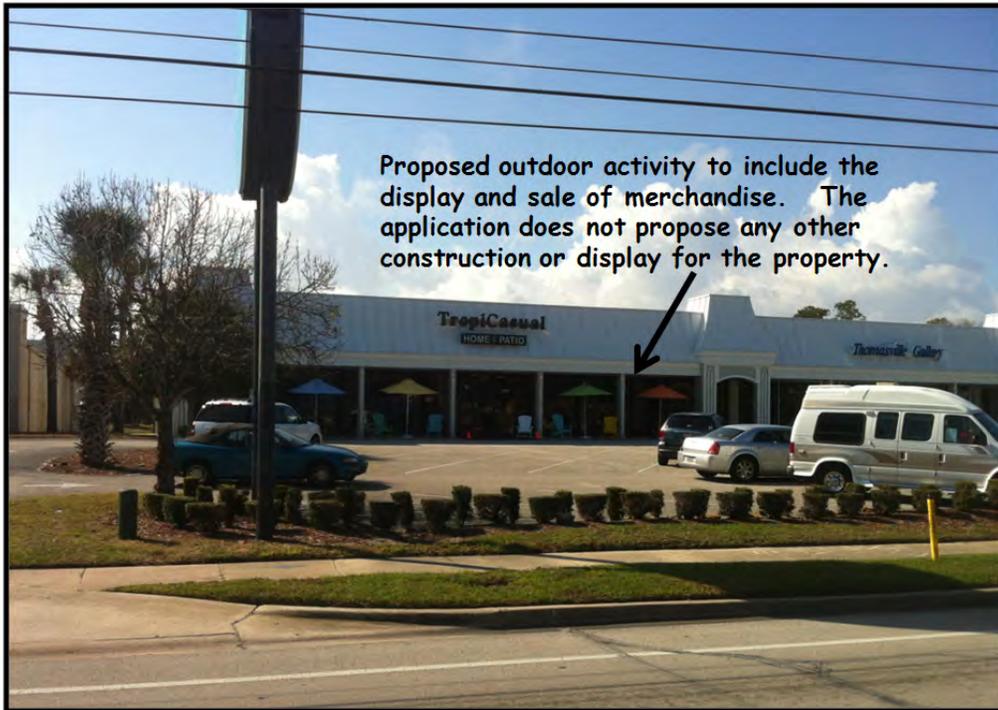
Direction	#	Use	Future Land Use Designation	Zoning
North	1	Single Family Residential	“Medium Density Residential”	NP (Neighborhood Preservation)
South	2	Cat Care Clinic & other commercial uses	“Heavy Commercial”	B-5 (Service Commercial)
East	3	Retail and offices	“General Commercial”	B-4 (Central Business)
West	4	Across railroad, Industrial uses	“Industrial/Utilities”	I-1 (Light Industrial)

PROJECT DESCRIPTION: The applicant requests the outdoor storage, display, and sales of merchandise. **There is no other site or building construction or outdoor activity proposed with this application.** Staff views the application as very similar to the Lowe’s Special Exception request at 1340 West Granada Boulevard. The applicant has provided a site plan exhibit shows the proposed outdoor display of merchandise. The applicant proposes the following conditions:

1. The product storage would be year round;
2. There would be no impedance to pedestrian traffic or means of egress;

3. The outdoor display of merchandise would only be displayed during business hours.

Below are pictures showing the desired display of outdoor merchandise:



Staff would recommend that the following conditions be included in the conditions of approval (similar to the Lowe's Special Exception):

1. Outdoor product can only be stored, displayed, or sold within the delineated areas show on the site plan exhibit;
2. Delineated areas shall be indicated by 4" wide yellow painted rectangular outline; and
3. Product cannot encroach outside the painted delineated line.
4. If within any one (1) year period, there are two (2) demonstrated code violations of the permanent outdoor storage, display, and sales of merchandise per the site plan attached, as proven through the Special Master code enforcement system, the right to permanent outdoor storage, display, and sales of merchandise under the Special Exception development order shall be automatically revoked without further action of the City Commission. Upon the issuance of a second notice of code enforcement violation by either a Neighborhood Improvement Officer or Police Officer the ability to have the permanent outdoor storage, display, and sales of merchandise shall be suspended until the finding of the Special Master hearings are complete. If the Special Master determines that a second violation has occurred, the ability to have outdoor music shall thereafter be deemed to have been revoked. If the Special Master determines that no violation occurred, the applicant shall be permitted to resume the permanent outdoor storage, display, and sales of merchandise.

ANALYSIS: There are multiple Land Development Code sections related to the outdoor storage, display and sales of merchandise. Section 1-22 of the Land Development Code defines outdoor activity as "the display of merchandise offered for sale or any activity, such as live entertainment, outside the building walls of a completely enclosed building." Within the B-4 zoning district outdoor activity is regulated as a Special Exception with review/recommendation by the Planning Board and a final decision by the City Commission. The Special Exception requires review of the criteria of the following Land Development Code Sections:

1. Section 2-57.O.1, Outdoor Activity (applies to specific use);
2. Section 2-56: General criteria and Special Exception review criteria (applies to all Special Exception requests);
3. Section 1-15.E: Planned Developments and Special Exceptions (Planning Board criteria for all Special Exceptions); and
4. Section 1-18.E: Criteria for Issuance of Development Order (City Commission criteria for all Special Exceptions).

The following other Sections of the Land Development Code are applicable to permanent outdoor storage, display, and sales of merchandise.

Section 2-50.U, Outdoor Activities, of the Land Development Code allows the outdoor sale of merchandise through a special event permit four times per year for fourteen

days (56 days) with certain conditions. The conditions include that the outdoor sale of merchandise is limited to what is sold inside the business. If the Special Exception is approved, the property would still be eligible for the outdoor activities events of the accessory use section of the Land Development Code for 56 days per year.

Section 2-50-V, Outdoor Storage, Parking, or Use of Personal Property, of the Land Development Code states the following:

2. Commercial

- a. Outdoor storage of any type is prohibited in all commercial zoning districts unless a development order is received from the City Commission as a Special Exception or Planned Development or a Special Event permit is obtained.

Section 2-57.O.1, Outdoor Activity Criteria:

Section 2-57.O.1 of the Land Development Code outlines the criteria for outdoor activity:

O-

1. OUTDOOR ACTIVITY

- 1. If located adjacent to a residential use, appropriate screening and buffering shall be provided to minimize noise and glare impact to the maximum extent feasible.**

The proposed outdoor activity is minimal and there is no noise or glare impact to any residential uses.

- 2. A site plan displaying the area for activity and pedestrian movement shall be required.**

The applicant has provided a site plan that delineates the area for permanent outdoor storage, display, and sales of merchandise. The location of the proposed merchandise has no impact of pedestrian movement.

- 3. Outdoor music shall provide a sound study demonstrating compliance with the adopted maximum decibel levels.**

There is no outdoor music proposed and this criterion is not applicable.

Section 2-56: Special Exception Criteria

Section 2-56 of the Land Development Code outlines the general criteria for all Special Exception approvals:

- A. *Off-street parking loading and service areas shall be provided and located such that there is no adverse impact on adjoining properties, beyond that generally experienced in the district.***

The Special Exception request involves one unit in a multi-unit retail area. There are no changes proposed to the parking areas and there will be no adverse impacts regarding parking.

B. *Required yards, screening or buffering, and landscaping shall be consistent with the district in general, the specific needs of the abutting land uses, Chapter 3, Article 1, and other applicable provisions of this Code.*

The Special Exception application is limited to the display of outdoor merchandise. There are no proposed changes to the existing site landscaping.

C. *Size, location, or number of conditional or Special Exceptions in an area shall be limited so as to maintain the overall character of the district in which said conditional or Special Exceptions are located.*

There have been several applications for Special Exceptions regarding outdoor activity that include the following:

1. Lowe's at 1340 West Granada Boulevard – outdoor product display.
2. Kickstart Saloon at 906 North US1 – Special Event activities.
3. Caffeine's at 49 West Granada Boulevard – outdoor music.
4. Rivergrille at 950 North US1 – outdoor music.

The requested Special Exception will not impact the character of the US1 corridor.

D. *Hours of operation may be limited and the City may require additional information on structural design and site arrangement, to assure the compatibility of the development with existing and proposed uses in the surrounding area.*

The hours of the outdoor storage, display, and sales of merchandise are consistent with the hours of operation with the store. Per the application, the merchandise would not be displayed when the store is not open.

E. *The Special Exception shall not generate hazardous waste or require use of hazardous materials in its operation without use of City-approved mitigative techniques.*

This Special Exception request will not generate hazardous waste.

F. *All development proposed as a Special Exception within or adjacent to a historic district shall be reviewed based on applicable criteria stated herein for residential, commercial or mixed use development and shall also comply with appearance and design guidelines for historic structures.*

The project is not located within, or adjacent to, a historic district and this criteria does not apply to the project development.

G. Outdoor lighting shall have no spillover onto adjacent property or rights-of-way beyond the building site property line and the lumens shall not exceed two (2) foot-candles at the property line.

The site lighting plan is not proposed for amendment and the applications solely for the permanent outdoor storage, display, and sales of merchandise.

Section 1-15.E: Planning Board Criteria and Section 1-18.E: City Commission Criteria

Sections 1-15.E. and 1-18.E of the Land Development Code establish the Planning Board and City Commission Development Order criteria. The Land Development Code states that the following criteria shall be considered:

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

The Land Development Code does not prohibit outdoor activity. Section 2-50.U allows retailers temporary outdoor activity four times per year for 14 days for each event. Within the B-4 zoning district, the outdoor activity use is allowed through a Special Exception with the criteria focusing on impacts to residential uses and the provision of an exhibit demonstrating the limits of the activity. Approving this request is not expected to create negative impacts to residential uses. The request will not adversely affect the public health, safety, welfare or quality of life.

- 2. The proposed development is consistent with the Comprehensive Plan.**

The site has a Future Land Use designation of "General Commercial", which is consistent with the proposed use. The Future Land Use Element states that the "Commercial" land use category is designed for, "To provide for the sales of retail goods and services, high density multi-family, professional offices and services, and restaurants, depending on the range of population to be served and the availability of transit." The retail sales of merchandise, either inside or outside of the building, is consistent with the "General Commercial" land use category.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The proposed application for outdoor storage, display, and sales of merchandise will not adversely impact environmentally sensitive lands or natural resources and is an existing developed site.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of**

adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.

The proposed application for outdoor storage, display, and sales of merchandise will not depreciate the value of surrounding property if the merchandise is displayed per the proposed plan.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

Public facilities currently serve the site and there would be no impact to the existing infrastructure.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The Special Exception would have no impact to traffic patterns or vehicle movement.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

There is no development proposed with the outdoor activity application.

- 8. The proposed development provides for the safety of occupants and visitors.**

There are no changes to the site and there is safe movement on the site for occupants and visitors.

- 9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

There is no new building development for the outdoor activity and this criterion is not applicable.

- 10. The testimony provided at public hearings.**

This application has not been reviewed in a public forum and no testimony has been provided.

RECOMMENDATION: It is expected that the application will be reviewed by the City Commission on March 19, 2013. It is recommended that the Planning Board **APPROVE** the application for the outdoor storage, display, and sales of merchandise per the attached site plan exhibit and conditions listed below for the TropiCasual Home and Patio store located at 294 South Yonge Street:

Proposed Conditions:

1. The permanent outdoor storage, display, and sales of merchandise shall be year round;
2. There would be no impedance to pedestrian traffic or means of egress;
3. The outdoor display of merchandise would only be displayed during business hours;
4. Outdoor product can only be stored, displayed, or sold within the delineated areas show on the site plan exhibit;
5. Delineated areas shall be indicated by 4" wide yellow painted rectangular outline; and
6. Product cannot encroach outside the painted delineated line.
7. If within any one (1) year period, there are two (2) demonstrated code violations of the outdoor storage, display, and sales of merchandise per the site plan attached, as proven through the Special Master code enforcement system, the right to permanent outdoor storage, display, and sales of merchandise under the Special Exception development order shall be automatically revoked without further action of the City Commission. Upon the issuance of a second notice of code enforcement violation by either a Neighborhood Improvement Officer or Police Officer the ability to have until the finding of the Special Master hearings are complete. If the Special Master determines that a second violation has occurred, the ability to have outdoor music shall thereafter be deemed to have been revoked. If the Special Master determines that no violation occurred, the applicant shall be permitted to resume the permanent outdoor storage, display, and sales of merchandise.

Exhibits:

Exhibit 1: Site Maps and Pictures

Exhibit 2: Applicant Provide Information

EXHIBIT 1

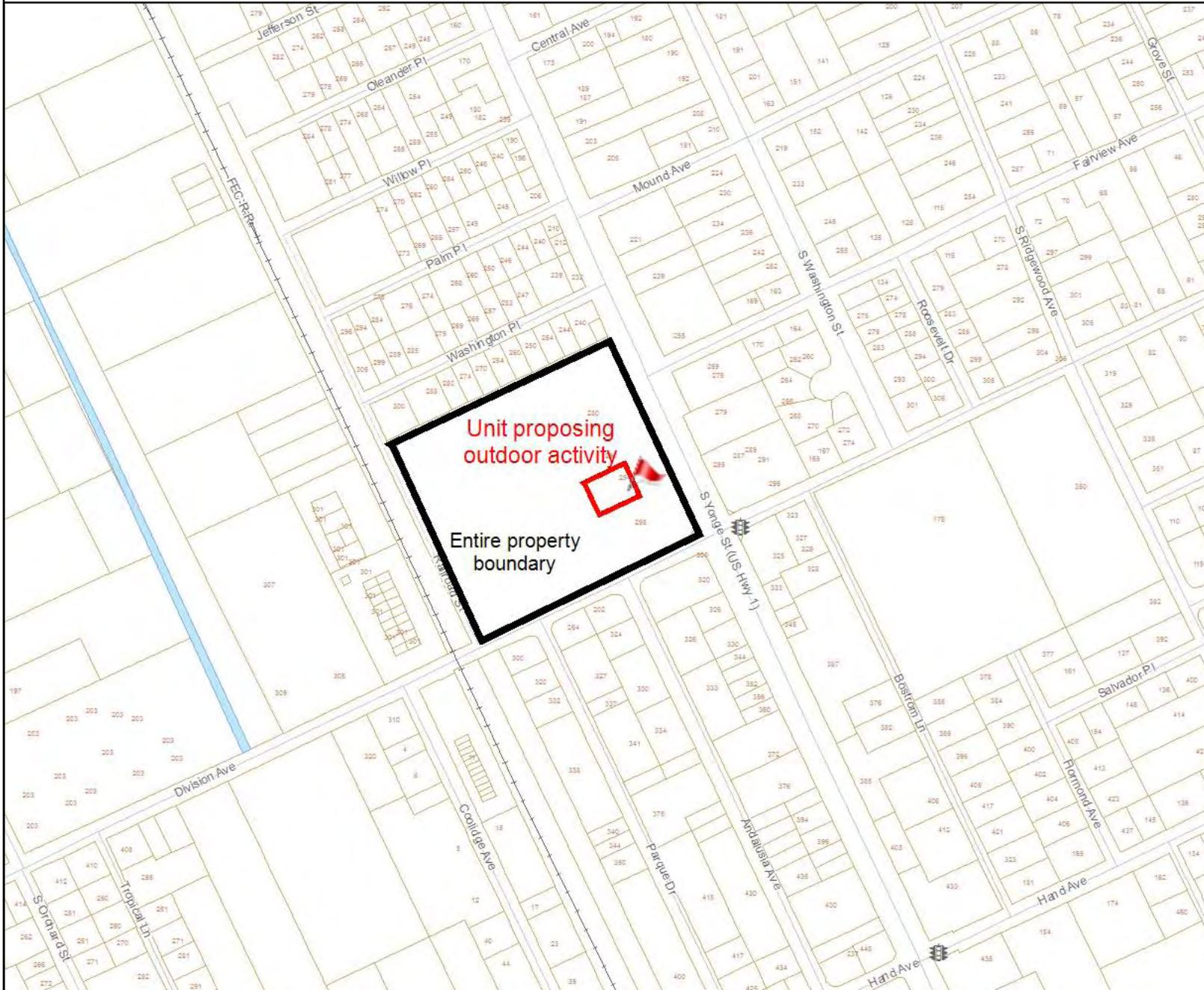
Site Maps and Pictures

294 South Yonge Street (TropiCasual) Location Map



-  Golf Courses
-  Address Points
-  Traffic Signals
-  Airport and Railroad
-  AIRPORT
-  RAILROAD
- City Streets**
-  DIRT
-  MAJOR
-  PAVED
-  Water Features
-  Property Lines

400 ft

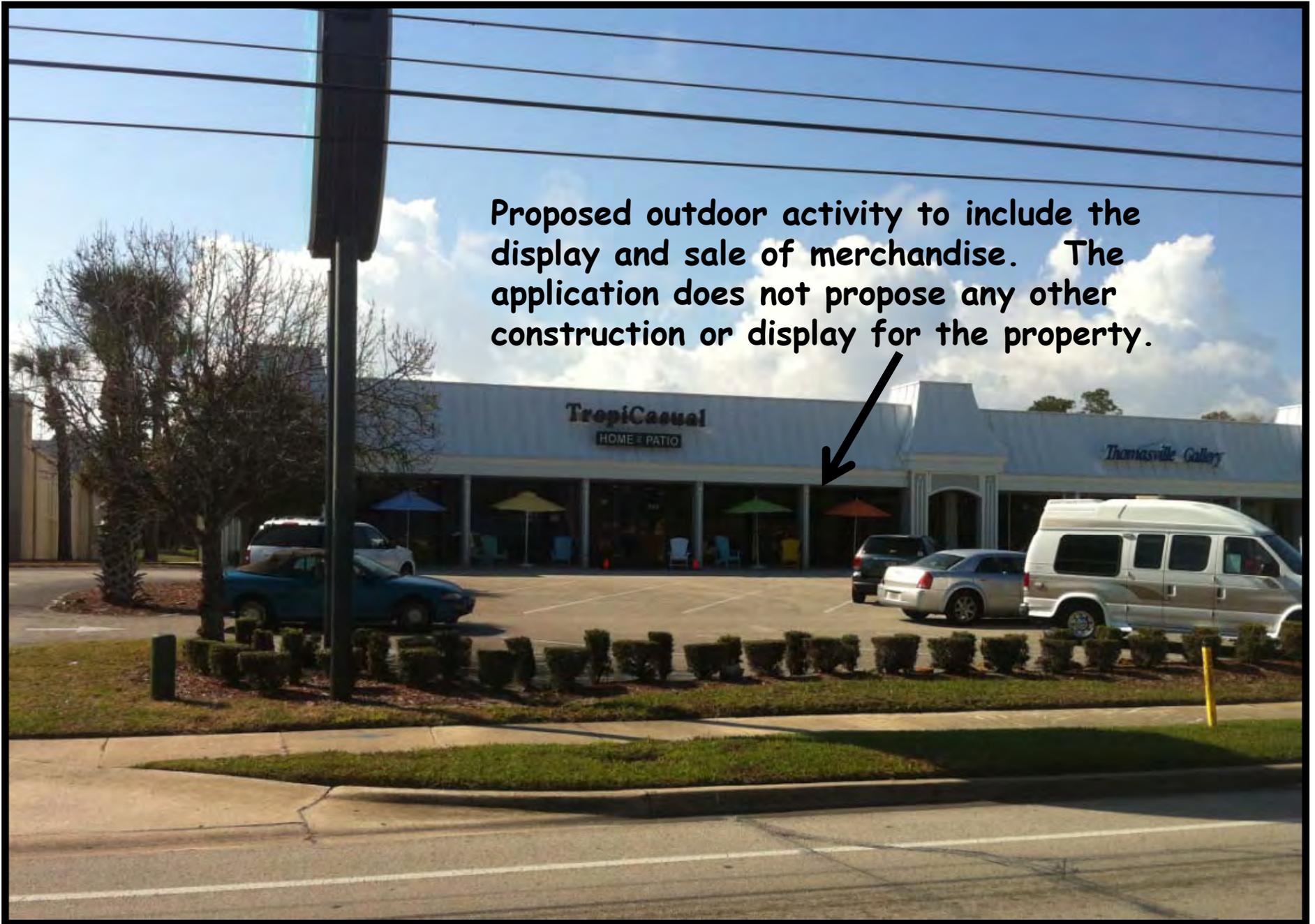


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Proposed outdoor activity to include the display and sale of merchandise. The application does not propose any other construction or display for the property.





Proposed display area



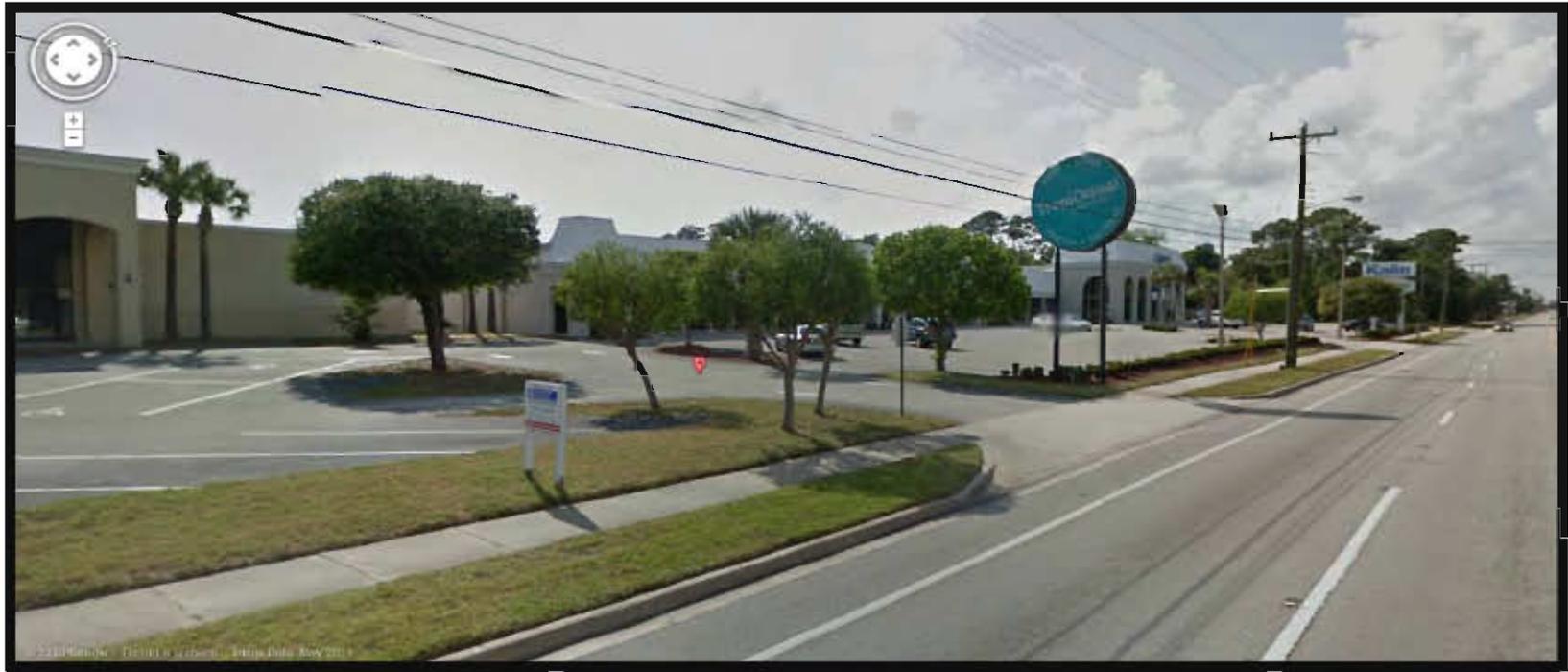


EXHIBIT 2

Applicant Provided Information

**TROPICASUAL HOME & PATIO
294 S. YONGE STREET
ORMOND BEACH, FLORIDA 32174**

REQUEST FOR SPECIAL EXCEPTION

Tropicasual Home & Patio seeks a Special Exception to authorize an outdoor activity use.

The request is for a display of outdoor furniture and umbrellas on the storefront portico sidewalk. The outdoor area is over 12' deep, 96' long and over 120' setback from Yonge Street.

The merchandise will only be displayed during business hours , 10:00 a.m. to 6:00 p.m., Monday through Saturday, and 12:00 p.m. through 5:00 p.m. on Sunday.

A floor plan is provided to show relative placement, as well as to demonstrate no impedance to pedestrian traffic or means of entrance or egress.

Photographs are also provided to exhibit the tasteful nature of the request and demonstrate the compatibility with the character of the surrounding area.

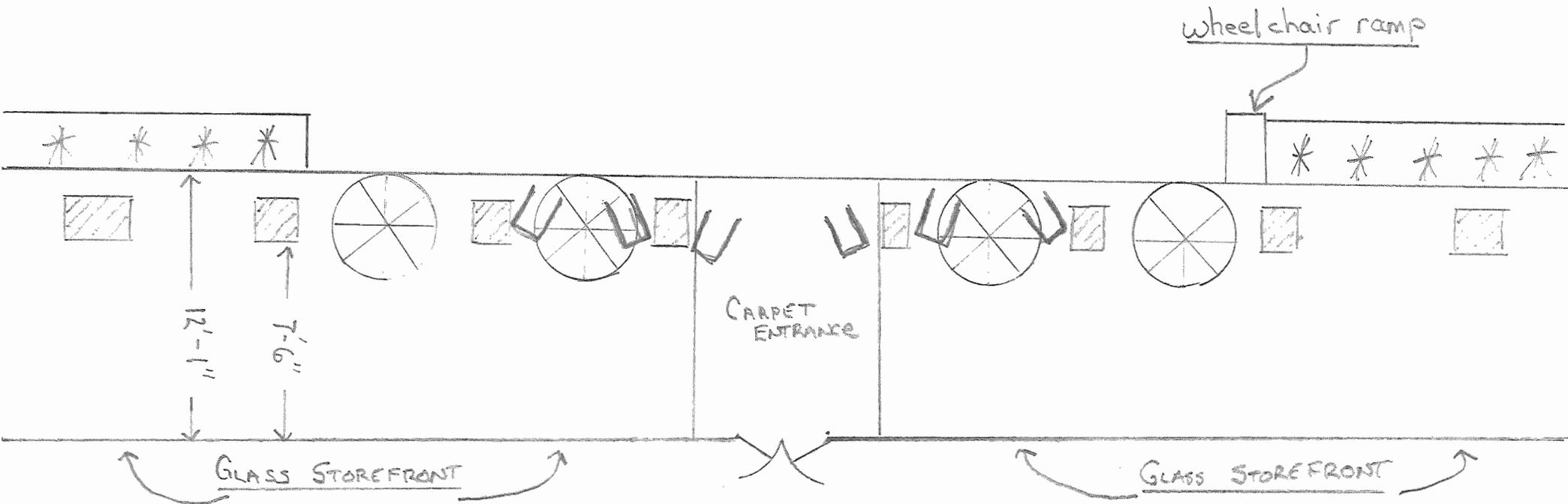
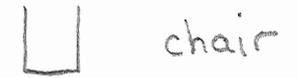
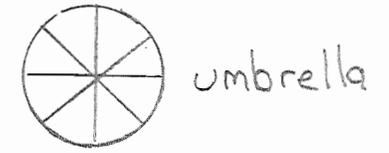
As a member of the Ormond Beach Business Community since 2001, it is our hope, with the Special Exception, to remain a part for many years to come.

A significant increase in store traffic and sales is achieved with the outdoor display.

For an in person viewing, please stop by 294 S. Yonge Street, or call Bob Hughes at 677-7676 with any questions.

PARKING LOT

Legend



Please NOTE: Umbrella's Shown Are above head height & do not impede foot traffic.



View From Parking Lot #1



View From Parking Lot #2

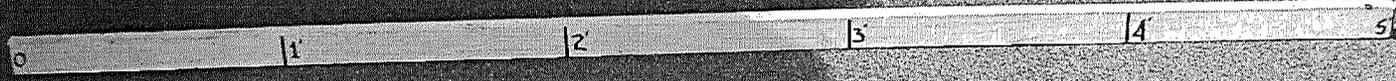


Pedestrian Walkway 5' Min



Wheel Chair Ramp w/ 5' Clearance

AFS



Front Door Entrance w/ 5' Min

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 7, 2013

SUBJECT: 3 North Yonge Street Rezoning, Sunoco

APPLICANT: William Norris of C & R General Contractors, Inc., on behalf of Sunoco, Inc.

NUMBER: PBD 13-03

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION:

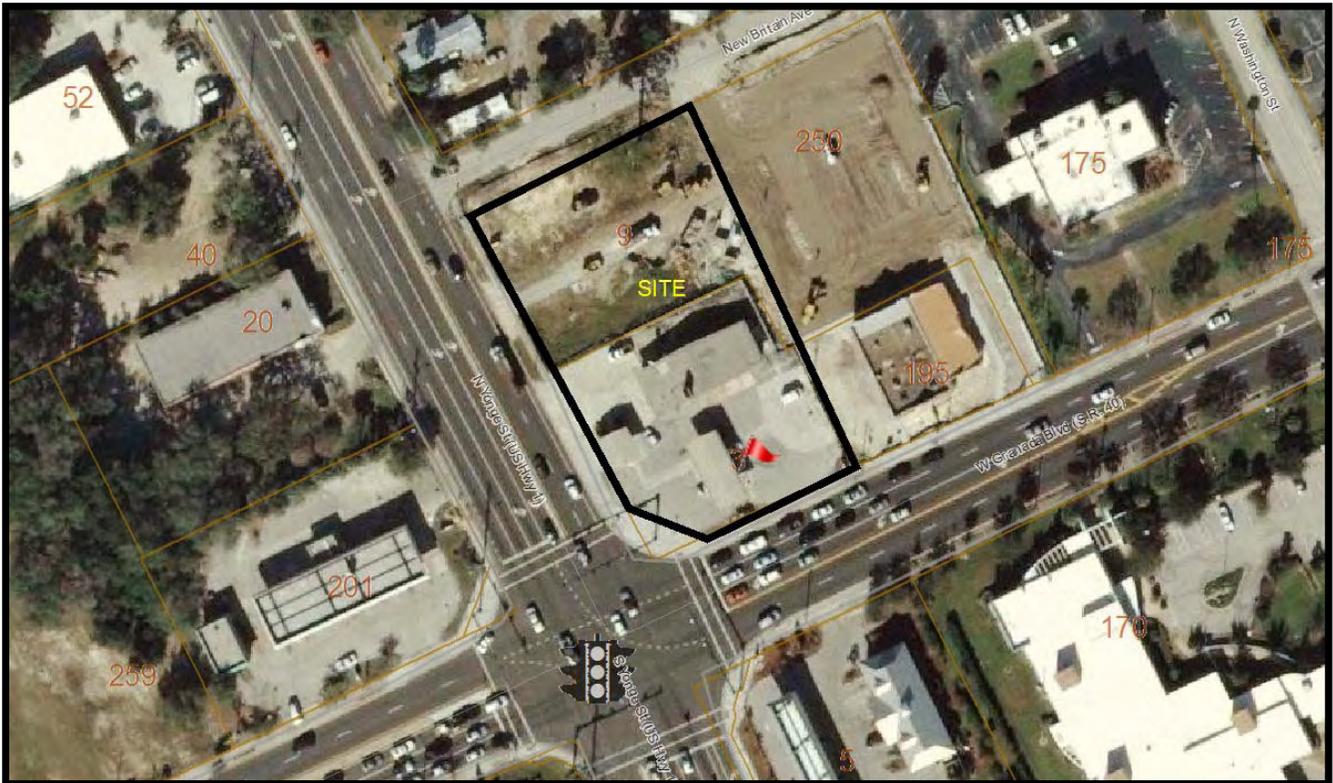
This is a request by William Norris of C & R General Contractors, Inc., on behalf of Sunoco, Inc. for a rezoning from B-4 (Central Business) to (PBD) Planned Business Development at 3 and 9 North Yonge Street. The application seeks to demolish the existing convenience store and three bay service station with twelve fueling stations and re-construct a 3,159 square foot Sunoco convenience store with twelve fueling positions and associated site improvements.

BACKGROUND:

The subject property is designated as "General Commercial" on the City's Future Land Use Map (FLUM), and is classified as B-4 (Central Business) on the City's Official Zoning Map. The project area includes the properties at 3 and 9 North Yonge Street and the lots shall be combined into one address of 3 North Yonge Street. Site maps and pictures are included in EXHIBIT A. The adjacent FLUM designations and zoning classifications are illustrated in the following table:

	Current Land Uses	Future Land Use Designation	Zoning
North	Mobile Home Park	"General Commercial"	B-4 (Central Business)
South	Texaco gas station	"General Commercial"	B-4 (Central Business)
East	Maria Bonita	"General Commercial"	B-4 (Central Business)
West	Shell gas station & retail	"General Commercial"	B-4 (Central Business)

Site aerial and picture:



PROJECT DESCRIPTION:

The subject property has been a convenience store and service station with fueling pumps since the late 1960's. The property currently has three vehicle repair bays and twelve fueling stations. The Volusia County Property Appraiser's website shows the existing building was constructed in 1969. In 2009, the underground gas tanks and lines were replaced on the subject property. The property has been vacant for over a year.

The applicant purchased the property to the north of 3 North Yonge Street at 9 North Yonge Street in May of 2012 to expand the property size and allow redevelopment. The property at 9 North Yonge Street was developed as part of the Maria Bonita site development and has improvements that include stormwater retention, landscaping and a dumpster. When the property at 9 North Yonge Street was sold, the two property owners established easements for stormwater management, access, and dumpster locations.

The property is located within the Downtown Overlay District. As such Section 2-70 of the Land Development Code applies, with the purpose described below:

“to promote development of a compact, pedestrian-oriented downtown consisting of a high-intensity employment, vibrant and dynamic mixed use areas, and residential living environments that provide a broad range of housing types and tenures; promote a diverse mix of entertainment activities for workers, visitors, and residents; encourage pedestrian-oriented development that is within walking distance of and supports transit opportunities at densities and intensities that will help to support transit usage and town center businesses; create a sense of place that is unique, attractive, and is a memorable destination for visitors and residents; enhance the community's character through the promotion of high quality urban design; and implement the vision expressed in the adopted 2007 Downtown Redevelopment Master Plan.”

The Downtown Overlay District implements the goals of the 2007 Master Downtown Plan through the form based code regulations. The subject property is located within the River District which seeks to set buildings forward to the street and create two to five story buildings. The form based code requires Build-To-Lines, height requirements, façade requirements, and incorporates the Downtown Design Guidelines that seek to make the Downtown Overlay District unique from typical sub-urban development.

In 2009, City staff prepared a request for proposals for the area between Granada Boulevard to Lincoln Avenue and Yonge Street to Washington Street. The request for proposal sought to combine the properties within this area, including the gas station, mobile home park, Maria Bonita, and the bank property, for coordinated redevelopment. There were no responses to the City's request for proposal for a master redevelopment of this area.

The Downtown Overlay District contains specific regulations for types of uses and certain exceptions for redevelopment. Section 2-70.H of the Land Development Code

prohibits the establishment of new convenience stores with gasoline sales (Convenience store types “B” and “C”). Section 2-70.H does allow existing convenience stores with gasoline sales to remain and redevelop. Section 2-70.k, Administration, of the Land Development Code states:

“Where the presence or absence of a provision exists in the DOD that thwart the implementation of the Redevelopment Plan, the Planning Director or designee is authorized to implement a different standard or provision provided the purposes of DOD are furthered by the alternative standard or provision. Where planning development is of such a type and nature that the internal and external operations has been demonstrated that the mixed use and upper story construction is inappropriate, relief from these requirements may be granted administratively by the Planning Director or designee. The granting of relief shall be at the sole discretion of the City and shall not be considered a right by the applicant for development. All development and redevelopment shall be administratively approved through the SPRC Committee.”

The purpose of the above administrative Section of the Land Development Code is to acknowledge that each property’s redevelopment will have different issues and may not be able to comply with the regulations in the Downtown Overlay District.

The rezoning application requires a site plan for site development. Key points of the site plan submittal are discussed below:

1. The project does not comply with the requirement of bringing the building up to the Build-To-Line along Granada Boulevard based on the location of the existing gasoline storage tanks and other operational objectives. The design provides an urban edge that includes an expanded sidewalk in the right-of-way (ROW), five foot planting area next to the ROW with Medjool Palms, and a decorative tower and wall feature. The form based code permits parking on the side of buildings or the rear. When located on the side, the parking area is required to be screened with a wall and not landscaping. The reason for the wall requirement in the form based code was to continue the “hard edge.” If the code allows the wall for the parking to the side on a property, it is reasonable to allow a wall along the exterior perimeter of the front for a convenience store with gasoline sales. The wall would be a mitigating factor to not moving the building up to the Build-To-Line.

As stated in the administration Section of Downtown Overlay District, it is understood that specific sites may have issues with redevelopment and the project has sought to comply with the applicable regulations to the maximum extent practical;

2. The proposed gateway tower is a feature that was identified in the 2007 Downtown Master Plan;
3. The project furthers the City’s streetscape along Granada Boulevard and has been coordinated with the current underground utilities project. The proposed

wall along the property will be setback five feet to allow streetscape plantings that would include Medjool Palms. Note that the architectural renderings in EXHIBIT D show the wall with no landscaping in the front. Please see the landscape plan for the design of the landscaping and the wall;

4. The design creates access points as far away from the US Highway 1 and Granada Boulevard intersection as possible;
5. Substantial landscaping areas have been proposed where none currently exist;
6. The building architecture is Neo-Eclectic and seeks to incorporate a coquina stone finish that is consistent with several historic structures within the City. The building materials include a coquina brick base, split face block, and a special coquina shell stucco high quality finish. The building materials are incorporated in all building structures including the building, the gas canopy, bottle enclosure, and site signage;
7. The principal building is proposed to be located at a 7' setback from North Yonge Street;
8. The redevelopment will require an expansion of the Maria Bonita stormwater area to provide stormwater management for the redevelopment;
9. The redevelopment will require amendments to the stormwater easements with the Maria Bonita project;
10. Cross access easements with Maria Bonita for vehicles is proposed; and
11. The site plan includes a new sidewalk along New Britain Avenue.
12. The gas canopy lighting will be recessed and LED style lights. The sight lighting will also be LED lighting.

The project has been submitted to the City's Site Plan Review Committee and the outstanding Request for Additional Information is included in EXHIBIT B. There are no outstanding comments that would significantly alter the layout of the site plan. The site plans are included in EXHIBIT D.

ANALYSIS:

According to Chapter 2, Article II, Section 2-36 of the Land Development Code the purpose of the Planned Business Development zoning district

“is to establish regulatory standards for controlling the location of comprehensively planned business centers accessible to arterial roadways. The PBD is intended to incorporate a flexible management policy which incorporates urban design amenities, including streetscape improvements, and fosters innovative master planning in the design and development of commercial centers. The PBD district provides a diversified mix of permitted, conditional, and special

land uses and higher standards of land planning and site design than are available under conventional zoning categories.”

One goal of the Planned Business Development is to “provide for a coherent and visually attractive physical environment through the creation of focal points and vistas, as well as coordination and consistency of architectural styles, landscaping designs and other elements of the building environment.”

The applicant is seeking a rezoning to Planned Business Development to demolish the existing on-site improvements, construct a new convenience store with gas canopy and bring the site up to the Land Development Code to the maximum extent practical. The Planned Business Development zoning designation allows the applicant to request waivers to development standards. The rezoning would incorporate the uses and dimensional standards of the B-4 (Central Business) zoning district.

Below are the variances the applicant is seeking through the Planned Business Development rezoning:

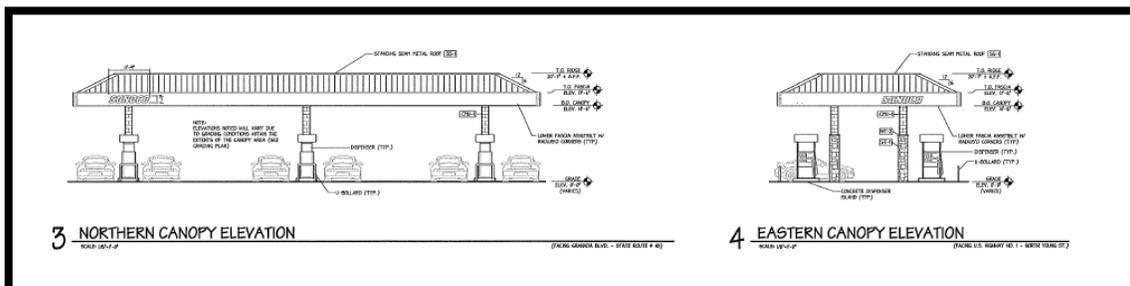
Planned Business Development Waivers

1. Conformance to Downtown Overlay District. One central issue for this project has been that the form based code regulations seek to bring new building construction forward to Granada Boulevard to create an urban edge. The form based code also seeks to have a structure with multiple stories.

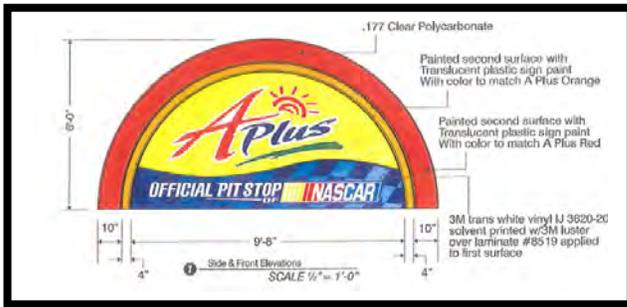
The applicant has stated that there are several site characteristics that do not allow the building to be located along the Granada Boulevard frontage. The characteristics include:

- a. The location of the existing underground gas tanks on the site prevent the building being placed along the roadway. The applicant has included a truck movement plan in EXHIBIT C;
- b. The right-of-way taking by the Florida Department of Transportation for the widening of Granada Boulevard and US Highway 1;
- c. Maintain visibility of store clerks to the fueling station for safety and security of customers of the store; and
- d. Provide customers views of the fueling facilities from the right-of-way.

2. Signage on canopy. Section 3-70.A.1.e of the Land Development Code prohibits signage on the gas canopy. The project requests a canopy sign of 21 square feet on the southern façade (facing Granada Boulevard) and the western façade (facing SR A1A). The total square footage of the two signs proposed is 42 square feet, as shown below.



3. Wall Signage. Section 3-48.E. of the Land Development Code provides allowable square footage for wall signage based upon the linear frontage of the building. Based on the building frontage, the project would be permitted one wall sign of 52 square feet or two wall signs of 78 square feet. The applicant is requesting one sign of 72 square feet. The proposed sign shown below is a semi-circle which is required to be measured as a box according to the City's Land Development Code.



4. Site Signage. Section 3-47 of the Land Development Code provides that allowable square footage for site signage based upon the linear frontage of the lot. Based on the lot frontage, the project would be permitted one sign of 62 square feet (based on 225 linear feet of frontage along US Highway 1) or two signs totaling 93 square feet (no sign less than 30 square feet). The signage proposed is two 54 square foot signs, totaling 108 square feet. A waiver is required for 15 square feet through the Planned Development rezoning.



Public Benefits:

Section 2-36.H.3 of the Land Development Code states the following:

Applications for a PBD rezoning shall provide a minimum of two of the listed public benefits listed below or propose alternative public benefits which are acceptable to the City Commission. For each variance requested, an additional two public benefit items shall be required

The application has provided a letter detailing how the project provides public benefits which is attached in EXHIBIT C. The following list summarizes the public benefits as stated by the applicant:

- 1. Redevelopment of a blighted site.** There are multiple aspects to this public benefit that include the removal of the existing buildings, new construction, the impact of the site on surrounding properties and the introduction of landscaping to the property. The administration section of the Downtown Overlay District envisioned that there may be issues with the application of the form based code and every site should be considered unique. The location of the existing underground gas tanks impact the redevelopment of the site and limit potential redevelopment.

The applicant has provided elements required by the form based code in the redevelopment plan. The elements include:

- a. Coordination of all building materials to incorporate coquina and building surface with coquina shells. This seeks to coordinate with several historic structures in the Ormond Beach area;
 - b. Locating the building at a 7' setback to the North Yonge Street right-of-way;
 - c. Construction of a decorative wall along Granada Boulevard and US Highway 1 to achieve the urban edge desired by the form based code;
 - d. Construction of a gateway clock tower identified in the 2007 Downtown Master Plan; and
 - e. Stamped "brick" concrete at the driveway entrances.
- 2. Architectural embellishments to the building and canopy.** Sunoco typically provides the "horizon" signage and has agreed to limit the canopy color to a single color. The project incorporates common materials in all the building elements including the building, dumpster enclosures, bottle enclosure, signage, and gas canopy. The canopy columns are wrapped in brick and split face block to enhance the visual appearance of the canopy. The building displays articulation of the side walls facing US 1 through the addition of pilasters and placement of the accent lights.
 - 3. Increased landscaping.** The landscape plan demonstrates that the applicant has provided more landscaping than is required by the Land Development Code.
 - 4. Streetscape improvements.** City staff has attempted to previously obtain streetscape easements and provide improvements. The issue with the existing

site is the location of the fueling islands and the inability to restrict access points. The current project provides the gateway icon, entrance stamped concrete, and the room to provide Medjool Palm plantings as part of the City's streetscape project.

CONCLUSION:

In considering an application for a Planned Business Development, the Planning Board may recommend to approve, approve with conditions, or disapprove on the extent to which the development offers site amenities above that normally found for permitted uses in the district with regard to the following:

a) Building form, architecture and appropriateness of materials with regard to long-term maintenance, relation to the surrounding neighborhood, and aesthetics. Architectural drawings shall be approved as part of the Development Order and adhered to in all development phases.

The proposed building utilizes the Neo Eclectic architectural style and a summary of the architectural features is provided by the applicant in Exhibit C. The new building and canopy are a substantial improvement from the existing structures and shall improve the aesthetics along Granada Boulevard. Architectural drawings are included in EXHIBIT D.

b) Landscaping and related site amenities.

The project has provided a significant amount of landscaping and has upsized the trees provided around the site. As stated earlier, there are multiple streetscape aspects to this project.

c) Mitigation of off-site impacts.

The site plan has been reviewed by the Site Plan Review Committee and it is staff's determination that the proposed project will not negatively impact surrounding properties.

d) Overall lighting plan, particularly in relation to aesthetics and glare.

Within EXHIBIT D there is a site lighting plan. The gas canopy lighting will be recessed and LED style lights. The sight lighting will also be LED lighting. The Site Plan Review Committee is recommending a decorative streetscape sight lighting pole.

e) Overall signage plan, particularly related to aesthetics and readability.

The application provides a unified signage plan that incorporates architectural elements of the building and canopy construction. There are a total of five signs. There are two ground site signs that utilize a brick base consistent with the building and canopy columns. The third sign is the wall sign. The fourth and fifth signs are the canopy signage facing Granada Boulevard and US Highway 1.

CRITERIA FOR APPROVAL: There are certain criteria that must be evaluated before a Planned Business Development amendment can be approved. According to Chapter 1, Article I, Section 1-15.C.3 of the Land Development Code, the Planning Board shall consider the following when making its decision:

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

The proposed development conforms to the standards of the Land Development Code and is requesting site flexibility as permitted under the Planned Business Development process. The development is consistent with the development patterns in this corridor and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.

- 2. The proposed development is consistent with the Comprehensive Plan.**

The property is designated as “Commercial” on the City’s Future Land Use Map (FLUM). The directive text of the Comprehensive Plan states,

“A multi-use land use category to provide for the sales of retail goods and services, high density multi-family, professional offices and services, and restaurants, depending on the range of population to be served and the availability of transit.”

The proposed redevelopment is consistent with multiple Comprehensive Plan policies. The proposed development is consistent with the Comprehensive Plan.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to water bodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The subject property is currently a non-conforming developed site. There are no environmentally sensitive lands or natural resources. Additionally the property does not have any wetlands or protected animal species on-site

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The existing property is blighted and detracts from the value of properties in the Granada Boulevard corridor within the Downtown area. The redevelopment is a significant investment and will assist to further strengthen the appearance of the Downtown area. It is the recommendation of the Site Plan Review Committee that the project will not substantially or permanently depreciate the value of surrounding properties.

5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.

There are adequate public facilities to serve the proposed development, including water, wastewater, roads, public safety, and stormwater. Many of these facilities are existing and serve the current developed site.

6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.

The project provides safe access and designed to promote pedestrian and bicycle safety.

7. The proposed development is functional in the use of space and aesthetically acceptable.

The proposed site plan is functional and provides building architecture with attention to details that exceeds the adopted architectural regulations.

8. The proposed development provides for the safety of occupants and visitors.

The proposed development provides for the safety of its occupants and visitors.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

The building and material will not adversely impact the aesthetics of the area and is designed in the Neo Eclectic architectural style.

10. The testimony provided at public hearings.

This application has not been heard and no public testimony has been provided.

Argument against the requested PBD rezoning: The Downtown Overlay District requires new construction to be brought to the Build-To-Line along Granada Boulevard. The applicant could relocate the underground gas tanks as part of the site redevelopment. Alternatively, the applicant could re-open the site as it exists today and leave the fueling stations where they are located. When the underground gas tanks require replacement, the opportunity would be there to re-construct the building at the Build-To-Line.

Argument for the requested PBD rezoning: The Downtown Overlay District regulations have prohibited future convenience stores with fuel sales and allow existing stores to redevelop. The operational aspects of a convenience store are crucial from a site plan perspective, including the delivery of fuel, pedestrian access, and vehicle safety. Site

access issues can be seen throughout the City with older convenience store sites. The location of the underground gas tanks and fueling stations are key in the site design.

The Planned Business Development zoning district is being sought based on the subject property's existing conditions (location of underground gas tanks) and the need for waivers in order to redevelop a blighted property. The primary waiver is the request not to bring the building to the Granada Boulevard build to line based on the location of the existing gasoline tanks. The project has incorporated multiple aspects of the form based code, such as the decorative wall, the gateway tower icon, streetscape features, and building design that exceeds the Land Development Code requirements.

RECOMMENDATION:

It is expected that the application will be reviewed by the City Commission on March 19, 2013 (1st reading) and April 2, 2013 (2nd reading). It is recommended that the Planning Board recommend **APPROVAL** of PBD 13-03 to allow the demolition of the existing convenience store and three bay service station with twelve fueling stations and reconstruct a 3,159 square foot Sunoco convenience store with twelve fueling positions and associated site improvements, subject to the outstanding comments from the Site Plan Review Committee:

Exhibits:

Exhibit A: Site maps and pictures

Exhibit B: Site Plan Review Committee Request for Additional Information

Exhibit C: Applicant provided letters

Exhibit D: Site plans

Exhibit A

Site Maps and Pictures

3 North Yonge Street Location Map



-  Golf Courses
-  Address Points
-  Traffic Signals
-  Airport and Railroad
-  AIRPORT
-  RAILROAD
- City Streets**
-  DIRT
-  MAJOR
-  PAVED
-  Water Features
-  Property Lines

178 ft



GIS data is provided on an "as is" basis. The accuracy or reliability of the data is not guaranteed or warranted in any way. The City of Ormond Beach specifically disclaims any warranty either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular use. The entire risk as to quality and performance of the data is with the end user. In no event will the City, its staff or it's representatives be liable for any direct, indirect, incidental, special, consequential, or other damages, including loss of profit, arising out of the use of this data even if the City has been advised of the possibility of such damages.





Champion

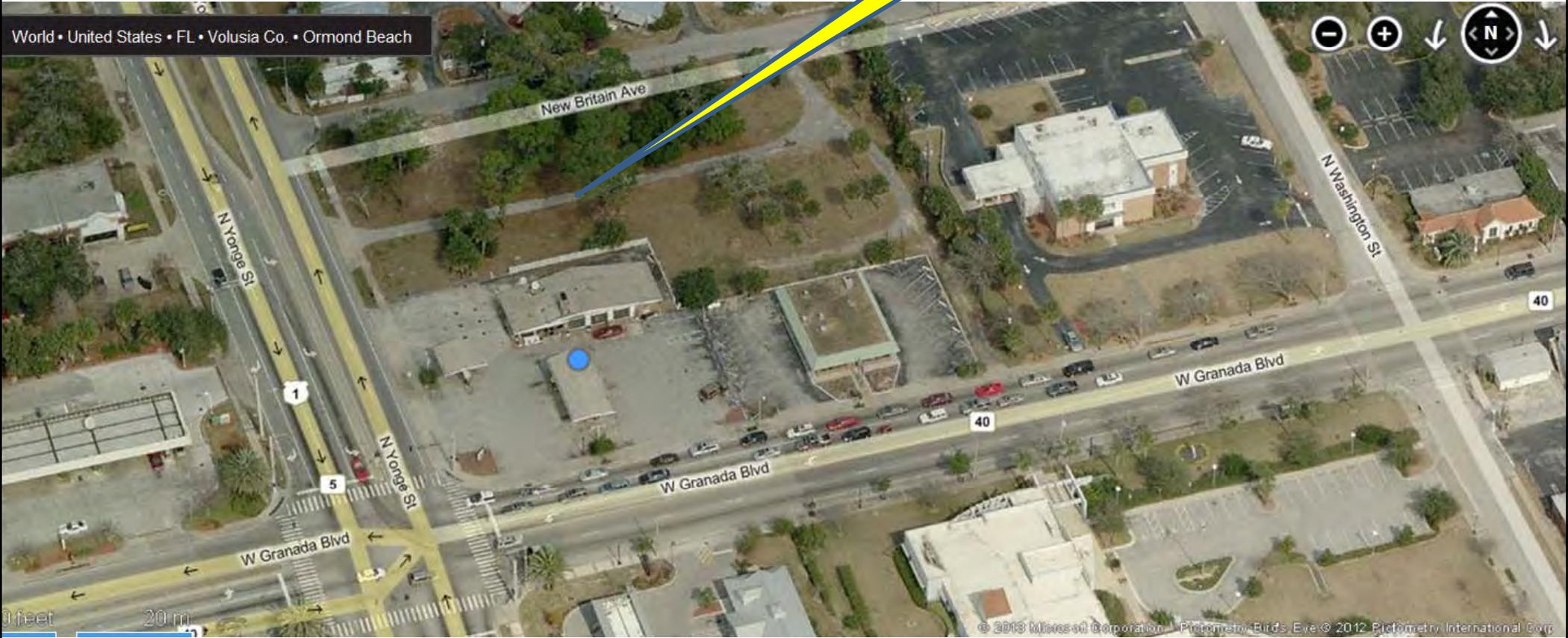
Champion 12.11"

Service Center



SITE

World • United States • FL • Volusia Co. • Ormond Beach



0 feet 20 m

© 2013 Microsoft Corporation. Pictometry, Birds Eye © 2012 Pictometry International Corp



Exhibit B

Site Plan Review
Committee Request for
Additional Information



**Ormond Beach
Site Plan Review Committee (SPRC)
Request for Additional Information**

Project Name:	Sunoco
Project Number:	13-03
Site Address:	3 North Yonge Street
Review:	2nd Review (10.17.12 concept, 01.09.13)
Review Date	February 6, 2013
Project Description:	Demolition of existing site buildings/improvements and construction of a 3,159 square foot building and related site improvements
Project Contacts:	bnorris@candrcontractors.com ; Robert.Merrell@CobbCole.com ; Debi.Lacroix@cobbcole.com ; CLMcCane@sunocoinc.com ; RBethart@sunocoinc.com

Please find below the Site Plan Review Committee (SPRC) comments for your project below. The SPRC meets every Wednesday, beginning at 9:00 am, with sign-up beginning at 8:00 am. There are twenty minute time slots available for discussion of projects. The sign-up process requires an individual to come to City Hall, Room 104 to sign in for a slot and staff cannot accept telephone reservations. Applicants should arrive five minutes prior to their time slot. There will be no time slots between 11:40am and 1:00pm. Once there are no individuals left on the sign-up sheet, the SPRC will adjourn. The applicant may utilize the time slot to address major issues and discuss design solutions for projects.

General Comments (no response required)

1. All outside agency permits (hard copy and on CD) are required to be provide prior to final SPRC approval.
2. Prior to construction, the project will need to provide cost estimates, including landscaping, that will be the basis of the engineering inspection fee as follows 1.5% of the first \$100,000 of site improvements and 0.5% over \$100,000 up to \$500,000; minimum of \$250.
3. Per Section 4-05.B. of the Land Development Code, "Applicants shall

respond to SPRC written comments within 180 calendar days of the issuance date or the project shall be considered withdrawn. All projects that do not respond within the allotted time shall be required to submit a new application and SPRC review fees. Applicants may request a maximum of two 90-calendar-day extensions with a written request to the Planning Director detailing the reason for the delay in responding to the SPRC comments.”

Steven Spraker, AICP, Senior Planner, 386.676.3341

4. Easements:
 - a. Note: City landscape easement is required prior to site construction.
 - b. Note: The applicant will need to amend this easement with the Maria Bonita property owner and provide the City a recorded copy of the amendment prior to site construction.
5. Submittal: For the final approvals, there will need to be 9 sets signed and sealed in 24” by 36” format of ALL sheets (including survey, lighting plan, signage, elevations, and the civil site plan), one set as a 11” by 17” and one pdf.
6. Prior to final Certificate of Occupancy, the two properties would need to be combined into one parcel.

Paul MacDonald, City Landscape Architect, 386.676.3269

7. The LED light fixture is acceptable. The proposed pole needs to be decorative and the concrete footer should not extend beyond the top the of the site grade where it is located.
8. On the landscape plan, identify what “TDF” represents.
9. Note: Would recommend not placing the crape myrtle trees in front of the stop sign onto Granada Boulevard. These can be field adjusted during construction.
10. Provide bollard details on plan set.

Justin Barton, Civil Engineer, 386.615.7047

11. Storm water – The proposed storm water system includes drainage for Maria Bonita site. Please provide data to ensure that storm water pond will hold design storm and not discharge untreated storm water onto New Britain or SR 40.
12. Storm water – City of Ormond Beach Standard Construction detail ST-4 requires a minimum freeboard of 6”. Please insure that this storm water requirement is met.
13. Drawing No. 9 – For ease of recording attempt to encompass drainage structure and pond within one proposed easement.

14. Drawing No. 11 – Storm water Pond Section – replace with City of Ormond Beach Standard Construction Detail ST-4
15. Per your response to comment 25c. that FDOT has accepted discharge into their system. Please provide copy of FDOT drainage connection permit or letter of exemption. Also include copy of FDOT driveway connection permit.

Tom Griffith, Plans Examiner, 386.676.3351

16. Acceptable as submitted.

Kevin Gray, Environmental Systems Manager, 386.676.3577

17. Acceptable as submitted.

Mike Dunn, P.E., Public Utilities Manager, 386.676.3583

18. Sheet 13 - Utility Plan: The Water Connection Detail shows the tap on the west side of the water main. The Exterior Perspective shows that this area is to be a paved sidewalk. If the meter box is to be installed in the sidewalk, revise the connection so the tap is on the east side of the water main and the meter is located at the property line directly to the west of the proposed 1-1/2 inch backflow preventer.

Exhibit C

Applicant Letter

William M. Cobb
(1881-1939)
Thomas T. Cobb
(1916-2004)
W. Warren Cole, Jr.
(1926-2008)

Harold C. Hubka
Scott W. Cichon
Robert A. Merrell III
Bruce A. Hanna
John P. Ferguson
Rhoda Bess Goodson
Thomas J. Leek
Mark A. Watts
Heather Bond Vargas

COBB COLE

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Michael J. Woods
Maja Sander Bowler
Katherine Hurst Miller
Michael O. Sznajstajler
Melissa B. Murphy

OF COUNSEL

C. Allen Watts
Thomas S. Hart
Larry D. Marsh

RETIRED

Jay D. Bond, Jr.

December 13, 2012

VIA HAND DELIVERY

Steven Spraker
Senior Planner
City of Ormond Beach
22 S. Beach Street
Ormond Beach, FL 32174

Re: Sunoco, Inc.
Planned Business District Rezoning
Project Number 13-03
3 N. Yonge Street, Ormond Beach, FL - including Waivers/Public Benefits

Dear Steven:

It is this Firm's pleasure to represent Sunoco, Inc. and C&R General Contractors, Inc. in connection with their request for Planned Business District (PBD) Rezoning of the property located at 3 N. Yonge Street. Sunoco, Inc. recently purchased the former Shell service station/convenience store at that location from First Coast Energy, Inc. and intends to redevelop this property with a modern convenience store facility including gas pumps. As depicted on the attached architectural renderings, Sunoco intends to redevelop this site with a one-of-a-kind convenience facility worthy of being at a major intersection in the gateway to the City of Ormond Beach.

We recognize the importance of the urban design standards contained in the City's Land Development Code for projects along Granada Boulevard in this vicinity, and have made what we believe to be every commercially reasonable effort to bring forward a project consistent with the City's designs for redevelopment of Granada Boulevard as its "Main Street". Due to several site constraints we are unable to actually locate the convenience store building immediately adjacent to Granada Boulevard in order to literally comply with the "urban edge" form based code standards, but we will incorporate several innovative design and construction concepts which we believe the City will recognize as a significant addition to their downtown.

Mr. Steven Spraker
December 12, 2012
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Significant Public Benefits of Project

In order to comply with the intent and purpose of the Land Development Code standards pertaining to “urban edge” design along Granada Boulevard, Sunoco has developed a one-of-a-kind facility including enhanced building architecture as well as substantial and unique improvements along the Granada Boulevard and US-1 frontage of the property. The building architecture and the decorative coquina wall along US-1 and Granada are focused on a significant and iconic coquina clock tower structure located at the corner of US-1 and Granada Boulevard (see the attached architectural renderings). This iconic structure will include materials and architecture matching the rest of the improvements on the site with a coquina stone finish which also ties into several of the historic structures within the Ormond Beach downtown area, like the old fire station.

This coquina theme is carried through the building architecture, the monument signage on site, and the columns supporting the fueling canopy. Please also see this theme illustrated on the attached architectural renderings and described in the attached narrative from our project architect Mark Metzgar. Mark’s letter also addresses compliance with the city’s architectural standards.

Instead of standard stucco masonry finishes, Sunoco will use a stucco-like material which contains coquina shells to match the actual stone used on the vertical columns, the sign bases and the building wainscot. Although it is difficult to show samples of this material, we will provide pictures under separate cover for the SPRC, Planning Board and Commission. The wall surrounding the site will also include iron fencing on top of the coquina/masonry elements which, when combined with the iconic clock tower at the corner, will be of such a substantial nature that it will provide massing to simulate an actual building being located on the road, which for the reasons discussed below we are not able to do literally. We believe this will bring forward the intent and purpose of the land development code standards for creating an “urban edge” at this location to the extent reasonably and commercially practicable, and that the aesthetic enhancement to this critical gateway property will be a significant public benefit to the citizens of Ormond Beach.

Also, we believe the sidewalks and stamped pavers along Granada and US-1 at our driveway crossings will be a public benefit as they will be convenient and inviting to pedestrians, and consistent with the intent and purpose of the downtown development standards. These pedestrian-friendly improvements will compliment the city’s efforts elsewhere along Granada Boulevard to promote connectivity and internal trip capture to reduce the need for automobile usage in the area. For instance, someone parked at another retail establishment along Granada may be willing to walk to the convenience store and then back to their parked car instead of driving and re-parking.

We have provided tasteful and well proportioned signage throughout the proposed project which we also believe to be consistent with the intent and purpose of the City’s sign regulations.

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December 12, 2012
Page 3 of 6

The Sunoco signage on the fueling canopy, which is otherwise discouraged by the code, is modest in size and is offset by the significant architectural elements incorporated into the canopy, including the standing seam metal roof and coquina stone on the vertical elements. Also, our standard colorful prototypical "horizon" found on the canopy in most of our other locations was replaced with a solid blue color to make it more subdued. This represents a substantial concession by Sunoco which removes an important part of our corporate branding and hence our ability to attract customers to our site based on brand recognition. We hope this revision is weighted heavily in the balance of PBD public benefit versus literal code compliance.

We have provided areas for placement of planned city landscape improvements (Medjool Palms) along the right-of-way as well as adding our own enhanced landscape plan to the project (see the attached landscape plans prepared by England Thims and Miller, Inc.). Our landscape plan increases the caliper of trees on site by more than twenty percent. We upsized the 11 East Palatka Holly and 9 Live Oak within the property from 2.5" to 4" caliper trees, and we increased the shrubs from the required 230 to 308. We are preserving 3 existing palm trees that have a total 45 caliper inches and are providing 21 new cabbage palm trees which exceed the minimum required height of 10' as well as increasing the minimum landscape area from 8,614 SF to 10,078 SF.

Finally, we have upgraded the site to provide stormwater retention and treatment, which, when combined with the landscape and architectural improvements outlined above is consistent with several of the public benefit requirements of the code for Planned Business Developments.

Site Characteristics and Design Elements

Those following site characteristics and other design aspects of the project are relevant to your consideration of this request:

- 1) The configuration of the parcel after a significant right-of-way taking at the corner of US-1 and Granada Boulevard limits the frontage on Granada (see the survey attached hereto). A very large portion of the corner was removed from the site and made part of the right-of-way.
- 2) The location of the underground gas tanks on the site prevent a building from being located directly on Granada Boulevard since the remaining area left for large fuel trucks to enter the site would not allow safe access to the tanks and safe movement of the trucks through the site and back onto the adjacent roadways. See the attached exhibit which demonstrates the conflict between the building, the fuel trucks and the fuel tanks if the building was located on Granada.

Mr. Steven Spraker
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- 3) It is paramount to Sunoco that their customers are able to view the fueling facilities clearly from the right-of-way in order to determine if they can conveniently enter and exit the site and easily fuel their vehicles without delay. This is a safety concern for the traveling public in addition to being a goal of Sunoco to guarantee a positive experience for their customers. This goal is impossible to attain on this site if the building were to be located directly adjacent to Granada Boulevard, which would effectively cause the building to shield the fueling facilities from the view of the traveling public, especially northbound traffic on Yonge Street.
- 4) The clerks within the convenience store facility must also be able to easily view the fueling stations for the safety and security of their patrons. This is not possible if the building were able to be located directly adjacent to Granada Boulevard, since the fueling facilities would be at least partially shielded from the view of the clerks within the convenience store facility.

Requested Waivers

Monument Signs - Allowed Area Size: Section 3-47, 3.b., allows two (2) signs on a corner double front lot. Sign area not to exceed 150% allowable principal frontage. 3 N. Yonge Street frontage is 164 feet; allowing 69 sq. ft. ($46 \times 1.5 = 69$ sq. ft.) Sunoco is requesting a waiver for the two (2) proposed monument signs at the location. Both signs are 54 sq. ft., which is over the allowed area size by 39 sq. ft.

Monument Signs - Allowed Height: Section 3-47, 2.a. and b., allow a 5 foot high monument sign with an additional 2 feet in height for architectural embellishment and address. Sunoco is proposing to install two 8'0" high monument signs due to its location at the intersection of two major arterial roads, and because the industry requires that we provide gasoline pricing to the motoring public. The additional one foot of height per sign is needed to provide a direct line-of-sight between the pricing panels and the motoring public. This more direct visual connection affords the customer more time to react to seeing the signs and maneuver into the facility safely.

Sunoco is proposing to install monument style signs that will be more aesthetically appealing to the community. The signs will also be integrated into substantial landscaping surrounding its coquina stone base and will serve as a signal to the community that its corporate economy is vibrant in a visually attractive manner. Sunoco believes that due to their unique business and the industry standards, relief from the monument sign height requirement would be a fair and non-intrusive request, benefitting the public with both safety and aesthetic improvements.

Building Wall Mounted Signs: Section 3-48, E.1.a. and b. The proposed building has 74 linear feet of frontage which allows 30 sq. ft. plus 0.5×44 , or an additional 22 sq. ft., for a total of 52 sq. ft. of wall signs. As per Section 3-48, E.3.B., corner, double frontage allows 150% of

Mr. Steven Spraker
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the maximum size limit permitted. 52 x 1.5 allows for 78 sq. ft. One "A-plus" trademark sign identifying the Sunoco convenience store name brand for 72 sq. ft. is proposed. That square footage is allowed by Code for two wall signs, one on each frontage. Sunoco is requesting a waiver to allow one wall mounted sign on only one frontage, instead of on both as allowed by Code.

The proposed Sunoco trademark "A-plus" arch sign above the store entrance provides an integral focal point for the main façade of the building and a clear indication of the structure's entrance.

Canopy Signs: Canopy signs are not permitted on the overhead gasoline canopy. Sunoco is requesting a waiver to install two backlit "Sunoco" canopy signs, one facing N. Yonge Street, the other facing Granada Boulevard. Each sign measures 1'9" by 11'9" or 20.5 square feet.

The primary purpose of the canopy signs is to identify the facility to the motoring public. Visibility of the canopy signs is a safety enhancement to the motoring public in a similar manner to the monument signs, in that the greater distance at which the sign is visible and recognizable, the more time the motorist has to maneuver through traffic and to the facility safely. The signs also enhance the appearance of the site, as they are an integral part of the facility's identifiable purpose and branding, and the primary building is designed in coordination with the canopy, including the tasteful Sunoco color scheme. These signs are a part of the complete package that allows a Sunoco facility to operate at optimum levels to serve the public.

Landscape Waivers: Please see the attached landscape plans with charts prepared by England Thims and Miller, Inc. which outline the requested landscape waivers.

In connection with this request, we provided the following documentation to you as our "conceptual" application on October 3, 2012:

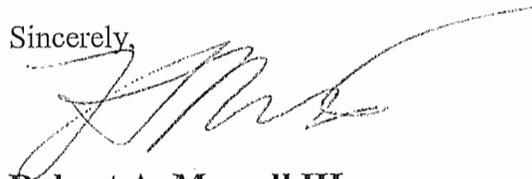
1. Public Hearing Application;
2. Application fee in the amount of \$3,400.00;
3. Site Plan Review Application;
4. Special Warranty Deeds;
5. Property Appraiser Information Cards;
6. Survey;
7. Site Plan (24" x 36"; 11" x 17"; and 8 1/2" x 11"); and
8. Architectural Elevations/Floor Plans/Exterior Perspectives.

Mr. Steven Spraker
December 12, 2012
Page 6 of 6

SPRC previous comments/responses based on the conceptual review are included under separate cover.

If you have any questions regarding this request, please don't hesitate to contact me. We look forward to working with you and your staff on this project. It is our understanding that this matter will be scheduled for SPRC at their next available meeting. We look forward to receiving staff comments as early as they are available.

Sincerely,



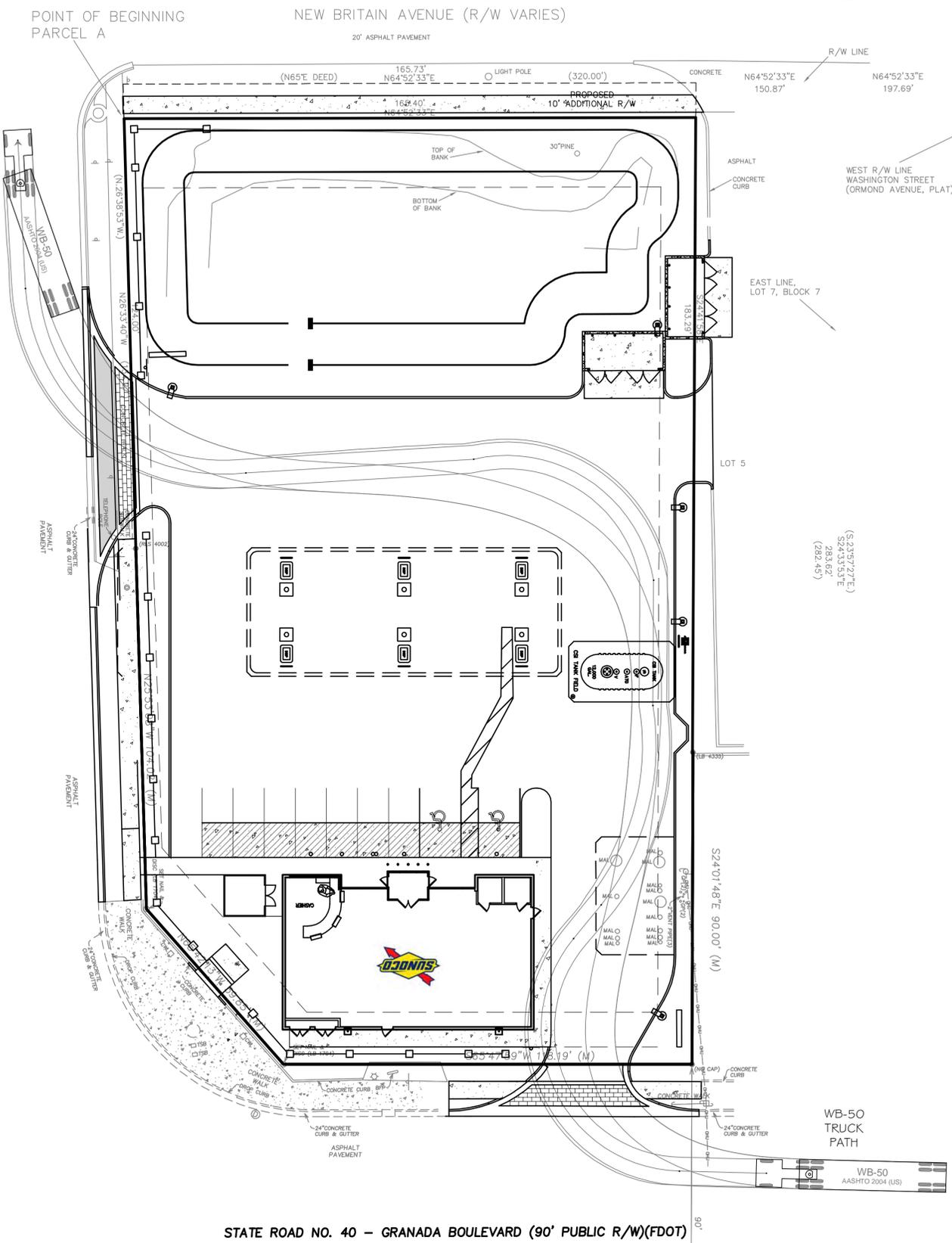
Robert A. Merrell III

Direct Dial (386) 323-9263
Email Rob.Merrell@CobbCole.com
Fax (386) 944-7955

RAM:ddl

Enclosures

cc: Mr. Clayton McCane
Mr. Rolando Bethart
Mr. Peter Ma
Mr. Bill Norris



STATE ROAD NO. 5 - U.S. HIGHWAY NO. 1 - N. YONGE STREET (100' PUBLIC R/W)(FDOT)
(YONGE STREET PER PLAT)

STATE ROAD NO. 40 - GRANADA BOULEVARD (90' PUBLIC R/W)(FDOT)

PRELIMINARY SITE PLAN
SUNOCO 0405-2205
3 N. YONGE STREET
ORMOND BEACH, FLORIDA

DRAWING NUMBER
7A

ETM
VISION - EXPERIENCE - RESULTS

England-Thoms & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32228
TEL: (904) 642-8890
FAX: (904) 646-9485
CA-0002584 LC-0000318

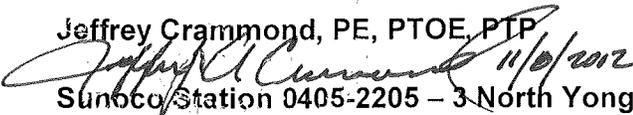
REVISIONS:

ETM NO. 11-159-02	CWD
DRAWN BY:	DMC
DESIGNED BY:	PMA
CHECKED BY:	Issue Date

PLANS PREPARED UNDER THE
DIRECTION OF:
K.T. PETER, MA., P.E.
P.E. NUMBER: 46661

MEMORANDUM

TO: Lionel Perez

FROM: Jeffrey Crammond, PE, PTOE, PTP
 11/10/2012

RE: Sunoco Station 0405-2205 – 3 North Yonge Street, Ormond Beach

DATE: October 25, 2012

As per your direction, I have reviewed the potential impacts of the redevelopment of Sunoco Station 0405-2205 located in the northeast quadrant of the Yonge Street (US-1, SR-5) and Granada Boulevard (SR-40) intersection, in Ormond Beach. The site is previously operated as a gasoline/service station with 3 service bays and 12 fueling positions. An estimate of the daily and afternoon peak traffic volumes using the trip rates contained in the 8th edition of the Institute of Transportation Engineers *Trip Generation Manual*, associated with the existing facility were calculated based on Land Use Codes (LUC) 944 - Gasoline/Service Station. Attached is a copy of the existing facility and the proposed site plan. Below are the calculations of both daily and pm peak hour traffic associated with the existing facility.

Daily Trips:

LUC 944, 12 fueling positions, $168.56 \times 12 = 2,023$ vpd

PM Peak Hour Trips:

LUC 944, 12 fueling positions, $13.87 \times 12 = 166$ vph

The proposed development will consist of a service station/convenience store with 12 fueling positions. An estimate of the daily and afternoon peak traffic volumes for the proposed development are also calculated below based on LUC 945 - Gasoline/Service Station with Convenience Market.

Daily Trips:

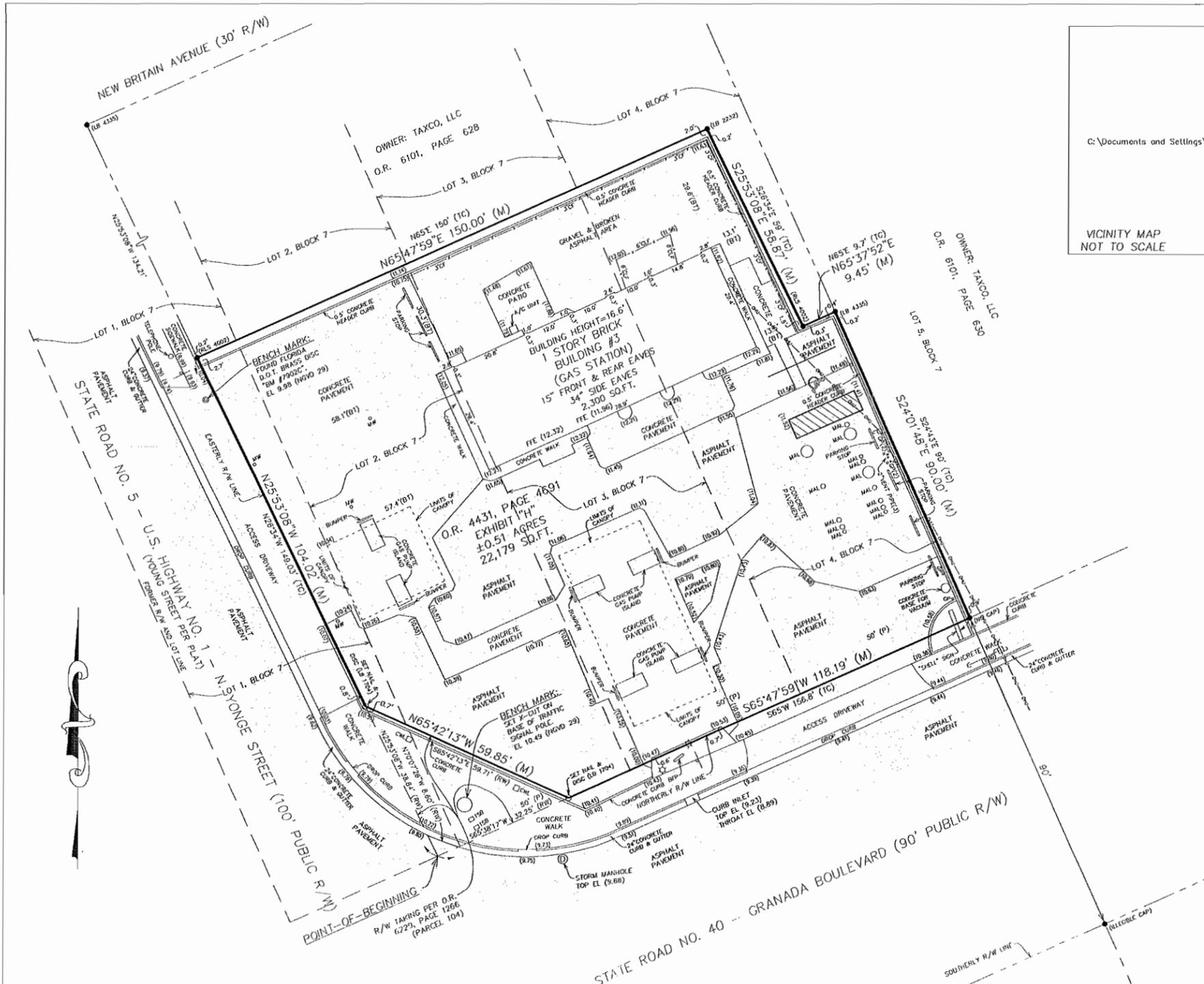
LUC 945, 12 fueling positions, $162.78 \times 12 = 1,953$ vpd

PM Peak Hour Trips:

LUC 945, 16 fueling positions, $13.38 \times 12 = 161$ vph

As shown the proposed redevelopment of the site will decrease the gross trip generation by approximately 70 daily trips and 5 trips during the afternoon peak hour. Based on this, the redevelopment of the site as proposed will not increase the traffic on either of the adjacent facilities.

If you have any additional questions regarding this analysis or require more information, please advise.



SITE

C:\Documents and Settings\ROBIN\My Documents\Images\FCE_2509-VicMap.jpg

VICINITY MAP
NOT TO SCALE

LEGEND	
●	FOUND 1/2" IRON (AS NOTED)
○	SET MONUMENTATION, AS NOTED
(BT)	BUILDING TIE TO PROPERTY LINE
R/W	RIGHT OF WAY
O.R.	OFFICIAL RECORDS BOOK OR VOLUME
D.O.T.	DEPARTMENT OF TRANSPORTATION
SQ.FT.	SQUARE FEET
EL.	ELEVATION
FFE	FRESH FLOOR ELEVATION
BFP	BACKFLOW PREVENTER
MW	MONITORING WELL
OP	GUARD POST
IP	IRON PIPE
TSE	TRAFFIC SIGNAL BOX
CM	CROSSWALK LIGHT POLE
CF	CONCRETE FENCE
CLF	CHAIN LINK FENCE
MAL	METAL ACCESS LID
SP	SIGN POST
LP	LIGHT POLE
WV	WATER VALVE
CUP	CONCRETE UTILITY POLE
WUP	WOOD UTILITY POLE
CA	CITY ANCHOR
FF	FENCE, AS NOTED, W/DIES TO FACE
OU	OVERHEAD UTILITY LINE
HP	HANDICAP PARKING SPACE

NOTES:

- BEARING REFERENCE: N25°53'08"W FOR THE EASTERLY R/W LINE OF U.S. HIGHWAY NO. 1-STATE ROAD NO. 5 PER STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION R/W MAPS, SECTION 79030-240992-1G.
- THE PROPERTY SURVEYED HEREON APPEARS TO LIE WITHIN FLOOD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NO. 125136-0216H, DATED FEBRUARY 19, 2003.
- ELEVATIONS SHOWN THUS: (20.00) AND REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
- REFERENCE BENCH MARK: FOUND FLORIDA DEPARTMENT OF TRANSPORTATION BRASS DISK DESIGNATED "BM #2", LOCATED ON CONCRETE WINGWALL UNDER WEST END AND ON NORTH SIDE OF GRANADA BRIDGE (STATE ROAD 40). ELEVATION 5.49 (NGVD 29).
- PROPERTY ADDRESS: 3 NORTH YONGE STREET, CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32174.
- THE PROPERTY SURVEYED CONTAINS 22,179 SQUARE FEET OR ±0.51 ACRES.
- THIS IS AN ABOVE GROUND SURFACE SURVEY ONLY, NO UNDERGROUND INFORMATION LOCATED OR SHOWN.
- ALL LOT AND BLOCK INFORMATION SHOWN HEREON REFERS TO PLAT OF GRANADA RESUBDIVISION, RECORDED IN PLAT BOOK 5, PAGE 135 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
- BEARINGS AND DISTANCES SHOWN THUS: (TC) REFER TO LEGAL DESCRIPTION IN CHICAGO TITLE COMMITMENT NO. 3671924, DATED OCTOBER 10, 2011. BEARINGS AND DISTANCES SHOWN THUS: (RW) REFER TO R/W TAKING (PARCEL 104) PER O.R. 6229, PAGE 1266. DISTANCES SHOWN THUS: (P) REFER ABOVE MENTIONED PLAT OF GRANADA RESUBDIVISION, PLAT BOOK 5, PAGE 135. BEARINGS AND DISTANCES SHOWN THUS: (M) REFER TO ACTUAL FIELD MEASUREMENTS OR COMPUTATIONS THEREFROM.
- BUILDING SETBACK LINES PER CITY OF ORMOND BEACH ZONING "B-4" (DOWNTOWN OVERLAY) ARE: FRONT-15', REAR-20', SIDES-10'.
- NO TREES WERE FOUND ON SUBJECT PROPERTY.
- THERE WAS ONE (1) HANDICAP PARKING SPACE MARKED AT TIME OF SURVEY.

TITLE NOTES:

- THE LEGAL DESCRIPTION SHOWN HEREON IS THE SAME AS EXHIBIT "A" OF CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 3671924, DATED OCTOBER 10, 2011.
- THE FOLLOWING ITEMS REFER TO SCHEDULE B-PART II:
 - ITEM 6-NO UNRECORDED LEASES OR AGREEMENTS FURNISHED TO THE UNDERSIGNED SURVEYOR.
 - ITEM 7-ENCROACHMENT REFERRED TO IN ENCROACHMENT AGREEMENT PER O.R. 3476, PAGE 533 HAS BEEN REMOVED.
 - ITEM 8-AGREEMENT FOR RIGHT OF ENTRY PER O.R. 3878, PAGE 186 GRANTS SHELL OIL COMPANY A "BLANKET" TEMPORARY LICENSE TO ENTER SUBJECT PROPERTY.

MAP SHOWING ALTA/ACSM LAND TITLE SURVEY OF

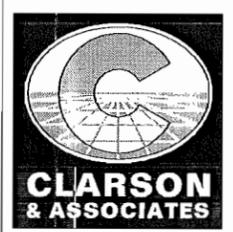
A PORTION OF LOT 1, 2, 3 AND 4, BLOCK 7, GRANADA-RE-SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN MAP BOOK 5, PAGE 135, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:
 BEGINNING AT AN INTERSECTION OF THE NORTHERLY LINE OF GRANADA AVENUE (A 90' FOOT STREET AS NOW LAID OUT AND USED) WITH THE EASTERLY LINE OF U.S. HIGHWAY NO. 1 (A 100 FOOT STREET AS NOW LAID OUT AND USED); THENCE NORTH 26 DEGREES 34 MINUTES WEST, A DISTANCE OF 149.03 FEET; THENCE NORTH 65 DEGREES EAST, A DISTANCE OF 150 FEET; THENCE SOUTH 26 DEGREES 34 MINUTES EAST, A DISTANCE OF 59 FEET; THENCE NORTH 65 DEGREES EAST, A DISTANCE OF 9.7 FEET; THENCE SOUTH 24 DEGREES 43 MINUTES EAST, A DISTANCE OF 90 FEET TO A POINT IN THE NORTHERLY LINE OF SAID GRANADA AVENUE; THENCE SOUTH 65 DEGREES WEST, ALONG THE NORTHERLY LINE OF SAID GRANADA AVENUE, A DISTANCE OF 156.8 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING ANY PART DESCRIBED IN THAT CERTAIN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 6229, PAGE 1266, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

CERTIFIED IN CHICAGO TITLE INSURANCE COMPANY; SUNOCO, INC. (R & M), A PENNSYLVANIA CORPORATION; FIRST CLASS ENERGY, LLP, A COLORADO LIMITED LIABILITY PARTNERSHIP; MCGUIRE WOODS, LLP

STATE ROAD NO. 40 GRANADA BOULEVARD (90' PUBLIC R/W)

FCE #2509 3 NORTH YONGE STREET, CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32174

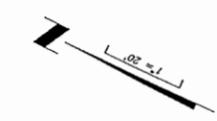
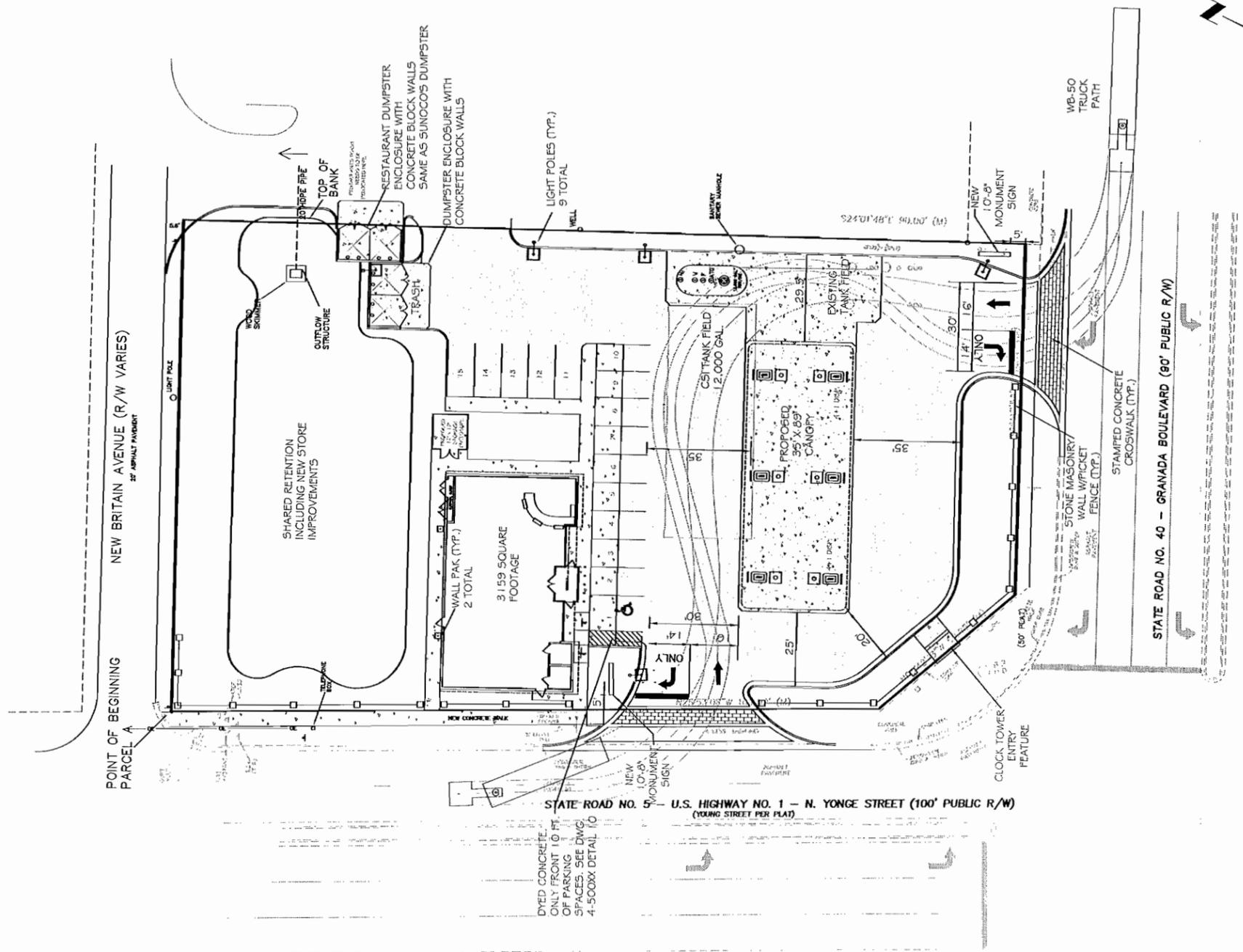


THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR 2011 ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(e), (b)(1), 7(c), 8, 9, 10, 11(a), 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 9, 2011.

SIGNED: JOSE A. HILL, JR. REGISTERED LAND SURVEYOR NO. 4487 SURVEY NOT VALID WITHOUT EMBOSSED SURVEYOR'S SEAL

PREPARED BY: CLARSON AND ASSOCIATES, INC. PROFESSIONAL SURVEYORS & MAPPERS 1043 WALDO AVENUE JACKSONVILLE, FLORIDA, 32207 PHONE: 904-398-2623

DATE SURVEYED: DECEMBER 9, 2011
 SCALE: 1" = 40'
 FIELD BOOK: 813 PAGES: 3
 DRAWING NO: A 3768



ETM
 VISION - EXPERIENCE - RESULTS
 ENGLAND - THIMS & MILLER, INC.
 14775 Old St. Augustine Road, Jacksonville, FL 32258
 TEL: (904) 642-8990, FAX: (904) 646-9485
 CA - 00002584 LC - 0000316

8	10-11-2012	BUILDING FLIPPED PER SINKED REVIEW.	LJP	PMA
7	10-2-2012	REVISED SIGNS SIZE AND LOCATION PER SINKED REVIEW.	LJP	PMA
6	10-1-2012	ADDED CLOCK TOWER, FENCE AND STAMPED CONC. PER CITY REVIEW.	LJP	PMA
5	6-26-2012	REVISED DRIVEWAYS PER FOOT REVIEW.	LJP	PMA
4	4-24-2012	REVISED SITE PLAN PER COUNTY REVIEW.	LJP	PMA

REV. NO. DATE REVISIONS DRAWN BY CHK'D BY APP'D BY
SUNOCO, INC.
 Retail Engineering
 Lester, PA
 3 N. YONGE ST.
 LOCATION: ORMOND BEACH, FLORIDA PROJECT NO.

CONCEPT PLAN
 3159 SF/ 6 DISP (4-4+0, 2-4+1) 1 TANK
 SCALE: 1" = 20'
 APPROVAL: PMA FACILITY NO. 0405-2205 DRAWING NO. CP-2 REV. NO. 8
 CHECKED: LJP
 DATE: 3/28/2012

IT IS UNDERSTOOD THAT THE DRAWING(S), SPECIFICATIONS, CAD DISKS, PAPER DOCUMENTS AND ELECTRONIC DOCUMENTS (DOCUMENTS) ARE PREPARED SPECIFICALLY FOR USE WITH THIS PROJECT AND ARE THE SOLE PROPERTY OF SUNOCO, INC. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OTHERS ON ANY OTHER PROJECT OR ANY OTHER PURPOSE. USE OF THE DOCUMENTS, INFORMATION AND DATA CONTAINED HEREIN IS, AT THE USER'S RISK AND RESPONSIBILITY OF THE USER AND IS WITHOUT LIABILITY OR LEGAL EXPOSURE TO SUNOCO, INC. OR SUNOCO, INC. (RAM)

CONCEPT LAYER LEGEND

— PROPLINE
— TO REMAIN (EXIST)
— CP-PROP
— CP-TEXT
— TRUCK
— OTHER

POINT OF BEGINNING
 NEW BRITAIN AVENUE (R/W VARIES)
 27' ASPHALT PAVEMENT

STATE ROAD NO. 40 - GRANADA BOULEVARD (90' PUBLIC R/W)

STATE ROAD NO. 5 - U.S. HIGHWAY NO. 1 - N. YONGE STREET (100' PUBLIC R/W)
 (YONGE STREET PER PLAT)

DYED CONCRETE
 ONLY FRONT 10 FT.
 OF PARKING
 SPACES. SEE DWG.
 4-500XX DETAIL 10



Cornerstone Consulting

Engineers & Architectural, Inc.

213 West Main Street . Lansdale, PA. 19446
Tel 215.362.2600 • Fax 215.362.8400

1176 N. Irving Street . Allentown, PA. 18109
Tel 610.820.8200 • Fax 610.820.3706

505 Tennis Club Circle . Lakeville, PA. 18438
Tel 570.839.1770 • Fax 610.820.3706

Florida License #: FO7000000627

7 December 2012

VIA: Hand Delivery

City of Ormond Beach
22 S. Beach Street
Ormond Beach, FL 32174

Attn: Mr. Steven Spraker, Sr. Planner

RE: Proposed Sunoco A-Plus Facility
3 North Yonge Street
Ormond Beach, FL

Dear Mr. Spraker:

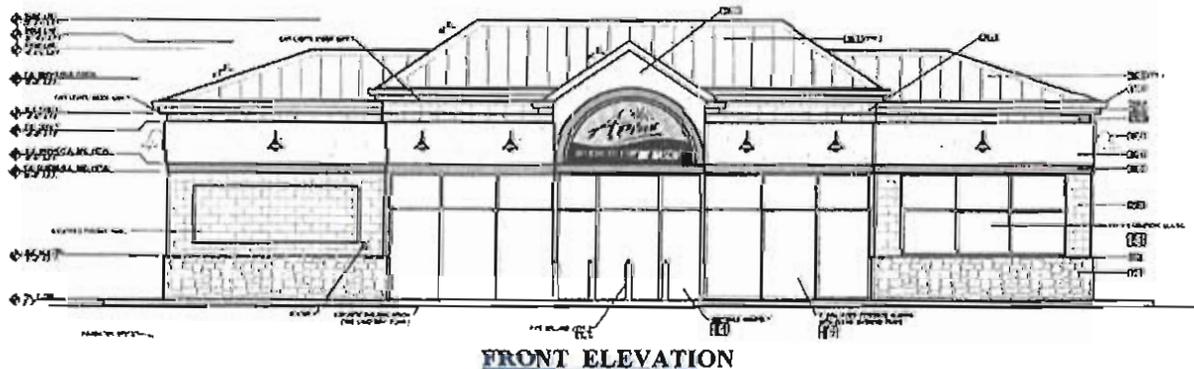
Our office is in receipt of your October 17th, 2012, SPRC meeting notes concerning your review of the initial submission documents. Based on the items discussed, our office has been requested to address the specific comments relating to "Architectural Standards - Building" (section 7), therefore we respectfully submit the following commentaries for your consideration.

General Statement:

The intent of the building design as originally presented was to capture the essence of the Florida Cracker design elements while lending to a more modernistic appeal and sustainable construction as defined in your previous ordinance as Contemporary Florida Cracker. However, in a review of the recently revised ordinance, it is our opinion that the current presentation lends to a Neo Eclectic classification as defined in §3-69.G of the adopted ordinance.

Staff is concerned with the parapet roof proposed rather than meeting the roofing requirements of the Florida Cracker style... Please review the type of 8:12 roof pitches that have been permitted which have a much greater slope and use dormers as architectural accents.

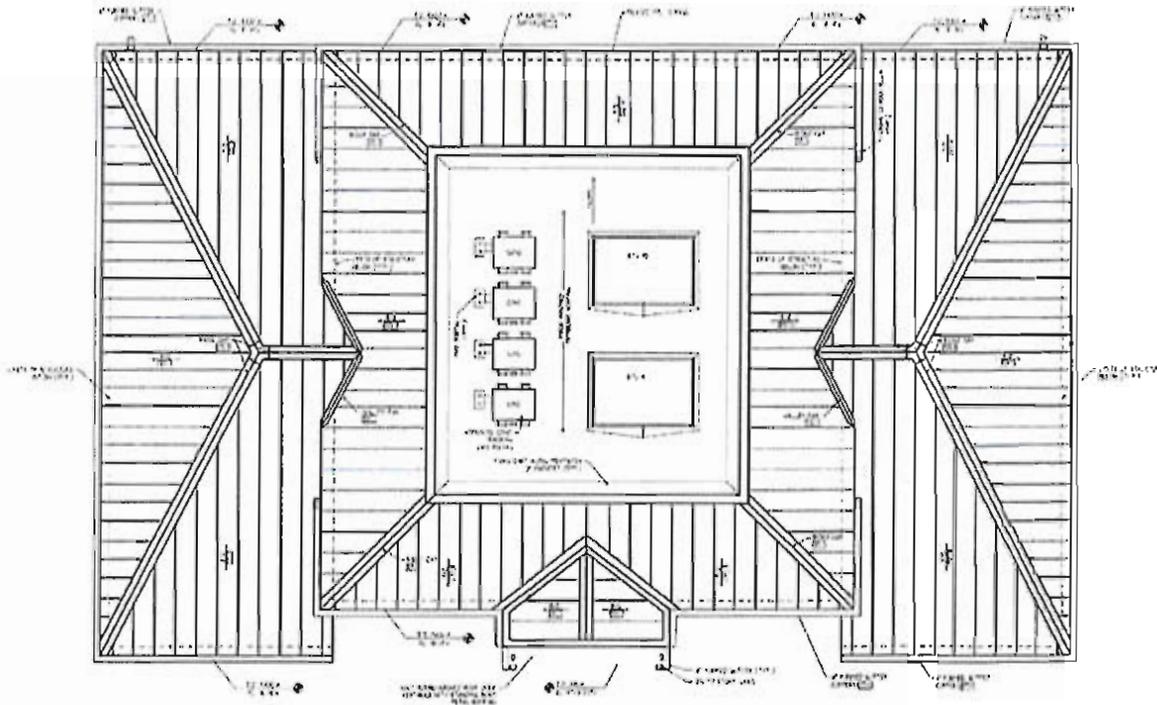
- As required in §3-69.G.1.d.1, the parapet serves to surround the flat portion of the building's roof, camouflaging the roof-mounted equipment necessary for the operation of the facility, as shown in the following roof plan and elevation:



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ROOF PLAN

Although the mansard roofing is less traditional, it serves to maintain the visual appearance as is required and lowers the overall height of the roof which would appear disproportionate if a full hip type roof was implemented. Taking this into consideration, the current presentation incorporates modifications to the mansard roof slopes to maintain an 8:12 slope while incorporating low pitched planes on the wings. This configuration emulates a central hall massing, compliments the perimeter storefront placement and allows for symmetry in the overall massing. Furthermore the current design implements an entry vestibule which is extruded from the front facade allowing for placement of an integral dormer accenting the entry and further articulating the general mass of the structure.



EXTERIOR PERSPECTIVE

In reviewing the architectural standards versus what has been submitted, staff concludes that the proposed design does not comply with the Florida Cracker or Neo Eclectic style.

- In referencing the Neo Eclectic style requirements, it is our opinion that the alterations incorporated in the current submission meet the requirements of the Neo Eclectic Style defined in §3-69 of the adopted ordinance base on the following criteria:
 1. §3-69.G.1.a. Massing – Overall, the proposed building provides for two of the listed examples at less than 25ft intervals (building wall offsets and variations in roof height). Each façade has been provided with at least one of those two features.
 2. §3-69.G.1.b. Exterior Finish Materials – The exterior utilizes natural Coquina stone, split-face concrete block, EIFS (stucco finish), and a standing-seam roof.
 3. §3-69.G.1.c. Doors/Entrance – The entrance is accented visually by the projecting vestibule/porch element and its arched identification signage. Glazing and shading are also provided elements.
 4. §3-69.G.1.d. Roof Design & Materials – The roof slopes have been revised to incorporate varying slopes and planes, along with the incorporation of a central gable element . Additionally the roof is specified as a standing-seam assembly in both a traditional and Mansard/parapet fusion to maintain the building's aesthetic cohesion (*please refer to comment and response above*).
 5. §3-69.G.1.e. Windows – Glazing has been provided corresponding to the main façade facing onto State Road No. 40 – Granada Blvd. Due to the proposed building's small footprint and limited interior space, specifying glazing for the façade facing Yonge St., New Britain Ave and the Eastern Side of the building would upset the balance of the general massing and not have any function relating to the use of the facility. Furthermore the site design allows for screening of these elevations through the use of landscaping, which effectively breaks up the visible features of the facade.
 6. §3-69.G.1.f. Colors – The proposed exterior finishes maintain a natural light primary color across the various materials, with a natural Coquina stone kneewall. The red light fixtures and wall band are the exceptions, as they serve to unify the owner's identification signage with the remainder of the building design and do not exceed 20% of the building surface area.
 7. §3-69.G.1.g.1. Details – The building's façades integrate subtle color changes and materials providing a variation in tactile and visual textures, while the accent band and varied roofline lend to an expression of the building's interior spaces. Additionally, the placement of the vestibule projection provides a functional and focal projection which ties the aforementioned features together.
 8. §3-69.G.1.g.2. Details – In the vertical dimension, the building uses material variation and varied roof slopes to create visual interest in the building's overall massing. Horizontally, the building employs the vestibule projection as defined previously which anchors the repeating accent lights along the perimeter of the facility.

The building lacks four-sided architecture. The south elevation...is a blank façade, which staff does not support.

- The documentation provided with the current submission has been amended to continue the architectural finishes and features to all four sides of the proposed structure as defined previously under the §3-69.G.1.g.2. *Details*. support commentary.

The exposed downspouts on the New Britain frontage are not allowed based on visibility.

- Based on the conversations from our recent meeting, the proposed landscaping along New Britain Ave. will provide sufficient visible screening of the view to the rear of the building which allows for the installation of the rain water collectors.

The illuminated placard (sign) is not permitted. The area where the placard is to be removed needs additional architectural treatment.

- The documentation provided with the current submission has been amended to eliminate the placard sign and incorporate a recessed niche in the masonry between the fascia treatments and stone kneewall.

Staff does not see anything that would emulate a front porch.

- The front façade of the building is accented with a vestibule projection at the main entrance point. This enclosed projection emulates the appearance and function of traditional porches, as it invites patrons to the entrance point of the building, and serves as an architectural transition between interior and exterior. The vestibule area is also separate from the main sales floor, and can be used as a temporary shelter from inclement weather, by patrons and/or passersby.

Please verify there is a single banding stripe. The LDC prohibits stripes and geometric patterns.

- The design proposes a single colored accent band.

It is our opinion that the proposed building design not only fulfills, but exceeds the requirements and spirit of the ordinance by providing the City of Ormond Beach with much more than a mere convenience store and refueling station. The aesthetic appeal of the building structure, in combination with the elaborate site amenities of the landscaping, decorative walls and pedestrian walkway through the clock tower, will serve as a community hub that offers a visual cue of the vibrance and prosperity of City while simultaneously providing the practical functions of 24 hour restroom services and as a shelter from inclement weather.

Should you have any questions or concerns regarding the information contained within this correspondence, please feel free to contact our office directly.

Sincerely,
***Cornerstone Consulting
Engineers & Architectural, Inc***



Mark W. Metzgar, Principal

*cc: Bill Norris - L&R Construct.
Clayton McCane- Sunoco
Peter Ma- ETM
Robert Merrell, esq.*

Exhibit D

Site Plans

LEGAL DESCRIPTION

A PORTION OF LOT 1, 2, 3 AND 4, BLOCK 7, GRANADA-RE-SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN MAP BOOK 5, PAGE 135, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS: BEGINNING AT AN INTERSECTION OF THE NORTHERLY LINE OF GRANADA AVENUE (A 90 FOOT STREET AS NOW LAID OUT AND USED) WITH THE EASTERLY LINE OF U.S. HIGHWAY NO. 1 (A 100 FOOT STREET AS NOW LAID OUT AND USED); THENCE NORTH 26 DEGREES 34 MINUTES WEST, A DISTANCE OF 149.03 FEET; THENCE NORTH 65 DEGREES EAST, A DISTANCE OF 150 FEET; THENCE SOUTH 26 DEGREES 34 MINUTES EAST, A DISTANCE OF 59 FEET; THENCE NORTH 65 DEGREES EAST, A DISTANCE OF 9.7 FEET; THENCE SOUTH 24 DEGREES 43 MINUTES EAST, A DISTANCE OF 90 FEET TO A POINT IN THE NORTHERLY LINE OF SAID GRANADA AVENUE; THENCE SOUTH 65 DEGREES WEST, ALONG THE NORTHERLY LINE OF SAID GRANADA AVENUE, A DISTANCE OF 156.8 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING ANY PART DESCRIBED IN THAT CERTAIN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 6229, PAGE 1266, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

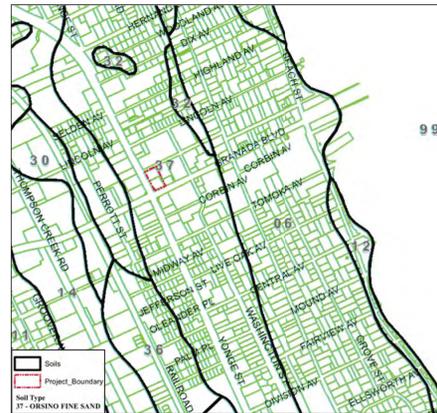
PROJECT DESCRIPTION

REDEVELOPMENT OF EXISTING GAS STATION SITE TO PROVIDE A NEW SUNOCO GAS STATION AND CONVENIENCE STORE.



FLOOD MAP / ZONING MAP

N.T.S.



SOILS MAP

N.T.S.



**STORE NO. 0405-2205
(CITY PROJECT No: 13-03)**

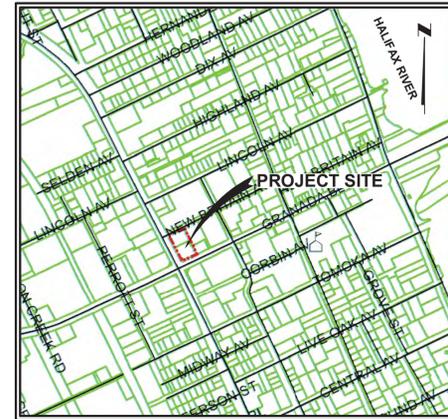
**3 NORTH YONGE STREET
ORMOND BEACH
VOLUSIA COUNTY, FLORIDA
(TAX PARCEL I.D. # 421507070011)**

**FOR
SUNOCO, INC.**

10 INDUSTRIAL HIGHWAY, BUILDING G
LESTER, PA 19209
(610)-833-3598



England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 646-9485
CA - 00002584 LC - 0000316



LOCATION MAP

N.T.S.

DRAWING INDEX	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES
3	ORMOND BEACH GENERAL NOTES
4	ORMOND BEACH WATER AND SEWER NOTES
5	DEMOLITION PLAN
6	MASTER SITE PLAN
7	SITE GEOMETRY PLAN
7A	ADA ACCESSIBILITY PLAN
8	PRE-DEVELOPMENT PLAN
9	POST-DEVELOPMENT PLAN
10	PAVING AND DRAINAGE PLAN
11	PAVING AND DRAINAGE DETAILS
12	PAVING AND DRAINAGE DETAILS
13	UTILITY PLAN
14	WATER AND SEWER DETAILS
15	SEDIMENT AND EROSION CONTROL PLAN
16	SEDIMENT AND EROSION CONTROL DETAILS
17	STORMWATER POLLUTION PREVENTION PLAN
18	CONTRACTOR'S CERTIFICATION
19	NEIGHBORHOOD DRIVEWAY CONNECTION PLAN
MOT-1	MAINTENANCE OF TRAFFIC PLAN
MOT-2	MAINTENANCE OF TRAFFIC DETAILS
LC-01	LANDSCAPE PLAN
LC-02	LANDSCAPE DETAILS AND SPECIFICATIONS
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION DETAILS AND SPECIFICATIONS
SUNOCO - APPENDICES	
2-497	ELECTRICAL CONDUIT DETAILS
3-443	FUEL TANK DETAILS
4-500	EXTERIOR CONCRETE DETAILS
4-501	MISC. EXTERIOR CONCRETE DETAILS
4-508	ADA SITE WORK DETAILS
4-512	MASONRY TRASH ENCLOSURE DETAILS

PLAN APPROVAL IS SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS:

PROPERTY OWNER
SUNOCO, INC.
CONTACT: CLAYTON McCANE
clmccane@sunocoinc.com
TEL: (610) 833-3598
10 INDUSTRIAL HWY, BLDG. G
LESTER, PA 19029

PROJECT ENGINEER
ENGLAND-THIMS & MILLER, INC.
CONTACT: PETER MA, P.E.
map@etm-inc.com
TEL: (904) 642-8990
FAX: (904) 646-9485
14775 OLD ST. AUGUSTINE RD.
JACKSONVILLE, FL 32258

ARCHITECT
CORNERSTONE CONSULTING
ENGINEERS & ARCHITECTURAL, INC
CONTACT: MARK METZGAR
mmezgar@cornerstonenet.com
TEL: (610) 820-8200
FAX: (641) 820-3706
1176 N. IRVING STREET.
ALLENTOWN, PA 18109

PROJECT MANAGER
ENGLAND-THIMS & MILLER, INC.
CONTACT: PETER MA, P.E.;
LIONEL J. PEREZ
map@etm-inc.com; peretzl@etm-inc.com
TEL: (904) 642-8990
FAX: (904) 646-9485
14775 OLD ST. AUGUSTINE RD.
JACKSONVILLE, FL 32258

LANDSCAPE ARCHITECT
ENGLAND-THIMS & MILLER, INC.
CONTACT: RYAN CLARK, RLA
clarkr@etm-inc.com
TEL: (904) 642-8990
FAX: (904) 646-9485
14775 OLD ST. AUGUSTINE RD.
JACKSONVILLE, FL 32258

PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS: 01/22/13 REVISED PER CITY & FOOT COMMENTS

ETM NO. 11-159-02

DRAWN BY: CWD

DESIGNED BY: DMC

CHECKED BY: PMA

DATE: Issue Date

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
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FAX: (904) 646-9485
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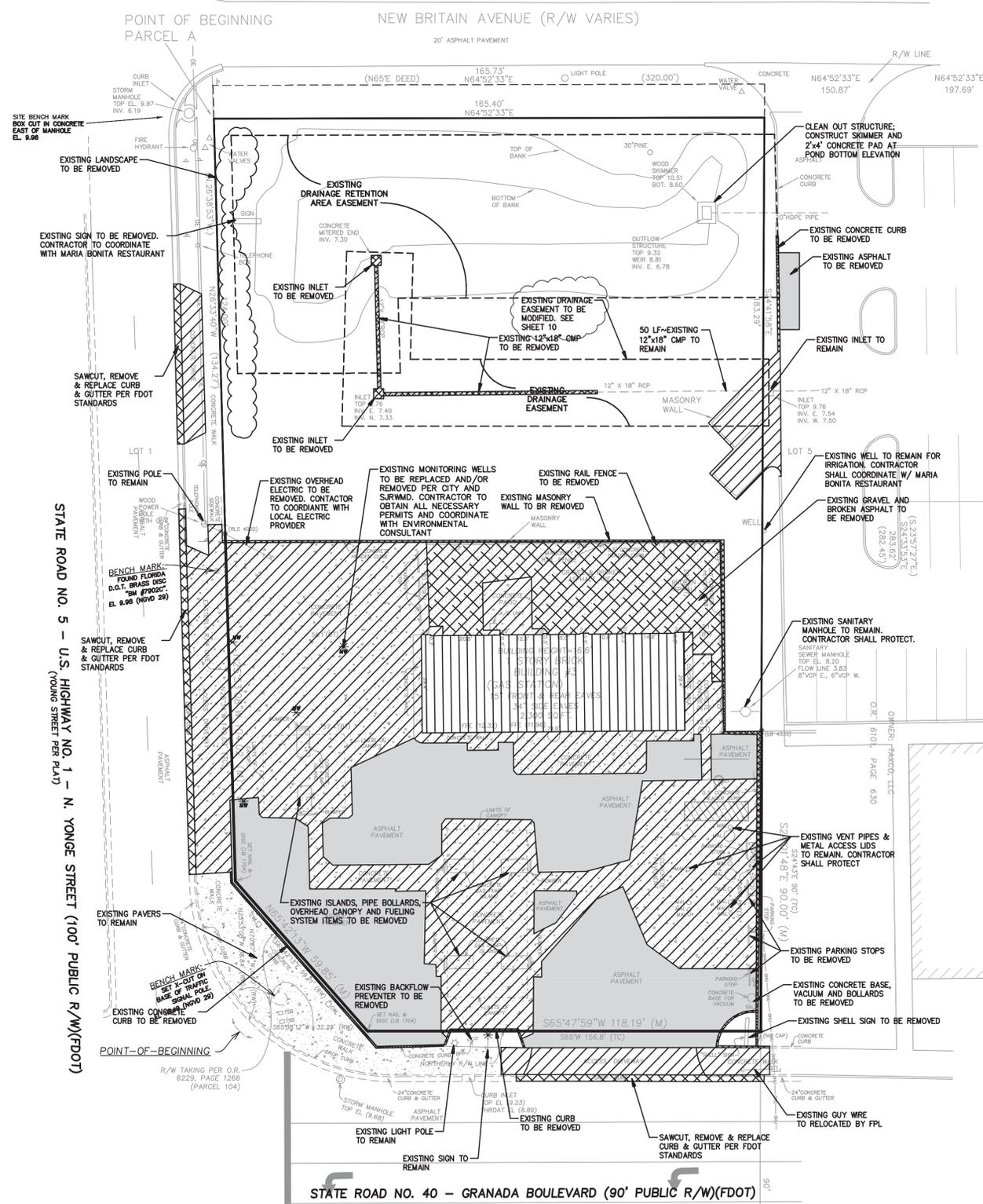
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COVER

**SUNOCO 0405-2205
3 N. YONGE STREET
ORMOND BEACH, FLORIDA**

DRAWING NUMBER
1

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LEGEND

	SAW-CUT AND REMOVE CONCRETE
	SAW CUT, REMOVE CURB & GUTTER AND/OR CURB
	SAW-CUT AND REMOVE ASPHALT PAVEMENT
	BUILDING TO BE REMOVED
	DRAINAGE STRUCTURES & PIPES TO BE REMOVED
	MONITORING WELLS TO BE REMOVED
	LIGHT POLES TO BE REMOVED

- NOTES:**
- SEE SHEET 2 FOR GENERAL NOTES AND LEGEND.
 - FOR MAINTENANCE OF TRAFFIC PLAN, REFER TO SHEETS MOT-1 AND MOT-2.
 - CONTRACTOR SHALL USE EXTREME CAUTION WHILE PERFORMING CONSTRUCTION AROUND OVERHEAD POWER LINES AND EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS OVER EXISTING UNDERGROUND UTILITIES.
 - FOR SEDIMENT AND EROSION CONTROL DETAILS AND PLANS, REFER TO SHEETS 15 AND 16.
 - FOR NEW CURB AND SIDEWALK INFORMATION, SEE SITE PLAN AND PAVING AND DRAINAGE PLAN.
 - EXISTING UTILITIES TO BE MAINTAINED UNLESS OTHERWISE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY UTILITY TO REMAIN.
 - ALL DEMOLITION AND DEBRIS DISPOSAL SHALL CONFORM TO ALL APPLICABLE REGULATIONS.
 - BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY CLARSON AND ASSOCIATES, INC. AND MARK DOWST & ASSOCIATES, INC.
 - REFERENCE BENCH MARK: FOUND FLORIDA DEPARTMENT OF TRANSPORTATION BRASS DISK DESIGNATED "BM #G-2", LOCATED ON CONCRETE WINGWALL UNDER WEST END AND ON NORTH SIDE OF GRANADA BRIDGE (STATE ROAD 40). ELEVATION 5.49 (NGVD 29).
 - EXISTING WATER SERVICE LINE TO BE REMOVED FROM CORPORATION STOP.
 - EXISTING SANITARY SERVICE TO BE REMOVED TO PROPERTY LINE AND CAPPED.

DEMOLITION PLAN

SUNOCO 0405-2205
3 N. YONGE STREET
ORMOND BEACH, FLORIDA

DRAWING NUMBER
5

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England, Thims & Miller, Inc.
 14775 Old St. Augustine Road
 Jacksonville, FL 32226
 TEL: (904) 642-8980
 FAX: (904) 646-9465
 CA - 00002984 LC - 0000316

ETM NO. 11-159-02
 DRAWN BY: CWD
 DESIGNED BY: DMC
 CHECKED BY: PMA
 DATE: Issue Date

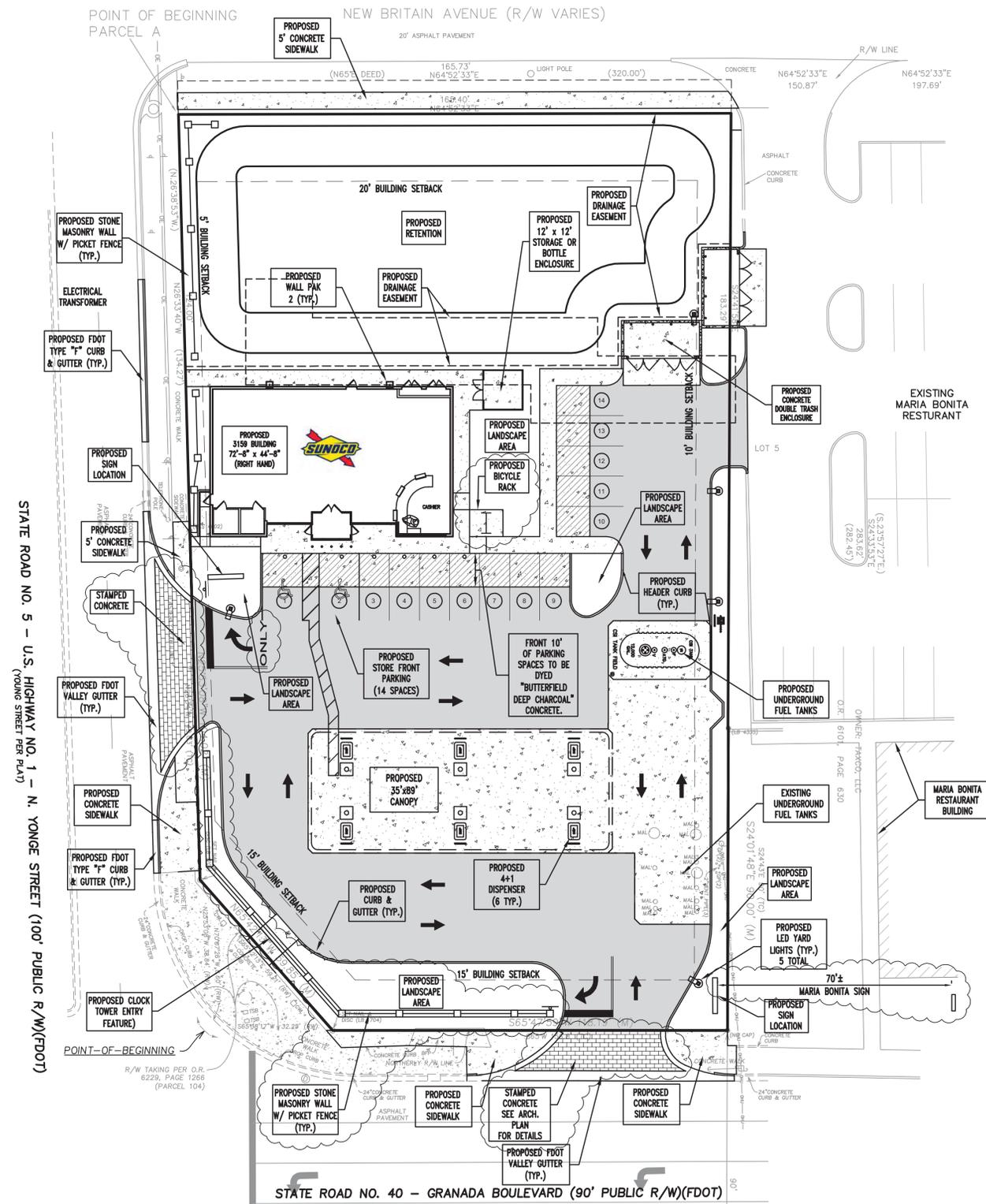
REVISIONS:
 01/22/13 REVISED PER CITY & FOOT COMMENTS

PLANS PREPARED UNDER THE
 DIRECTION OF:
 K.T. PETER, M.A., P.E.
 P.E. NUMBER: 46661

PLOTTED: January 23, 2013 - 2:53 PM, BY: Cory Daugherty

GENERAL SITE NOTES:

1. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS. NUMBERS SHALL BE IN A COLOR CONTRASTING WITH THE STRUCTURE OR BACKGROUND SURFACE, AND NOT BE LESS THAN SIX (6) INCHES IN HEIGHT.
2. THE ADDRESS NUMBER SHALL BE AFFIXED HORIZONTALLY IN A CONSPICUOUS PLACE ON THE BUILDING SO THAT THE NUMBER IS CLEARLY LEGIBLE FROM THE STREET.
3. THE ADDRESS NUMBER MUST ALSO BE INSTALLED ON THE SIGN BY THE ROAD. THE NUMBER MUST BE ON THE PART OF THE SIGN THAT FACES N. YONGE STREET.



LEGEND

[Symbol]	CONCRETE
[Symbol]	6" CONCRETE PAVEMENT (DYED)
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT SEE SHEET 4-501

WRITTEN STATEMENT

A. OWNERS NAME, ADDRESS, PHONE #
 SUNOCO, INC.
 10 INDUSTRIAL HIGHWAY, BLDG. G
 LESTER, PA. 19029
 PHONE: (610) 833-3598

B. APPLICANT NAME, ADDRESS, PHONE #
 PETER MA, P.E.
 ENGLAND - THIMS & MILLER, INC.
 14775 OLD ST. AUGUSTINE ROAD
 JACKSONVILLE, FLORIDA 32228
 PHONE: (904) 642-8990

C. NAME OF DEVELOPMENT:
 SUNOCO 0405-2205
 3 N. YONGE STREET, ORMOND BEACH, FLORIDA

D. FUTURE LAND USE CATEGORY: RETAIL

E. ZONING: EXISTING: B-4 PROPOSED: PED

F. SITE DESCRIPTION

1. VEGETATION: THE SITE IS DEVELOPED WITH GREEN AREAS.
2. JURISDICTIONAL LAND: NO WETLANDS ON SITE
3. DRAINAGE: THE SITE WILL DISCHARGE INTO AN EXISTING DRY POND THAT IS PROPOSED TO BE EXTENDED. POND DISCHARGES TO DRAINAGE SYSTEM ON NEW BRITAIN AVE.
4. FEMA FLOOD ZONE: THE ENTIRE SITE IS LOCATED IN FEMA ZONE "X".

G. PROPOSED DEVELOPMENT

1. TOTAL ACRES OF SITE: 0.99± AC
2. NUMBER OF BUILDINGS PROPOSED: 1
3. BUILDING HEIGHT: 35 FT. MAX.
4. TYPE OF CONSTRUCTION: CONCRETE BLOCK
5. GROSS SQUARE FEET: 3,159± S.F.

H. DATA SUMMARY:

1. NUMBER OF ANTICIPATED PHASES: 1
2. TOTAL SITE AREA: 0.99± ACRES
3. TOTAL ACRES PROVIDED FOR RECREATION: N/A
4. NUMBER OF LOTS AND DWELLING UNITS: N/A
5. NUMBER OF PROPOSED BUILDINGS: 1
6. EXISTING AND PROPOSED ZONING: B-4
7. NUMBER OF PROPOSED PARKING SPACES: 26
8. PERCENT OF BUILDING COVERAGE TO LOT AREA: 7.4%
9. VEHICLE USE AREA: 46.8%
10. PERVIOUS AREA: 36.9%
11. STORMWATER MANAGEMENT FACILITIES: 1

I. UTILITY SERVICE:

TYPE OF SERVICE	NAME OF UTILITY
A. SEWAGE TREATMENT	ORMOND BEACH
B. WATER SUPPLY	ORMOND BEACH
C. ELECTRICITY	FP&L

PARKING REQUIREMENTS

OFF STREET PARKING REQUIREMENTS:

1. MIN. REQUIRED = 1 SP./200 GFA = 16 SPACES
 - 1 SP./GAS PUMP BAY(1/2) = 6 SPACES
 - 1 SP./EA. EMP. LARGE SHIFT = 1 SPACE
 - TOTAL SPACES REQUIRED = 23 SPACES
2. PROVIDED = STOREFRONT SPACES = 14
 GAS PUMP SPACES = 12
 SPACES PROVIDED = 26

HANDICAPPED PARKING REQUIREMENTS:

1. PER FLORIDA STATUTE 316.1955 & 316.1956
2. PER A.D.A.A.G. s.4.1.2 (5)

TOTAL PARKING IN LOT	REQUIRED HANDICAP SPACES
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4

REGULAR PARKING PROVIDED = 26 SPACES
 HANDICAP PARKING REQUIRED = 2 SPACE
 HANDICAP PARKING PROVIDED = 2 SPACE

BICYCLE PARKING REQUIREMENTS:

PARKING REQUIRED = 3
 PARKING PROVIDED = 3

PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS: 01/22/13 REVISED PER CITY & FOOT COMMENTS

ETM NO. 11-159-02

DRAWN BY: CWD

DESIGNED BY: DMC

CHECKED BY: PMA

DATE: Issue Date

England, Thims & Miller, Inc.
 14775 Old St. Augustine Road
 Jacksonville, FL 32228
 TEL: (904) 642-8990
 FAX: (904) 642-9465
 CA - 0000294 LC - 0000316

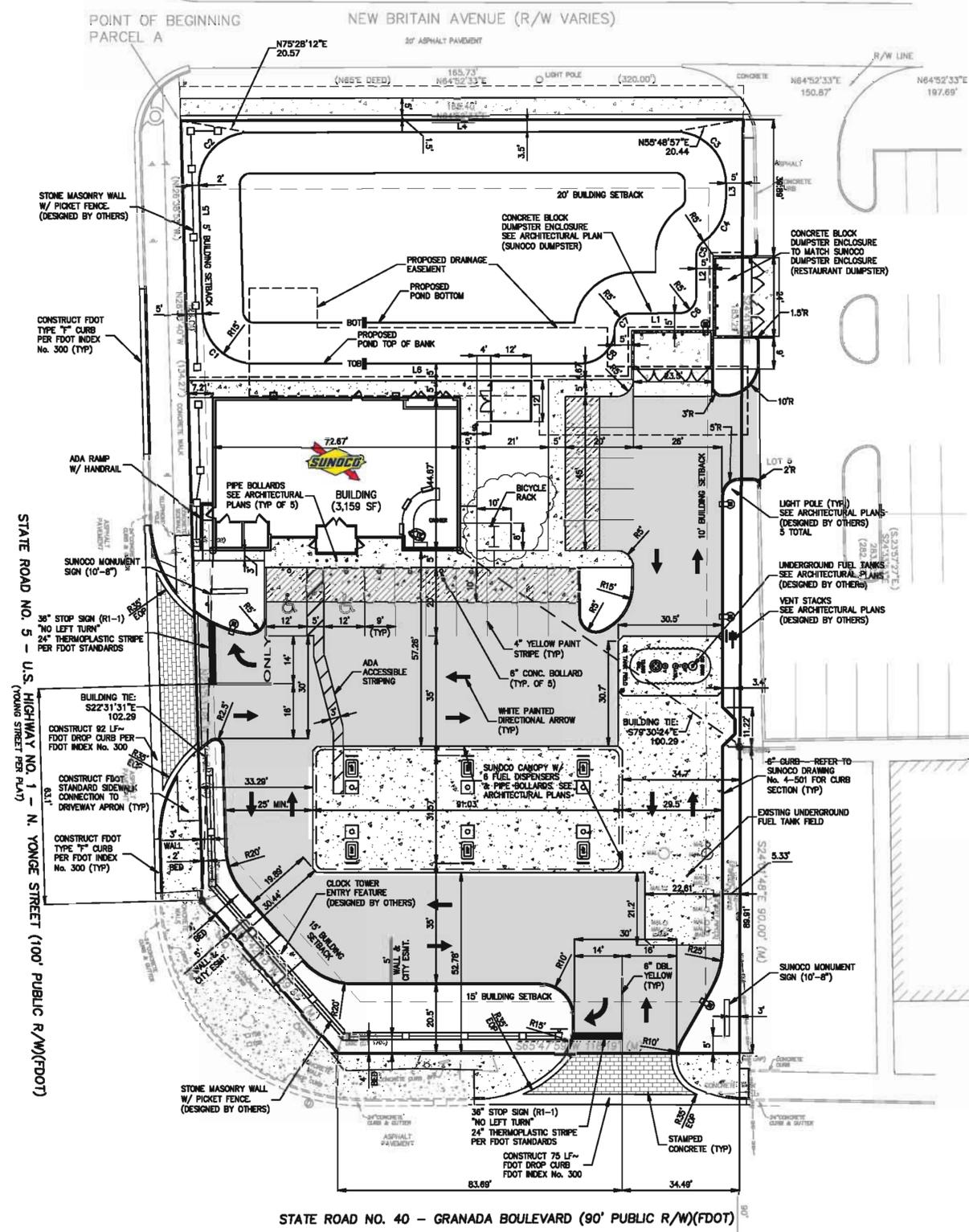
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MASTER SITE PLAN

SUNOCO 0405-2205
3 N. YONGE STREET
ORMOND BEACH, FLORIDA

DRAWING NUMBER
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PLOTTED: January 23, 2013 - 2:53 PM, BY: Cory Daugherty



Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
C1	23.13	88°22'00"	15.00
C2	23.96	91°30'32"	15.00
C3	23.67	90°25'29"	15.00
C4	14.50	55°22'44"	15.00
C5	4.87	55°46'21"	5.00
C6	7.85	90°00'00"	5.00
C7	7.73	88°38'01"	5.00
C8	15.49	88°43'36"	10.00
L1	14.00	S65°42'24"W	
L2	11.86	S24°17'36"E	
L3	4.75	S23°53'59"E	
L4	124.99	N65°40'32"E	
L5	37.57	N25°50'00"W	
L6	96.21	S65°47'59"W	

NOTE:
 POSTED SPEED LIMIT ALONG:
 U.S. 1 (N. YONGE STREET): 40 MPH
 SR No. 40 (GRANADA BLVD.): 35 MPH

NOTES:

- SEE SHEET NO. 2 FOR GENERAL SITE NOTES AND LEGEND.
- CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAN DIMENSIONS FOR ALL HORIZONTAL LINE DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SITE LIGHT POLE LOCATIONS PROVIDED BY SUNOCO.
- ALL PAVEMENT IN RIGHT-OF-WAY TO BE CONCRETE PER FDOT STANDARDS.
- ALL WORK PERFORMED IN RIGHT-OF-WAY TO BE PER FDOT STANDARDS.
- NO LANE CLOSURES FOR STATE ROAD 5 FROM 4:00 PM TO 7:00 PM AND STATE ROAD 40 FROM 7:00 AM TO 7:00 PM



PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:
 01/22/13 REVISED PER CITY & FDOT COMMENTS

ETM NO. 11-159-02
 DRAWN BY: CND
 DESIGNED BY: DMC
 CHECKED BY: PMA
 DATE: Issue Date

Engineer - Thoma & Miller, Inc.
 3000 N. Orange Street
 Jacksonville, FL 32208
 TEL: (904) 444-8888
 FAX: (904) 444-8888
 CA - 0000584 LC - 0000316

ETM
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SITE GEOMETRY PLAN
 SUNOCO 0405-2205
 3 N. YONGE STREET
 ORMOND BEACH, FLORIDA

DRAWING NUMBER
7

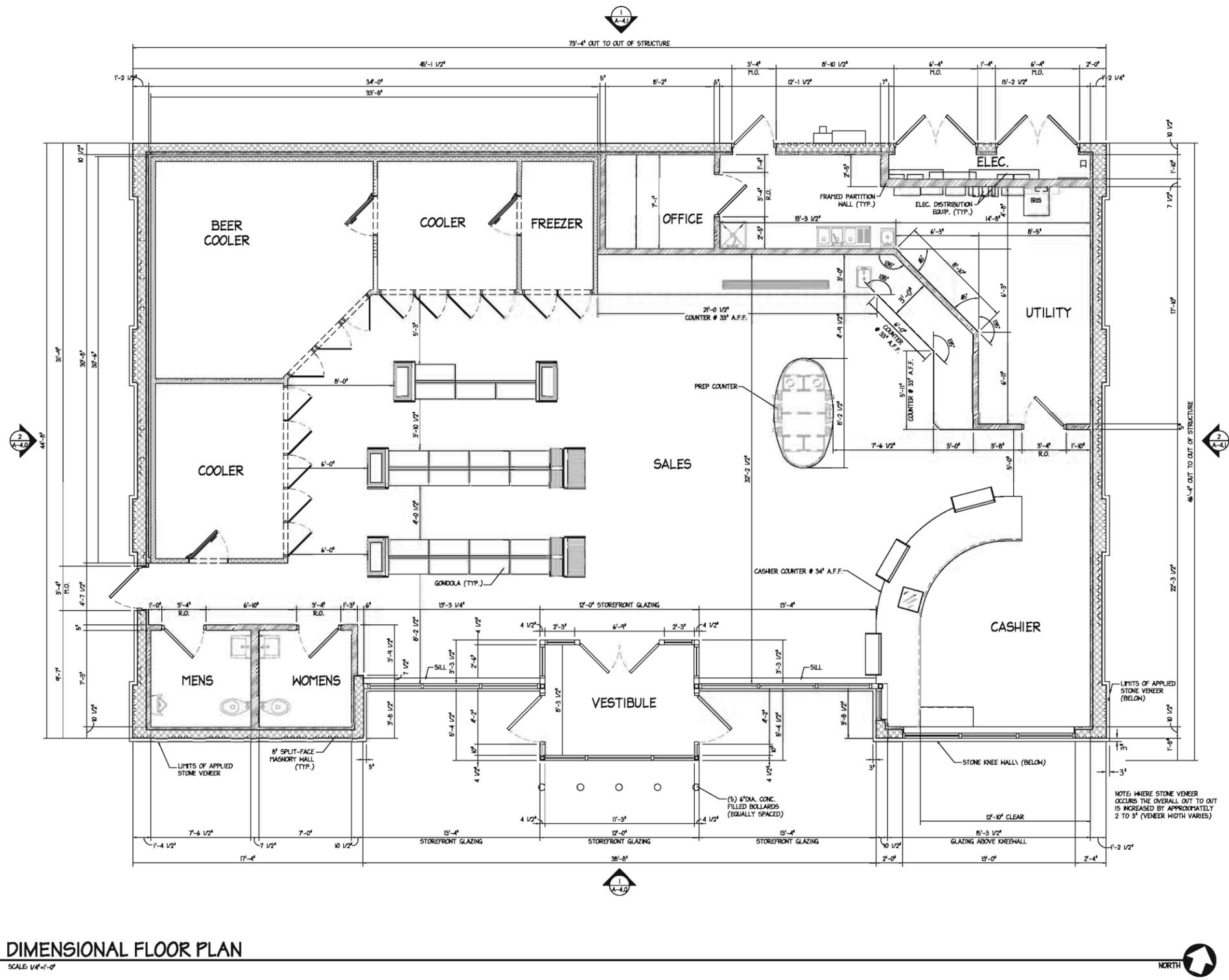
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REVISIONS		DATE
1	CDR REVISED PER COR. COMMENTS	08-30-12
2	CDR REVISED PER COR. COMMENTS	08-30-12
3	CDR REVISED PER COR. COMMENTS	08-14-12
4	CDR REVISED PER COR. COMMENTS	09-21-12
5	CDR REVISED PER COR. COMMENTS	09-28-12
6	CDR REVISED PER COR. COMMENTS	10-08-12
7	CDR REVISED PER COR. COMMENTS	10-31-12
8	CDR REVISED PER COR. COMMENTS	12-04-12
9	CDR REVISED PER SPEC COMMENTS	2-05-13

PROJECT LOCATION	
PROPOSED A-PLUS FACILITY	
DUNS # 0405-2205 3 NORTH YONGE STREET CITY OF ORMOND BEACH VOLUSIA COUNTY STATE OF FLORIDA	

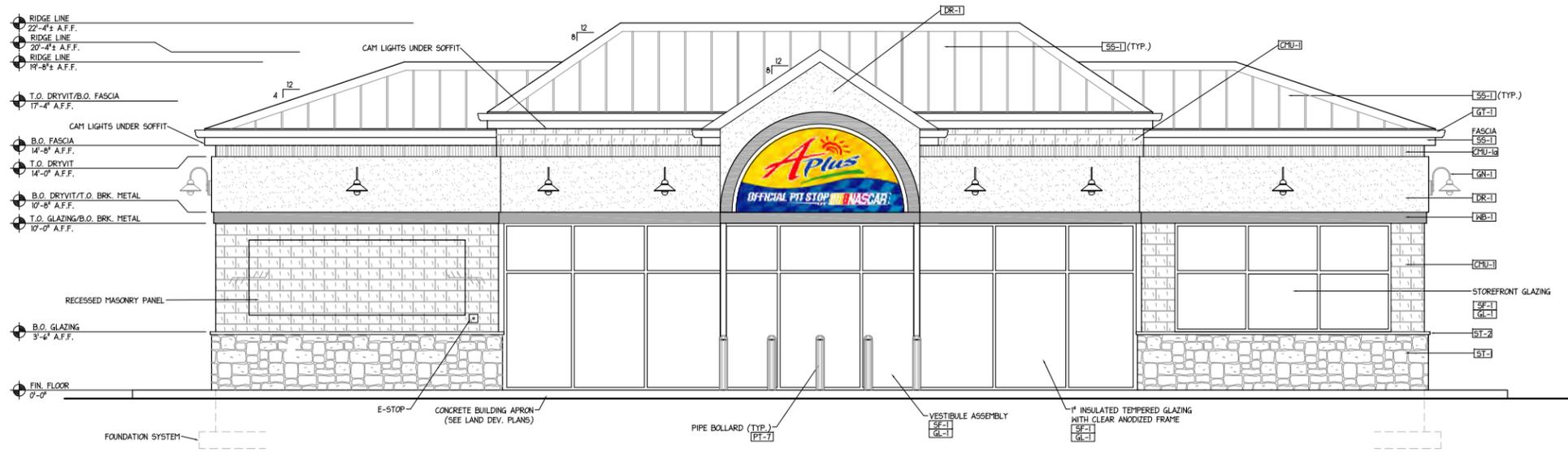
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PROJ. #	12-032	DATE	7-27-12
CAD ID.	120250A.L01	DRN BY	CJD
SCALE	NOTED	CHK BY	MWM
A-1.0			
REVISION 9			

A-PLUS FACILITY SUMMARY	
BUILDING SUMMARY	
STATE:	STATE OF FLORIDA
COUNTY:	VOLUSIA
MUNICIPALITY:	CITY OF ORMOND BEACH
OCCUPANCY GROUP:	MERCANTILE
OCCUPANT LOAD:	68
CONSTRUCTION TYPE:	V3
BUILDING AREA:	3,159 s.f. (Footprint) 2,988 s.f. (Gross Floor Area)
APPLICABLE CODES	
2010 FLORIDA BUILDING CODE	
2010 FLORIDA MECHANICAL CODE	
2010 FLORIDA PLUMBING CODE	
2010 FLORIDA FUEL GAS CODE	
2008 NATIONAL ELECTRICAL CODE	
2010 FLORIDA FIRE PREVENTION CODE	
ASCE 7-10	
FDEP CHAPTER 62-761 (ADMINISTRATIVE CODE)	
2005 NFPA 70 & 70A	
AMERICAN PETROLEUM INSTITUTE API-1615	
2003 NFPA 30 & 30A	
FLORIDA ENERGY CONSERVATION CODE	
FLORIDA ACCESSIBILITY CODE	
ALLOWABLE BUILDING HEIGHTS AND AREA	
ALLOWABLE AREA	12,500 SF
ACTUAL AREA (GROSS)	2,988 SF
HEIGHT ALLOWABLE	2 STORY
HEIGHT ACTUAL	1 STORY
LOADING	
WIND SPEED:	139 MPH
LVE-LOAD ROOF:	30 PSF.
LVE-LOAD FLOOR:	168 PSF.
DESIGN PRESSURE FOR DOOR & GLAZING SYSTEMS:	+40.2/-54 PSF.
OCCUPANT LOAD	
SALES	1,862 SF / 30 SF = 62 OCCUPANTS
UTILITY/WALK IN COOLER	928 SF / 300 SF = 3 OCCUPANTS
OFFICE	83 SF / 100 SF = 1 OCCUPANTS
RESTROOM	113 SF / 1 PER OCC = 2 OCCUPANTS
TOTAL	2866 SF 68 OCCUPANTS



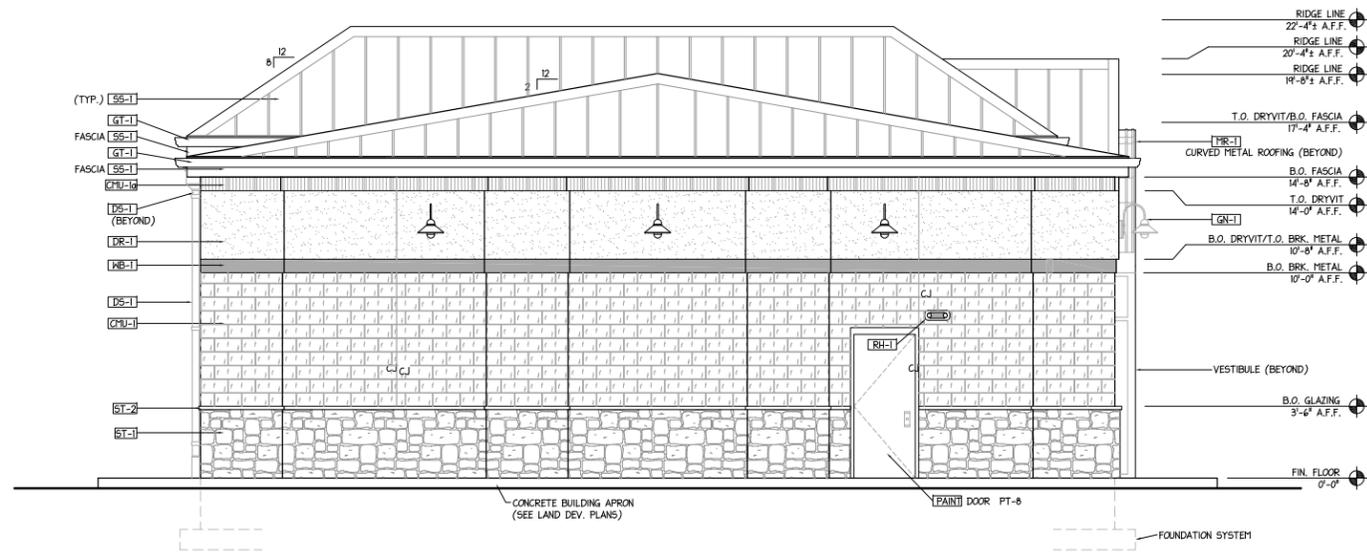
1 DIMENSIONAL FLOOR PLAN
SCALE: 1/4"=1'-0"





1 SOUTHERN EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



2 WESTERN EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
CMU-1	Split Face Block	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"X8"X16" Split Face	Grout shall be white portland type	Alison Wilming (Alison.wilming@oldcastle.com) 813-376-2544
CMU-1a	Split Face Block - Fluted	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"X8"X16" Fluted Split Face	Grout shall be white portland type	Alison Wilming (Alison.wilming@oldcastle.com) 813-376-2544
PT-8	Paint	Sherwin Williams	Colorado Gray - SW 7641	Finish: Sher-Cryl HPA Enamel 866NSD (semi-Gloss)	Exterior doors and frames	Eric Salsman (eric.salsman@sherwin.com) 610-730-3586
BM-1	Brak Metal	ATAS International, Inc.	Dove Grey #13	Prefinished	Coppings & flashings where noted	Joe Rygielski (joe@atas.com) 484-553-4146
DR-1	Exterior Stucco Finish	Carroll's Building Materials	Tabby Shell Stucco	Shell and Stucco Coat (Sealed)	Gable End and Fascia boards	Scott Carroll 1 (877) 822-3370
GT-1	Gutters	ATAS International, Inc.	Dove Grey #13	Prefinished 4" X" Galval	Along exterior roof (where noted)	Joe Rygielski (joe@atas.com) 484-553-4146
DS-1	Down Spouts	ATAS International, Inc.	Dove Grey #13	Prefinished (see plan for size requirements)	Exterior downspouts where specified (see exterior elevations & roof plan)	Joe Rygielski (joe@atas.com) 484-553-4146
SS-1	Standing Seam Metal Roof	ATAS International, Inc.	Dove Grey #13	Field-Lok System - 1.5" Seam	Roof	Joe Rygielski (joe@atas.com) 484-553-4146
ST-1	Stone Veneer - Kneewall	Carroll's Building Materials	Copains Stone - Random Blend	1" Thin Veneer - Ultra Mapel grain color: Abille #1	Exterior walls (front and sides of building)	Scott Carroll 1 (877) 822-3370
ST-2	Stone Veneer - Sill	Carroll's Building Materials	Copains Stone	2" Thin Veneer - Custom Cut Chiseled Edge	Exterior walls (front and sides of building)	Scott Carroll 1 (877) 822-3370
SF-1	Skarefront Framing - Clear Anodized	Kawneer Industries - Triba VG 451 Series	Anodized Aluminum - #14 (Clear)	4.5" frame w/ 2" sightline - 1" Center Glazed	(See also GL-1 specification)	Dave Trautman (dave.trautman@kawneer.com) 717-503-3300
RH-1	Remote Head Light Fixture	LSI - Em Double Head Remote	White (prefinished)	HALOGEN-6V-42BHK60W	On Wall at Egress Locations	Brian Rehrke (brian@r2corp.com) 201-944-8762
GN-1	Gooseneck Exterior Light	LSI: WIN-P-55-IMP-UE-GRD-15" Pendant Mount Mounting Bracket: CWBL-1 (DIT)	Red (prefinished)	20" Bracket	Building Exterior (see elevations for placement)	Brian Rehrke (brian@r2corp.com) 201-944-8762
MB-1	Wallband	Prosigns	Red	8" Extended	Per Plan	Prosigns (1-610-269-9715)
GL-1	Skarefront Glazing	PPG Industries, Inc. - Solarban 70XL	Clear	1" Low E Insulated Glazing (see also SF-1 specification)	Ultra tempered glazing to 16" AFF and adjacent to entry assemblies	PPG Industries, Inc. (1-888-774-4332)

CLIENT DATA



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Consulting Engineers & Architectural, Inc.

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Poccono Region
610-820-8200
215-362-2600
570-839-1770
FLORIDA BUSINESS LICENSE # FO 7000000627

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	CJD	REVISED PER CORP COMMENTS	08/20/12
2	CJD	REVISED PER CORP COMMENTS	08/20/12
3	CJD	REVISED PER CORP COMMENTS	08/24/12
4	CJD	REVISED PER CORP COMMENTS	09/21/12
5	CJD	REVISED PER CORP COMMENTS	09/28/12
6	CJD	REVISED PER CORP COMMENTS	10/05/12
7	CJD	REVISED PER CORP COMMENTS	10/31/12
8	CJD	REVISED PER CORP COMMENTS	12/04/12
9	CJD	REVISED PER CORP COMMENTS	2/05/13

PROJECT LOCATION

PROPOSED
A-PLUS FACILITY

DUNS # 0405-2205
3 NORTH YONGE STREET
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

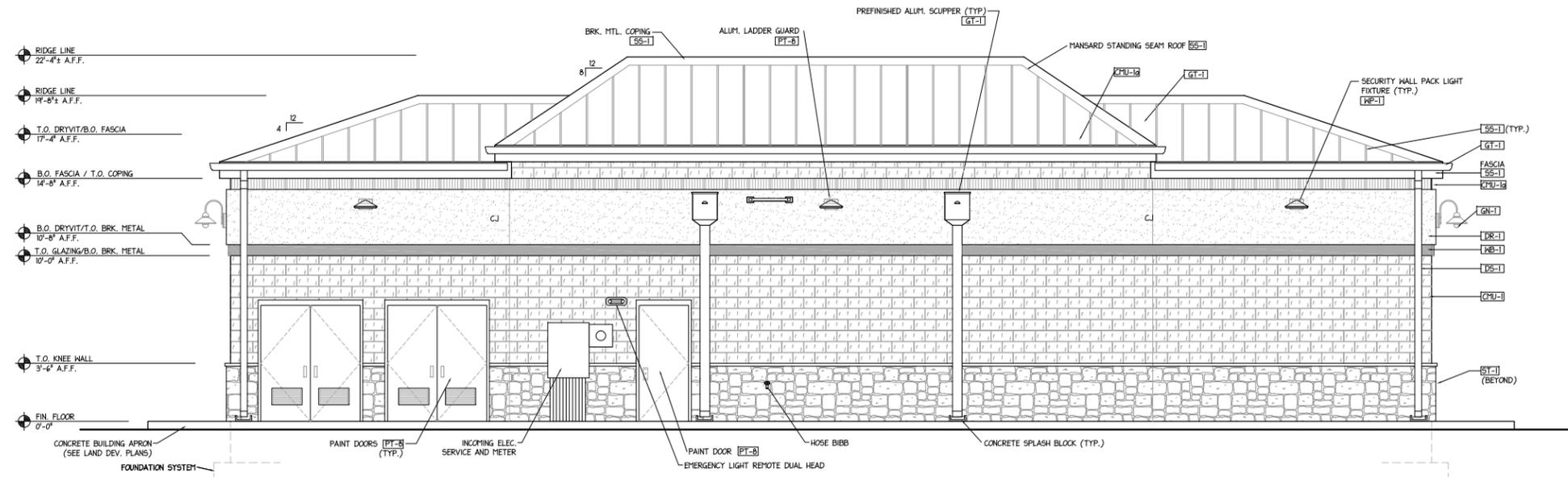
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EXTERIOR
ELEVATIONS & FINISH
SCHEDULE

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CAD ID.	10015A48	DRN BY	ROK
SCALE	NOTED	CHK BY	MWM

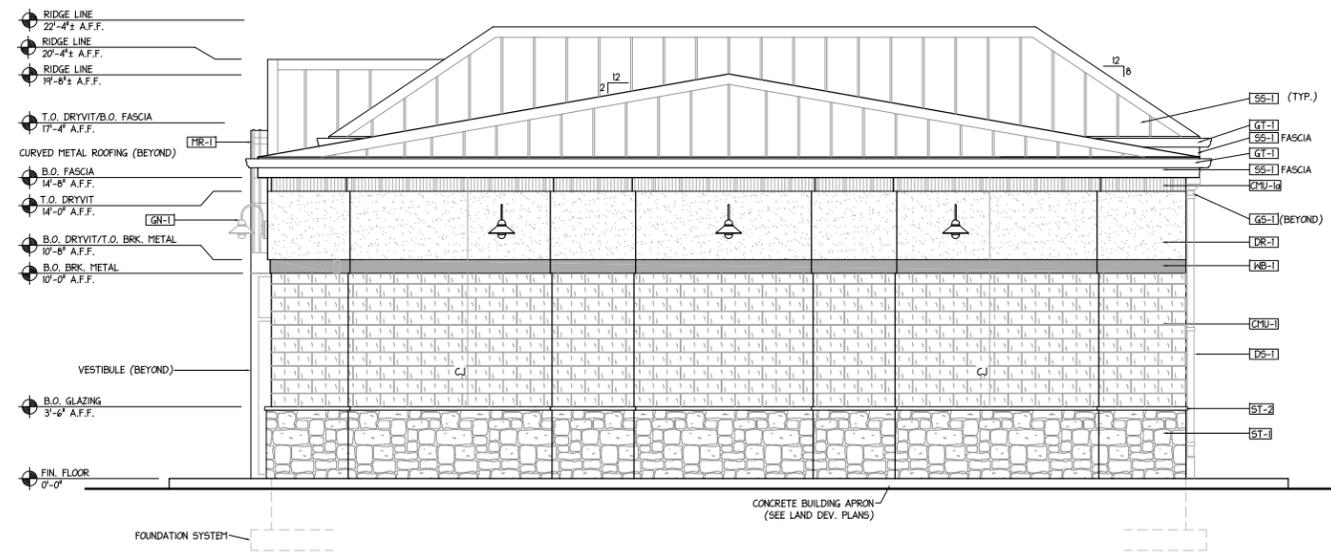
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REVISION 9



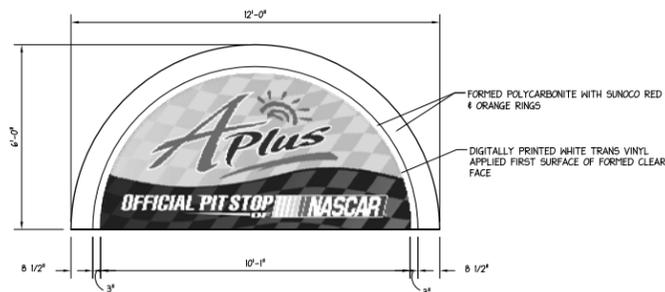
1 NORTHERN EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



2 EASTERN EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



3 SIGNAGE DETAILS

SCALE: 3/8"=1'-0"

KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
CMU-1	Split Face Block	Dixiecast Coastal	Acid: Ice with Marble Aggregate	8"x8"x16" Split Face	Grout shall be white portland type	Alison Wilmsong (Alison.wilmsong@dixiecast.com) 813-376-2544
CMU-1a	Split Face Block - Fluted	Dixiecast Coastal	Acid: Ice with Marble Aggregate	8"x8"x16" Fluted Split Face	Grout shall be white portland type	Alison Wilmsong (Alison.wilmsong@dixiecast.com) 813-376-2544
PT-8	Paint	Sherrin Williams	Colonnade Gray - SW 7641	8 1/2"x16" Fluted Split Face	Exterior doors and frames	Eric Salzman (eric.salzman@sherrin.com) 610-728-3598
BM-1	Break Metal	ATAS International, Inc.	Dove Grey #13	Prohibited	Coppings & fastings where noted	Joe Rygielki (joe@atas.com) 484-553-4146
DR-1	Exterior Stucco Finish	Carroll's Building Materials	Tabby Shell Stucco	Shell and Stucco Coat (Scaled)	Gable End and Fascia boards	Scott Carroll 1 (877) 822-3370
GT-1	Gutters	ATAS International, Inc.	Dove Grey #13	Preformed 4" K' Gutter	Along exterior roof (where noted)	Joe Rygielki (joe@atas.com) 484-553-4146
DS-1	Down Spouts	ATAS International, Inc.	Dove Grey #13	Preformed (see plan for size requirements)	Exterior downspouts where specified (see exterior elevations & roof plan)	Joe Rygielki (joe@atas.com) 484-553-4146
SS-1	Standing Seam Metal Roof	ATAS International, Inc.	Dove Grey #13	Field Lok System - 1.5" Seam	Roof	Joe Rygielki (joe@atas.com) 484-553-4146
ST-1	Stone Veneer - Kneewall	Carroll's Building Materials	Coquina Stone - Random Blend	1" Thin Veneer - Utilize Mapel grout color: Abolite #1	Exterior walls (front and sides of building)	Scott Carroll 1 (877) 822-3370
ST-2	Stone Veneer - Sill	Carroll's Building Materials	Coquina Stone	2" Thin Veneer - Custom Cut Chiseled Edge	Exterior walls (front and sides of building)	Scott Carroll 1 (877) 822-3370
SF-1	Storefront Framing - Clear Anodized	Kawneer Industries - Triba VG 451 Series	Anodized Aluminum - #14 (Clear)	4.5' Frame w/ 2" sightline - 1" Center Glazed	(see also GL-1 specification)	Dave Trautman (dave.trautman@alcoa.com) 717-503-3380
RH-1	Remote Head Light Fixture	LSI - Em Double Head Remote	White (polished)	HALOGEN-4V-62BK66W	On Wall at Egress Locations	Brian Reinkie (brian@2corp.com) 201-944-8762
GN-1	Goosneck Exterior Light	LSI - WIN-P-50 MH-UE-GRD-15" Pendant Mount Mounting Bracket CWB8-1 (20")	Red (polished)	20" Bracket	Building Exterior (see elevations for placement)	Brian Reinkie (brian@2corp.com) 201-944-8762
WB-1	Wallband	Prosigns	Red	8" Extended	Per Plan	Prosigns (1-610-269-9715)
GL-1	Storefront Glazing	PPG Industries, Inc. - Solarban 70XL	Clear	1" Low E Insulated Glazing (see also SF-1 specification)	Utilize tempered glazing to 10" AFF and adjacent to entry assemblies	PPG Industries, Inc. (1-888-774-4332)

CLIENT DATA

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610-820-8200
215-362-2600
FLORIDA BUSINESS LICENSE # FO 7000000627

NO.	BY	DESCRIPTION	DATE
1	CJD	REVISION PER CORP COMMENTS	06/20/12
2	CJD	REVISION PER CORP COMMENTS	06/26/12
3	CJD	REVISION PER CORP COMMENTS	08-14-12
4	CJD	REVISION PER CORP COMMENTS	09-21-12
5	CJD	REVISION PER CORP COMMENTS	09-26-12
6	CJD	REVISION PER CORP COMMENTS	10/05/12
7	CJD	REVISION PER CORP COMMENTS	10/23/12
8	CJD	REVISION PER CORP COMMENTS	12/04/12
9	CJD	REVISION PER CORP COMMENTS	2/05/13

PROJECT LOCATION

PROPOSED A-PLUS FACILITY

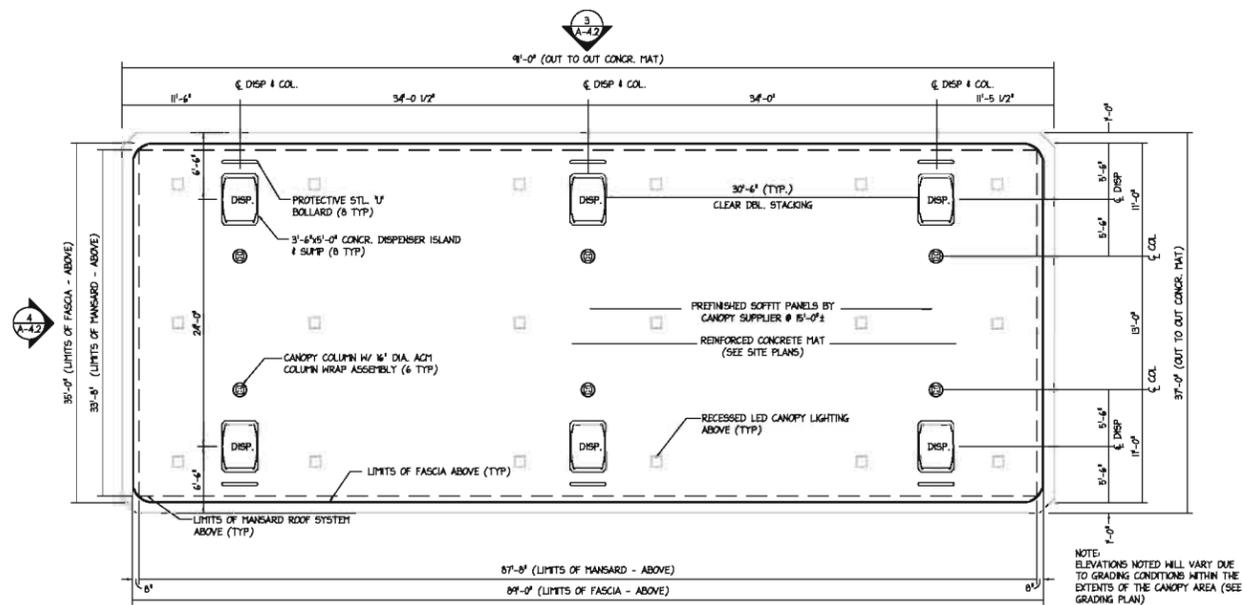
DUNS # 0405-2205
3 NORTH YONGE STREET
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE

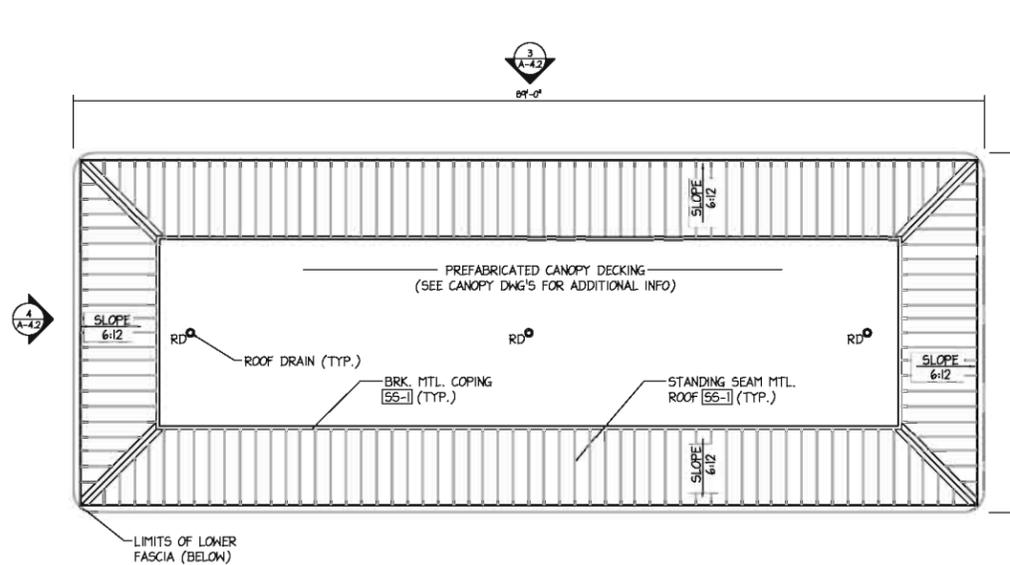
EXTERIOR ELEVATIONS, FINISH SCHEDULE AND SIGNAGE DETAILS

PROJ. #	12-052	DATE	7-27-12
CAD ID.	120250A4.1	DRN BY	CJD
SCALE	NOTED	CHK BY	MWM

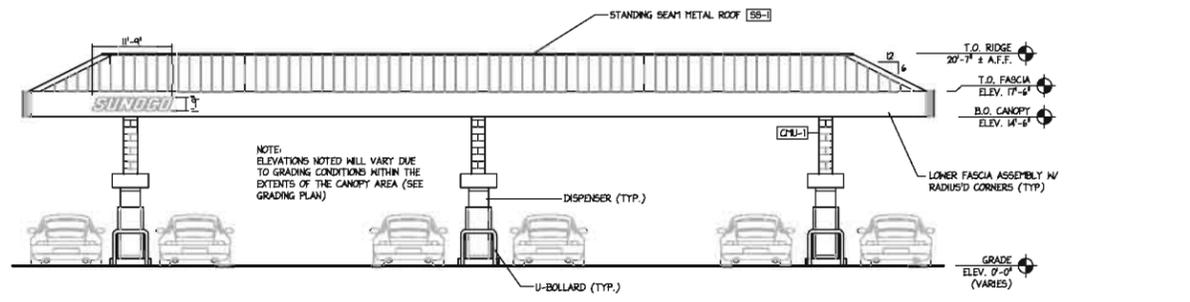
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REVISION 9



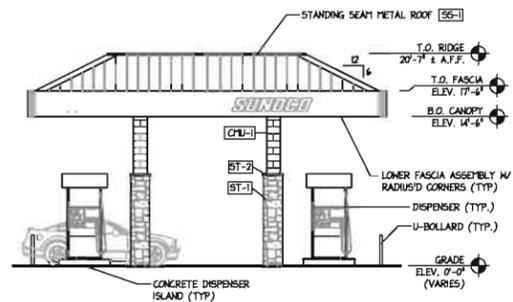
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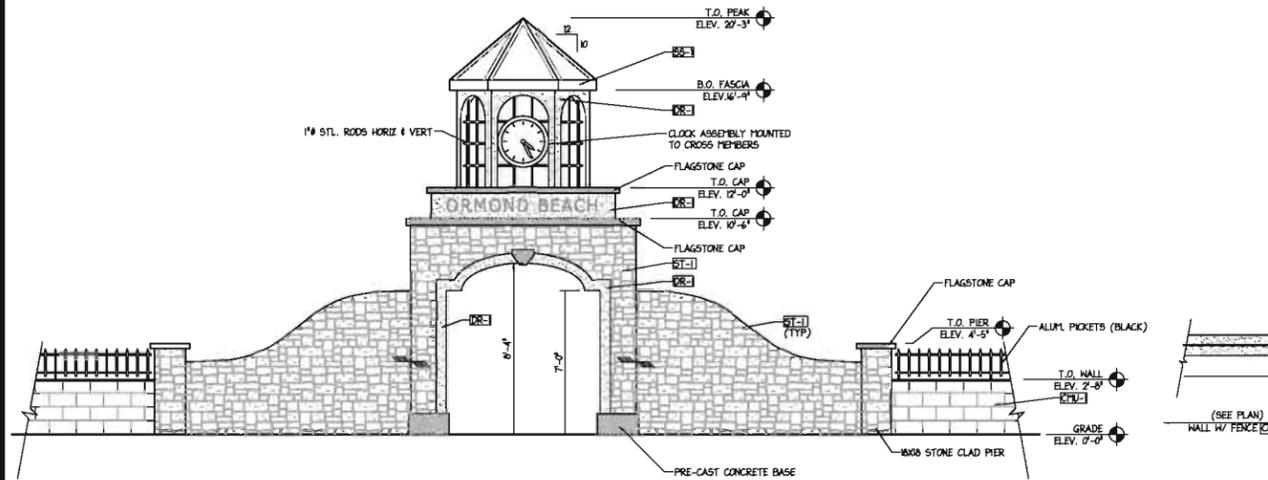
2 CANOPY ROOF PLAN
SCALE: 1/8"=1'-0"



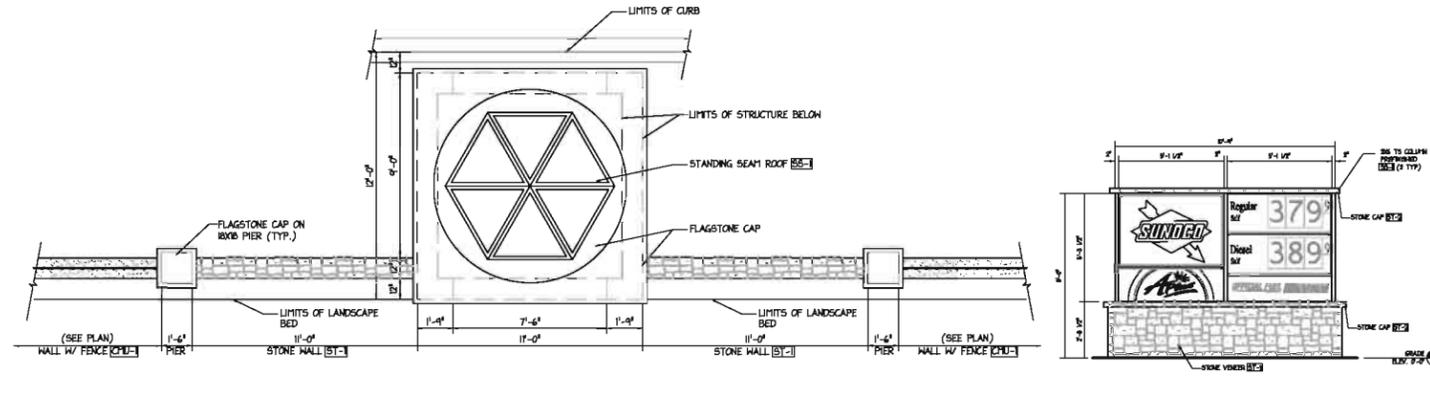
3 NORTHERN CANOPY ELEVATION
SCALE: 1/8"=1'-0"



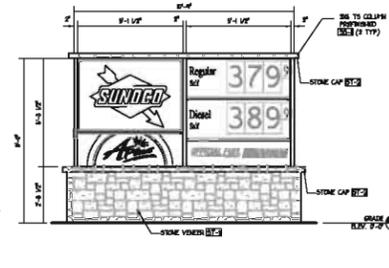
4 EASTERN CANOPY ELEVATION
SCALE: 1/8"=1'-0"



5 ENTRY ELEVATION
SCALE: 1/4"=1'-0"



6 ENTRY PLAN VIEW
SCALE: 1/4"=1'-0"



7 MONUMENT SIGN ELEVATION
SCALE: 1/4"=1'-0"

CLIENT DATA

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610-820-8200
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FLORIDA BUSINESS LICENSE # PO 7000006627

NO.	BY	DESCRIPTION	DATE
1	CD	REVISED PER CORP. COMMENTS	08-30-12
2	CD	REVISED PER CORP. COMMENTS	08-30-12
3	CD	REVISED PER CORP. COMMENTS	08-14-12
4	CD	REVISED PER CORP. COMMENTS	09-21-12
5	CD	REVISED PER CORP. COMMENTS	09-28-12
6	CD	REVISED PER CORP. COMMENTS	10-08-12
7	CD	REVISED PER CORP. COMMENTS	10-31-12
8	CD	REVISED PER CORP. COMMENTS	12-04-12
9	CD	REVISED PER CORP. COMMENTS	2-05-13

PROJECT LOCATION

PROPOSED A-PLUS FACILITY

DUNS # 0405-2205
3 NORTH YONGE STREET
CITY OF ORMOND BEACH
VOLusia COUNTY
STATE OF FLORIDA

TITLE

**CANOPY PLAN/
ELEVATIONS
&
ENTRY ELEMENTS**

PROJ. # 12-0232 DATE 7-27-12
CAD ID: 120220A-02 DRN BY: RDK
SCALE NOTED CHK BY: MWM

A-4.2
REVISION 1



1 EXTERIOR PERSPECTIVE
SCALE: NONE

CLIENT DATA



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215-362-2800
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Pocono Region
570-495-1770
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REVISIONS

NO.	BY	DESCRIPTION	DATE
1	CD	REVISED FOR CONY. COMMENTS	08-08-15
2	CD	REVISED FOR CONY. COMMENTS	08-09-15
3	CD	REVISED FOR CONY. COMMENTS	08-14-15
4	CD	REVISED FOR CONY. COMMENTS	08-21-15
5	CD	REVISED FOR CONY. COMMENTS	08-28-15
6	CD	REVISED FOR CONY. COMMENTS	09-02-15
7	CD	REVISED FOR CONY. COMMENTS	10-01-15
8	CD	REVISED FOR CONY. COMMENTS	12-04-15
9	CD	REVISED FOR CONY. COMMENTS	2-05-16

PROJECT LOCATION

PROPOSED
A-PLUS FACILITY
DUNS # 0405-2205
3 NORTH YONGE STREET
CITY OF ORLAND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE

EXTERIOR PERSPECTIVE

PROJ.#	12-026	DATE	7-27-15
CAD ID	12026EP1.0	DRAWN BY	CD
SCALE	NOTED	CHECK BY	MVM

EP-1.0
REVISION 9



1 EXTERIOR PERSPECTIVE
SCALE: N/A

CLIENT DATA



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Philadelphia Region
215-362-2000

Lehigh Valley Region
610-292-8200

Pocono Region
570-494-1770

FLORIDA BUSINESS LICENSE # FO 700000627

NO.	DATE	DESCRIPTION	REVISIONS
1	08-03-13	REVISED FOR CITY COMMENTS	
2	08-04-13	REVISED FOR CITY COMMENTS	
3	08-04-13	REVISED FOR CITY COMMENTS	
4	08-04-13	REVISED FOR CITY COMMENTS	
5	08-04-13	REVISED FOR CITY COMMENTS	
6	08-04-13	REVISED FOR CITY COMMENTS	
7	08-04-13	REVISED FOR CITY COMMENTS	
8	08-04-13	REVISED FOR CITY COMMENTS	
9	08-04-13	REVISED FOR CITY COMMENTS	

PROJECT LOCATION
PROPOSED A-PLUS FACILITY
DUNS # 0406-2206
3 NORTH YONGE STREET
CITY OF ORLAND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE
EXTERIOR PERSPECTIVE

TRAC #	13-002	DATE	7-27-13
CAD ID	120209040	DRN BY	CDP
SCALE	NOTED	CHECK BY	MW/M

EP-2.0

REVISION 1



1 EXTERIOR PERSPECTIVE
SCALE: N/A

CLIENT DATA



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Lehigh Valley Region 610-820-8200
Pocono Region 570-498-1770
FLORIDA BUSINESS LICENSE # FO 7000000627

NO.	BY	DESCRIPTION	DATE
1	CM	REVISION FOR CORP. COMMENTS	08-08-15
2	CM	REVISION FOR CORP. COMMENTS	08-09-15
3	CM	REVISION FOR CORP. COMMENTS	08-14-15
4	CM	REVISION FOR CORP. COMMENTS	08-21-15
5	CM	REVISION FOR CORP. COMMENTS	08-28-15
6	CM	REVISION FOR CORP. COMMENTS	09-02-15
7	CM	REVISION FOR CORP. COMMENTS	10-01-15
8	CM	REVISION FOR CORP. COMMENTS	12-04-15
9	CM	REVISION FOR INFO. COMMENTS	2-05-16

REVISIONS

PROJECT LOCATION
PROPOSED
A-PLUS FACILITY
DUNS # 045-2205
3 NORTH YONGE STREET
CITY OF ORLAND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE
EXTERIOR PERSPECTIVE

PROJ.#	12-026	DATE	7-27-15
CAD ID	12026P01	DRN BY	CM
SCALE	NOTED	CHK BY	MVM
EP-3.0			
REVISION 9			



1 EXTERIOR PERSPECTIVE
SCALE: N/A

CLIENT DATA



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Consulting Engineers & Architectural, Inc.

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215-562-5600
Lehigh Valley Region
610-268-8200
Poono Region
570-491-1776
FLORIDA BUSINESS LICENSE # FO 700000627

NO.	BY	DESCRIPTION	DATE
1	CSJ	REVISED PER OWNER COMMENTS	08-02-12
2	CSJ	REVISED PER OWNER COMMENTS	08-02-12
3	CSJ	REVISED PER OWNER COMMENTS	08-14-12
4	CSJ	REVISED PER OWNER COMMENTS	08-14-12
5	CSJ	REVISED PER OWNER COMMENTS	08-28-12
6	CSJ	REVISED PER OWNER COMMENTS	08-28-12
7	CSJ	REVISED PER OWNER COMMENTS	08-31-12
8	CSJ	REVISED PER OWNER COMMENTS	09-04-12
9	CSJ	REVISED PER OWNER COMMENTS	2-05-13

REVISIONS

PROJECT LOCATION
PROPOSED
A-PLUS FACILITY
DUNS # 0405-2205
3 NORTH YONGE STREET
CITY OF ORLAND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

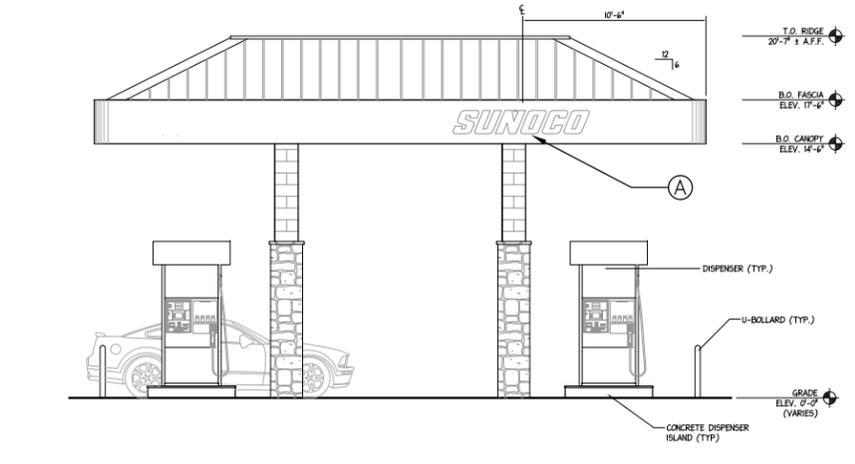
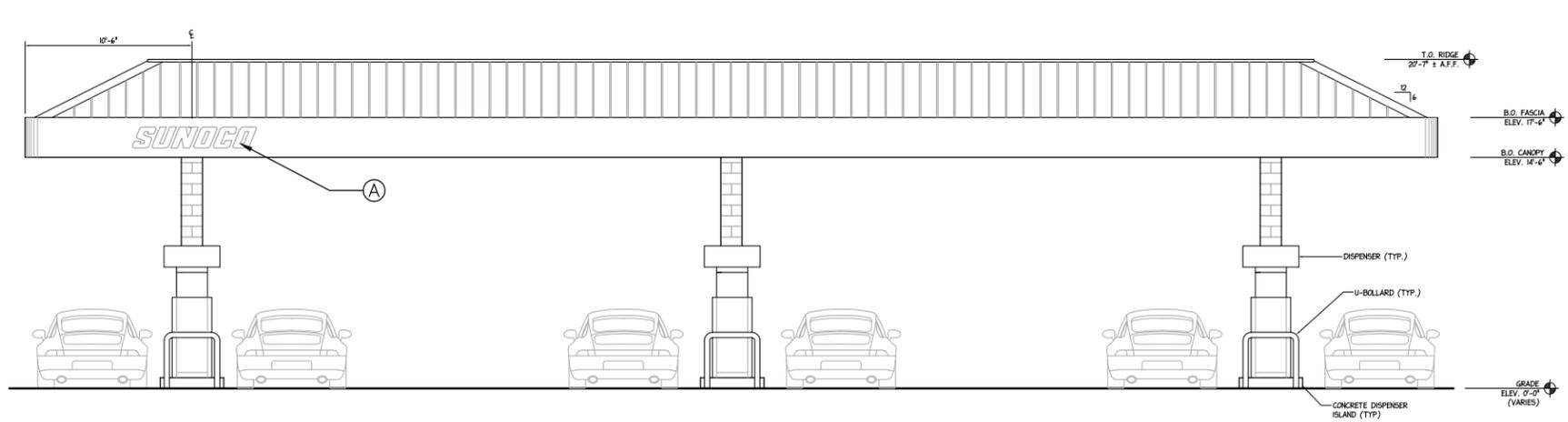
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EXTERIOR PERSPECTIVE

PROJ.#	12-022	DATE	7-27-12
CAD.DWG	120220004	DESIGN BY	CSJ
SCALE	AS SHOWN	CHECK BY	MJM
EP-4.0			
REVISION 1			



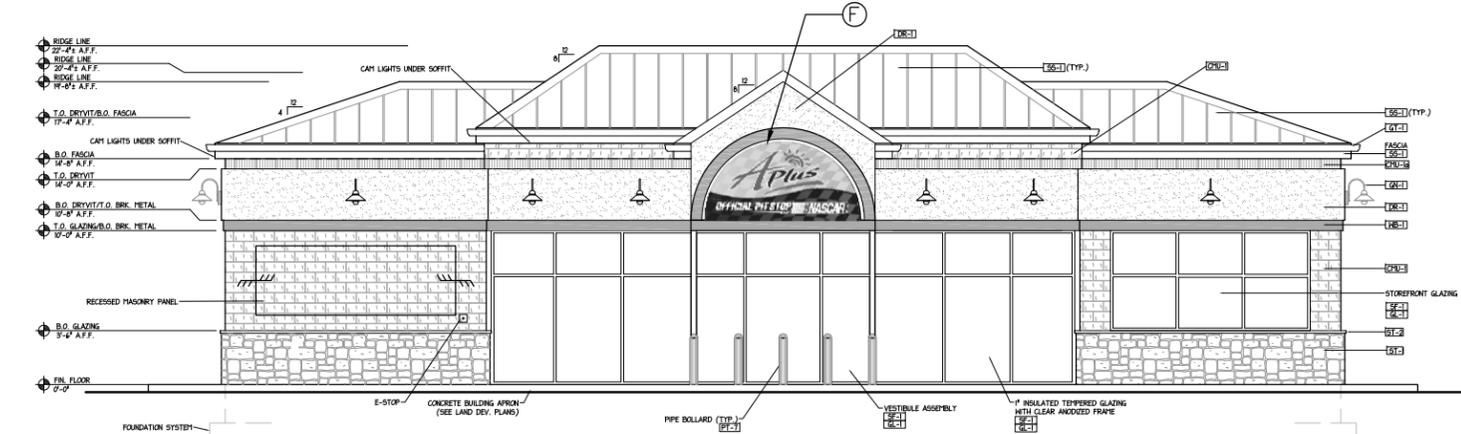
A Cornerstone
 Consulting Engineers & Architectural, Inc.

1176 N. Irving Street, Allentown, PA 18109
 Phone: 610-820-8200, Fax: 610-820-3706
 WWW.CORNERSTONE.COM
 Lehigh Valley Region
 Philadelphia Region
 Pocono Region
 610-820-8200
 215-362-2600
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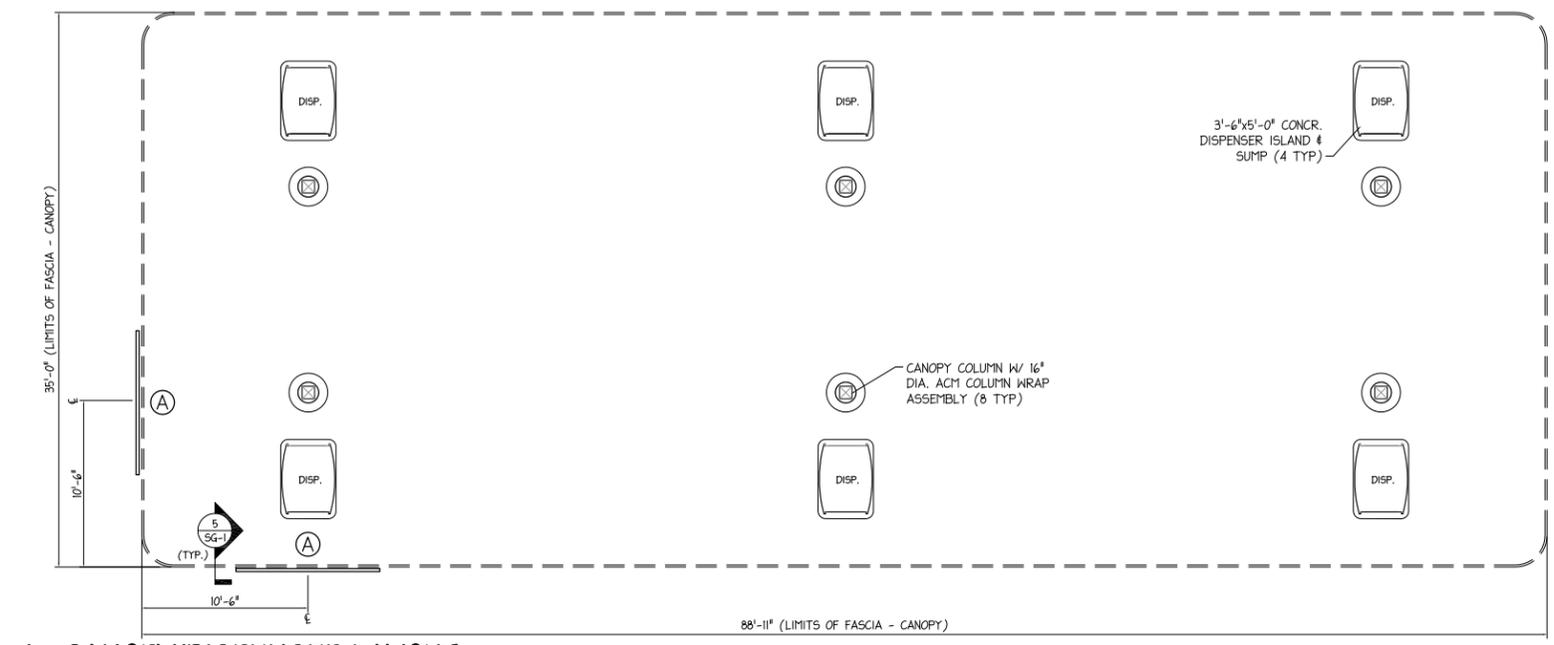
1 NORTHERN CANOPY ELEVATION (FACING GRANADA BLVD. - STATE ROUTE # 40)
 SCALE: NONE

2 NORTHERN CANOPY ELEVATION (FACING U.S. HIGHWAY NO. 1 - NORTH YOUNG ST.)
 SCALE: NONE

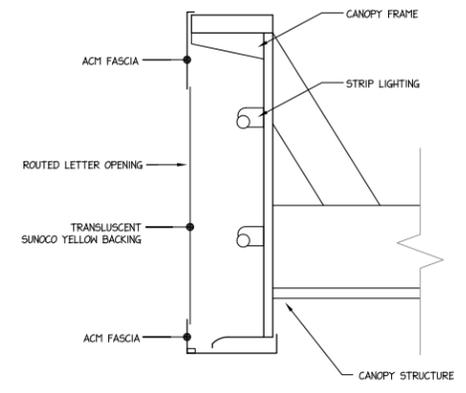


KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
CMU-1	Split Face Block	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"x8"x16" Split Face	Grout shall be white portland type	Alison Wilhng (Alison.wilhng@oldcastle.com) 813-376-2544
CMU-1a	Split Face Block - Fluted	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"x8"x16" Fluted Split Face	Grout shall be white portland type	Alison Wilhng (Alison.wilhng@oldcastle.com) 813-376-2544
PT-8	Paint	Sherwin Williams	Colonade Gray - SW 7641	Finish: Sher-Cryl HPA Enamel 66W050 (semi-Gloss)	Exterior doors and frames	Eric Salzman (eric.salzman@sherwin.com) 610-730-3586
BM-1	Break Metal	ATAS International, Inc.	Dove Grey #13	Profiled	Copings & flashings where noted	Jae Rygalak (jae@atases.com) 484-553-4146
DR-1	Exterior Stucco Finish	Carroll's Building Materials	Tabby Shell Stucco	Shell and Stucco Coat (Swirl)	Gable End and Fascia boards	Scott Carroll 1 (877) 822-3370
GT-1	Gutters	ATAS International, Inc.	Dove Grey #13	Profiled 4" X" Gutter	Along exterior roof (where noted)	Jae Rygalak (jae@atases.com) 484-553-4146
DS-1	Down Spouts	ATAS International, Inc.	Dove Grey #13	Profiled (see plan for size requirements)	Exterior downspouts where specified (see exterior elevations & roof plan)	Jae Rygalak (jae@atases.com) 484-553-4146
SS-1	Standing Seam Metal Roof	ATAS International, Inc.	Dove Grey #13	Field Lok System - 1.5" Seam	Roof	Jae Rygalak (jae@atases.com) 484-553-4146
ST-1	Stone Veneer - Kneewall	Carroll's Building Materials	Cogaina Stone - Random Blend	1" Thin Veneer - Utilize Maple grout color: Abolite #1	Exterior walls (front and sides of building)	Scott Carroll 1 (877) 822-3370
ST-2	Stone Veneer - Sill	Carroll's Building Materials	Cogaina Stone	2" Thin Veneer - Custom Cut Cheveled Edge	Exterior walls (front and sides of building)	Scott Carroll 1 (877) 822-3370
SF-1	Storefront Framing - Clear Anodized	Kawneer Industries - Triba VG 451 Series	Anodized Aluminum - #14 (Clear)	4.5" Frame w/ 2" Sightline - 1" Center Glazd	(see also GL-1 specification)	Dave Trautman (dave.trautman@kso.com) 717-503-3300
RH-1	Remote Head Light Fixture	LSI - Em Double Head Remote	White (profiled)	HALOGEN-4V-428H66W	On Wall at Egress Locations	Brain Rehrke (brainr@2corp.com) 201-944-8762
LN-1	Coastlock Exterior Light	LSI - WIN-P-50-MH-UE-GRD-15" Pendant Mount Mounting Bracket CMBL-1 (20")	Red (profiled)	20" Bracket	Building Exterior (see elevations for placement)	Brain Rehrke (brainr@2corp.com) 201-944-8762
WB-1	Wallband	Prosigns	Red	8" Extended	Pipe Plan	Prosigns (1-850-269-9715)
GL-1	Storefront Glazing	PPG Industries, Inc. - Solarban 70XL	Clear	1" Low E Insulated Glazing (see also SF-1 specification)	Utilize tempered glazing to 18" AFF and adjacent to entry assemblies	PPG Industries, Inc. (1-888-774-4332)

3 NORTHERN EXTERIOR ELEVATION (FACING ROCKEFELLER DRIVE.)
 SCALE: 1/4"=1'-0"



4 CANOPY/DISPENSER LAYOUT
 SCALE: NONE



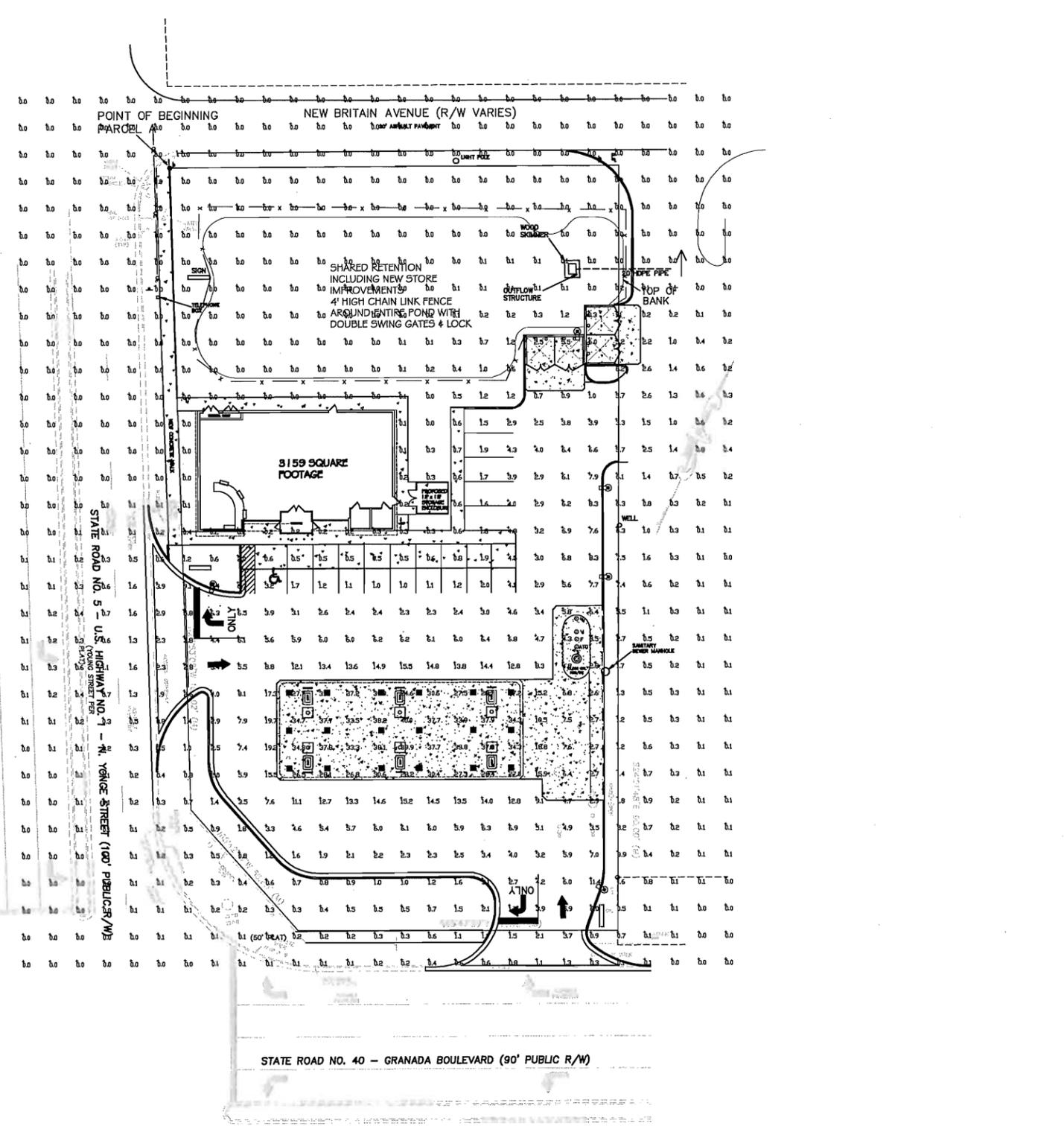
5 CANOPY FASCIA SECTION
 SCALE: 1/2"=1'-0"

NO.	BY	DESCRIPTION	DATE
1	CHD	REVISION PER CORP. COMMENTS	08/20/12
2	CHD	REVISION PER CORP. COMMENTS	08/20/12
3	CHD	REVISION PER CORP. COMMENTS	08/24/12
4	CHD	REVISION PER CORP. COMMENTS	09/24/12
5	CHD	REVISION PER CORP. COMMENTS	09/26/12
6	CHD	REVISION PER CORP. COMMENTS	10/05/12
7	CHD	REVISION PER CORP. COMMENTS	10/21/12
8	CHD	REVISION PER CORP. COMMENTS	12/04/12
9	CHD	REVISION PER CORP. COMMENTS	2/26/13

PROJECT LOCATION
PROPOSED A-PLUS FACILITY
 DUNS # 0405-2205
 3 NORTH YONGE STREET
 CITY OF ORMOND BEACH
 VOLUSIA COUNTY
 STATE OF FLORIDA

TITLE
SIGNAGE PLACEMENT PLAN

PROJ. #	124052	DATE	7-27-12
CAD ID	120252SG10	DRN BY	CHD
SCALE	NOTED	CHK BY	MWM
SG-1.0			
REVISION 9			



- GENERAL NOTES:**
1. ANY SHIELD INSTALLED SHALL BE BOLTED OR SCREWED TO STRUCTURAL PORTION OF FIXTURE. SHIELDS SHALL BE METAL WITH COLOR TO MATCH FIXTURES.
 2. THIS DRAWING IS FOR PARKING LOT LIGHTING AND INFORMATION ONLY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
 3. LOCATION OF PARKING LOT LIGHTING FIXTURES SHOWN IS APPROXIMATE. COORDINATE LOCATION WITH APPROVED LAND DEVELOPMENT PLANS TO ENSURE THAT POLES ARE NOT IN ISLES OR PARKING SPACES.
 4. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL ITEMS OF SITE WORK BOTH BELOW AND ABOVE GROUND TO ASSURE THAT THERE IS NO INTERFERENCE WITH ANY EXISTING, PROPERTY LINES OR OVERHEAD OR UNDERGROUND UTILITY LINES. ANY REQUIRED RELOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING AND BACKFILL FOR MEETING SUB-GRADE COMPACTION REQUIREMENTS.

- DESIGN LOADS**
- WIND LOAD (COMPONENTS & CLADDING)
WIND SPEED 90 MPH
* CONSULT ENGINEER OF RECORD IF WIND SPEED IS IN EXCESS OF 90 MPH PER LOCAL BUILDING CODE IMPORTANCE FACTOR 1.1 EXPOSURE C**
- EXPOSURE D CONDITIONS EXIST (LESS THAN 1500 FT. FROM BODY OF WATER AND MORE THAN 1 MILE IN WIDTH IN UPWIND DIRECTION)
** CONSULT ENGINEER OF RECORD

- EARTHWORK**
1. EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS AND UTILITY LINES. VERIFY LOCATION AT ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND UTILITIES AS REQUIRED.
- FOUNDATIONS**
1. FOOTING SHALL BE PLACED IN FIRM, DRY, NON-FROZEN, UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL. THE MINIMUM PASSIVE EARTH PRESSURE MINUS ACTIVE EARTH PRESSURE IS 100 PS/FT. CONTACT ENGINEER IF THIS REQUIREMENT CANNOT BE MET.
 2. PREPARATION OF THE SITE SHALL PROCEED IN COMPLIANCE WITH LOCAL CODES AND THE PROJECT GEOTECHNICAL REPORT. UNLESS OTHERWISE NOTED OR SPECIFIED, ALL BACKFILL AROUND LIGHT POLE FOUNDATION SHALL BE COMPACTED WITH VIBRATORS, COMPACTORS, ETC. TO 95% MAXIMUM DENSITY (MODIFIED PROCTOR) AT OPTIMUM SOIL MOISTURE CONTENT.

- CONCRETE**
1. CONCRETE SHALL BE REINFORCED, DETAILED AND CONSTRUCTED IN ACCORDANCE WITH THE ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (LATEST EDITIONS), AND THE MANUAL OF STANDARD PRACTICE."
 2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE 28 DAY STRENGTH AS FOLLOWS:
FOOTINGS $f_c = 3,000$ PSI
AIR ENTRAINED $f_c = 1/2$ IN ALL EXPOSED CONCRETE.
 3. REINFORCED STEEL: ASTM A-615 GRADE 60
 4. PLACING OF CONCRETE SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE OWNER'S INSPECTION AGENCY.
 5. CONCRETE MIXES SHALL BE PROPORTIONED PER SECTION 3.9 OF ACI-301. CERTIFIED HISTORICAL TEST DATA SHALL SERVE AS A BASIS FOR EACH MIX DESIGN. DEVIATIONS SHALL BE SUBSTANTIATED WITH ADDITIONAL CERTIFIED TRIAL MIX TESTING AND RESULTS. SUBMIT MIX DESIGN, HISTORICAL TEST DATA OR TRIAL MIX RESULTS FOR APPROVAL PRIOR TO PROCEEDING WITH WORK.

- GENERAL CONDITIONS**
1. ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODE AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 2. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISIONS SHALL GOVERN.
 3. THE STRUCTURAL DRAWINGS ARE FOR THE LOCATION AND SIZE OF STRUCTURAL COMPONENTS ONLY. REQUIREMENTS MADE BY OSHA AND ALL APPLICABLE SAFETY CODES ARE TO BE DETERMINED AND PROVIDED BY THE CONTRACTOR.
 4. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE REPEATED.
 5. THE ARCHITECT AND STRUCTURAL ENGINEER ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. AS SUCH, THE MEANS AND METHODS OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S).
 6. CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE.
 7. USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS EXPRESSLY PROHIBITED.
 8. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH THEIR PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS.
 9. CONTRACTOR SHALL PROVIDE FOR DEWATERING AS REQUIRED DURING EXCAVATION AND CONSTRUCTION.
 10. PERFORM WORK UNDER ENVIRONMENTAL CONDITIONS RECOMMENDED BY REFERENCED CODES AND SPECIFICATIONS, BY MATERIAL SUPPLIERS, AND WHICH ARE ACCEPTABLE UNDER STANDARD INDUSTRY PRACTICE. PROVIDE PERIODIC AND FINAL CLEAN UP. COORDINATE WORK WITH OWNER TO ESTABLISH ACCESS TO THE WORKPLACE AND FOR STAGING AND STORAGE AREAS.
 11. ALL PROPOSED BUILDING EXTERIOR AND SITE LIGHTING SHALL BE INSTALLED AND MAINTAINED BY PROPERTY OWNER.
 12. SITE LIGHTING FIXTURES ARE TO BE CONTROLLED WITH TIMING DEVICES TO AUTOMATICALLY SWITCH OFF LIGHTING AFTER HOURS OF OPERATION, WITH THE EXCEPTION OF SAFETY AND SECURITY LIGHTING.
 13. PROVIDE AND INSTALL SITE LIGHTING CONSISTING OF POLES, LUMINAIRES, CONCRETE CAST IN PLACE POLE BASES, CONDUITS, WIRING, PULL BOXES, JUNCTION BOXES, AND ALL APPURTENANCES TO PROVIDE A COMPLETE SITE LIGHTING SYSTEM IN ACCORDANCE WITH APPLICABLE BUILDING AND ELECTRIC CODES.
 14. ADJUST FINAL POLE AND LUMINAIRE LOCATIONS AS NECESSARY TO ENSURE THAT ALL PHOTOMETRIC DESIGN REQUIREMENTS WILL BE MET.
 15. ALL FIRE WALL AND SLAB PENETRATION SHALL BE SEALED WITH METHODS AND MATERIALS APPROVED BY U.I. FOR THE PARTICULAR SYSTEM.
 16. COORDINATE ALL LIGHTING EQUIPMENT WITH FIELD CONDITIONS. FIXTURE LOCATIONS SHOWN ARE APPROXIMATE AND MAY REQUIRE MINOR ADJUSTMENTS TO SATISFY THE DESIGN INTENT.
 17. CONTRACTOR SHALL PROVIDE AND INSTALL ALL LAMPS IN ALL LIGHTING FIXTURES.
 18. ALL SITE LIGHTING FIXTURES SHALL BEAR UL WET LOCATION LABEL AND ALL HARDWARE SHALL BE CORROSION-RESISTANT.
 19. GROUND ALL SITE LIGHTING EQUIPMENT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE REQUIREMENTS.
 20. USE #8 WIRING AT EACH POLE LOCATION WITH FUSED CONNECTIONS. USE #8 GROUND WIRE THROUGHOUT UNDERGROUND DUCT SYSTEM.
 21. PROVIDE NEMA 3R, 30 AMP, SINGLE POLE NON-FUSED DISCONNECT SWITCH FOR EMERGENCY CUT OFF.

ADDITIONAL NOTE:

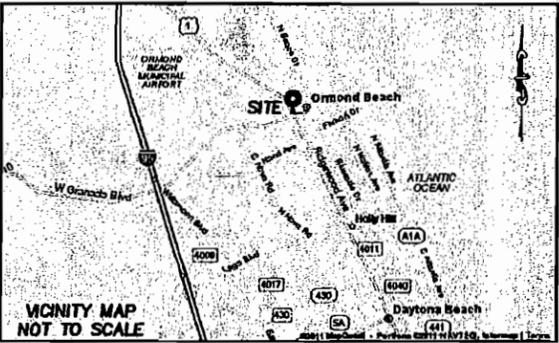
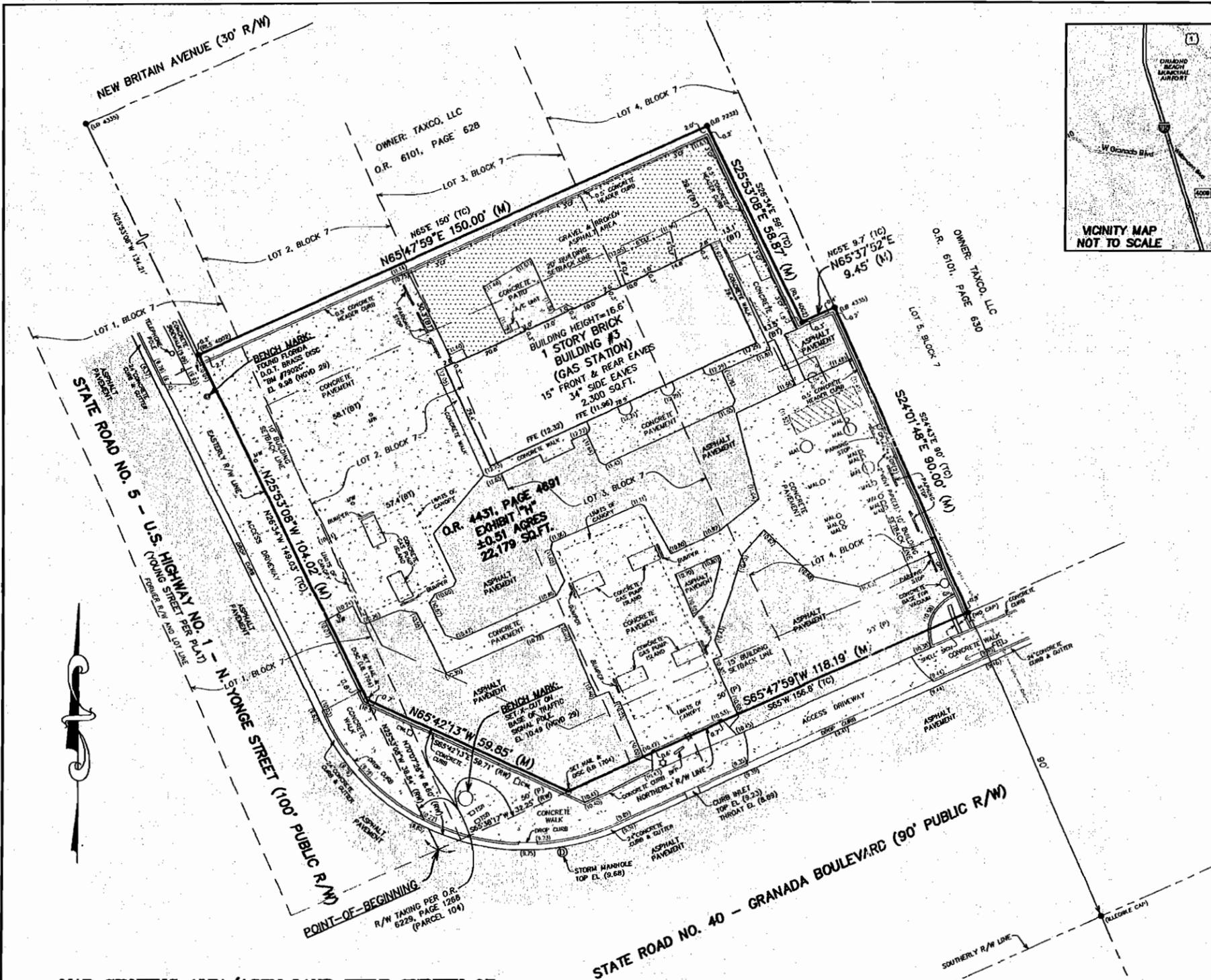
1. THIS PLAN REFERENCES CIVIL DRAWINGS PREPARED BY ETM, JACKSONVILLE FL, TITLED: SUNOCO 0405-2205, 3 NORTH YOUNG STREET, CITY OF ORMOND BEACH, FLORIDA

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
☐	18	A	SINGLE	CRS-SC-LED-84-SS-CW-UE	1.000	N.A.	10747	97
⊙	5	B	SINGLE	XAM3-FT-LED-119-450-CW-UE-S-16'POLE+2'BASE	1.000	N.A.	12343	184

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	2.85	40.0	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	32.32	40.0	24.6	1.31	1.63
INSIDE CURB	Illuminance	Fc	5.82	19.7	0.5	11.64	39.40

Footcandle levels taken at grade.

Cummins Consulting Engineers & Architectural, Inc. 1176 N. Orange Blvd., Suite 101, Orlando, FL 32819 Phone: (407) 241-1111 • Fax: (407) 241-1112			
CLIENT:		SUNOCO, INC. 30 Industrial Highway, 304, W Leesville, LA, 71459	
LOCATION:	3 NORTH YOUNG STREET CITY OF ORMOND BEACH VOLUSIA COUNTY, FLORIDA	PROJECT NO.:	
LIGHTING DETAILS			
PROJECT NO.	0405-2205	DATE:	12-28-12
SCALE:	AS NOTED	REVISIONS:	
DATE:	12-28-12	BY:	0



LEGEND	
●	FOUND 1/2" IRON (AS NOTED)
○	SET MONUMENTATION, AS NOTED
(B1)	BUILDING TIE TO PROPERTY LINE
R/W	RIGHT OF WAY
O.R.	OFFICIAL RECORDS BOOK OR VOLUME
D.O.T.	DEPARTMENT OF TRANSPORTATION
SQ.FT.	SQUARE FEET
EL	ELEVATION
FFE	FINISH FLOOR ELEVATION
BFP	BACKFLOW PREVENTER
MW	MONITORING WELL
GP	GUARD POST
IP	IRON PIPE
TSB	TRAFFIC SIGNAL BOX
CWL	CROSSWALK LIGHT POLE
CF	CONCRETE FENCE
CLF	CHAIN LINK FENCE
MAL	METAL ACCESS LID
—	SIGN POST
—	LIGHT POLE
—	WATER VALVE
—	CONCRETE UTILITY POLE
—	WOOD UTILITY POLE
—	CUY ANCHOR
—	FENCE, AS NOTED, W/TIES TO FACE
—	OVERHEAD UTILITY LINE
—	HANDICAP PARKING SPACE

- NOTES:
1. BEARING REFERENCE: N25°33'08"W FOR THE EASTERLY R/W LINE OF U.S. HIGHWAY NO. 1—STATE ROAD NO. 5 PER STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION R/W MAPS, SECTION 79030-240992-1G.
 2. THE PROPERTY SURVEYED HEREON APPEARS TO LIE WITHIN FLOOD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NO. 125136-0210H, DATED FEBRUARY 19, 2003.
 3. ELEVATIONS SHOWN THUS: (20.00) AND REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
 4. REFERENCE BENCH MARK: FOUND FLORIDA DEPARTMENT OF TRANSPORTATION BRASS DISK DESIGNATED "BM #6-2", LOCATED ON CONCRETE WINGWALL UNDER WEST END AND ON NORTH SIDE OF GRANADA BRIDGE (STATE ROAD 40), ELEVATION 5.49 (NGVD 29).
 5. PROPERTY ADDRESS: 3 NORTH YONGE STREET, CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32174.
 6. THE PROPERTY SURVEYED CONTAINS 22,179 SQUARE FEET OR ±0.51 ACRES.
 7. THIS IS AN ABOVE GROUND SURFACE SURVEY ONLY, NO UNDERGROUND INFORMATION LOCATED OR SHOWN.
 8. ALL LOT AND BLOCK INFORMATION SHOWN HEREON REFERS TO PLAT OF GRANADA RESUBDIVISION, RECORDED IN PLAT BOOK 5, PAGE 135 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
 9. BEARINGS AND DISTANCES SHOWN THUS: (TC) REFER TO LEGAL DESCRIPTION IN CHICAGO TITLE COMMITMENT NO. 3671924, DATED OCTOBER 10, 2011. BEARINGS AND DISTANCES SHOWN THUS: (RW) REFER TO R/W TAKING (PARCEL 104) PER O.R. 6229, PAGE 1266. DISTANCES SHOWN THUS: (P) REFER ABOVE MENTIONED PLAT OF GRANADA RESUBDIVISION, PLAT BOOK 5, PAGE 135. BEARINGS AND DISTANCES SHOWN THUS: (M) REFER TO ACTUAL FIELD MEASUREMENTS OR COMPUTATIONS THEREFROM.
 10. BUILDING SETBACK LINES PER CITY OF ORMOND BEACH ZONING "B-4" (DOWNTOWN OVERLAY) ARE: FRONT-15', REAR-20', SIDES-10'.
 11. NO TREES WERE FOUND ON SUBJECT PROPERTY.
 12. THERE WAS ONE (1) HANDICAP PARKING SPACE MARKED AT TIME OF SURVEY.

- TITLE NOTES:
1. THE LEGAL DESCRIPTION SHOWN HEREON IS THE SAME AS EXHIBIT "A" OF CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 3671924, DATED OCTOBER 10, 2011.
 2. THE FOLLOWING ITEMS REFER TO SCHEDULE B—PART II:
 - ITEM 6—NO UNRECORDED LEASES OR AGREEMENTS FURNISHED TO THE UNDERSIGNED SURVEYOR.
 - ITEM 7—ENCROACHMENT REFERRED TO IN ENCROACHMENT AGREEMENT PER O.R. 3476, PAGE 533 HAS BEEN REMOVED.
 - ITEM 8—AGREEMENT FOR RIGHT OF ENTRY PER O.R. 3878, PAGE 386 GRANTS SHELL OIL COMPANY A "BLANKET" TEMPORARY LICENSE TO ENTER SUBJECT PROPERTY.

MAP SHOWING ALTA/ACSM LAND TITLE SURVEY OF

A PORTION OF LOT 1, 2, 3 AND 4, BLOCK 7, GRANADA RE-SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN MAP BOOK 5, PAGE 135, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:
 BEGINNING AT AN INTERSECTION OF THE NORTHERLY LINE OF GRANADA AVENUE (A 90 FOOT STREET AS NOW LAID OUT AND USED) WITH THE EASTERLY LINE OF U.S. HIGHWAY NO. 1 (A 100 FOOT STREET AS NOW LAID OUT AND USED); THENCE NORTH 26 DEGREES 34 MINUTES WEST, A DISTANCE OF 149.03 FEET; THENCE NORTH 65 DEGREES EAST, A DISTANCE OF 150 FEET; THENCE SOUTH 26 DEGREES 34 MINUTES EAST, A DISTANCE OF 59 FEET; THENCE NORTH 65 DEGREES EAST, A DISTANCE OF 9.7 FEET; THENCE SOUTH 24 DEGREES 43 MINUTES EAST, A DISTANCE OF 90 FEET TO A POINT IN THE NORTHERLY LINE OF SAID GRANADA AVENUE; THENCE SOUTH 65 DEGREES WEST, ALONG THE NORTHERLY LINE OF SAID GRANADA AVENUE, A DISTANCE OF 156.8 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING ANY PART DESCRIBED IN THAT CERTAIN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 6229, PAGE 1266, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

CERTIFIED TO:
 CHICAGO TITLE INSURANCE COMPANY;
 SUNOCO, INC. (R & M), A PENNSYLVANIA CORPORATION;
 FIRST COAST ENERGY, LLP, A COLORADO LIMITED LIABILITY PARTNERSHIP;
 MCGUIRE WOODS, LLP

STATE ROAD NO. 40 — GRANADA BOULEVARD (90' PUBLIC R/W)

FCE #2509 3 NORTH YONGE STREET, CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32174

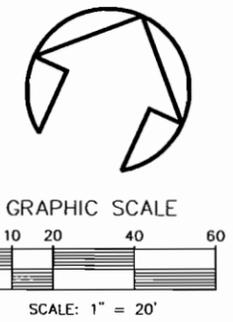
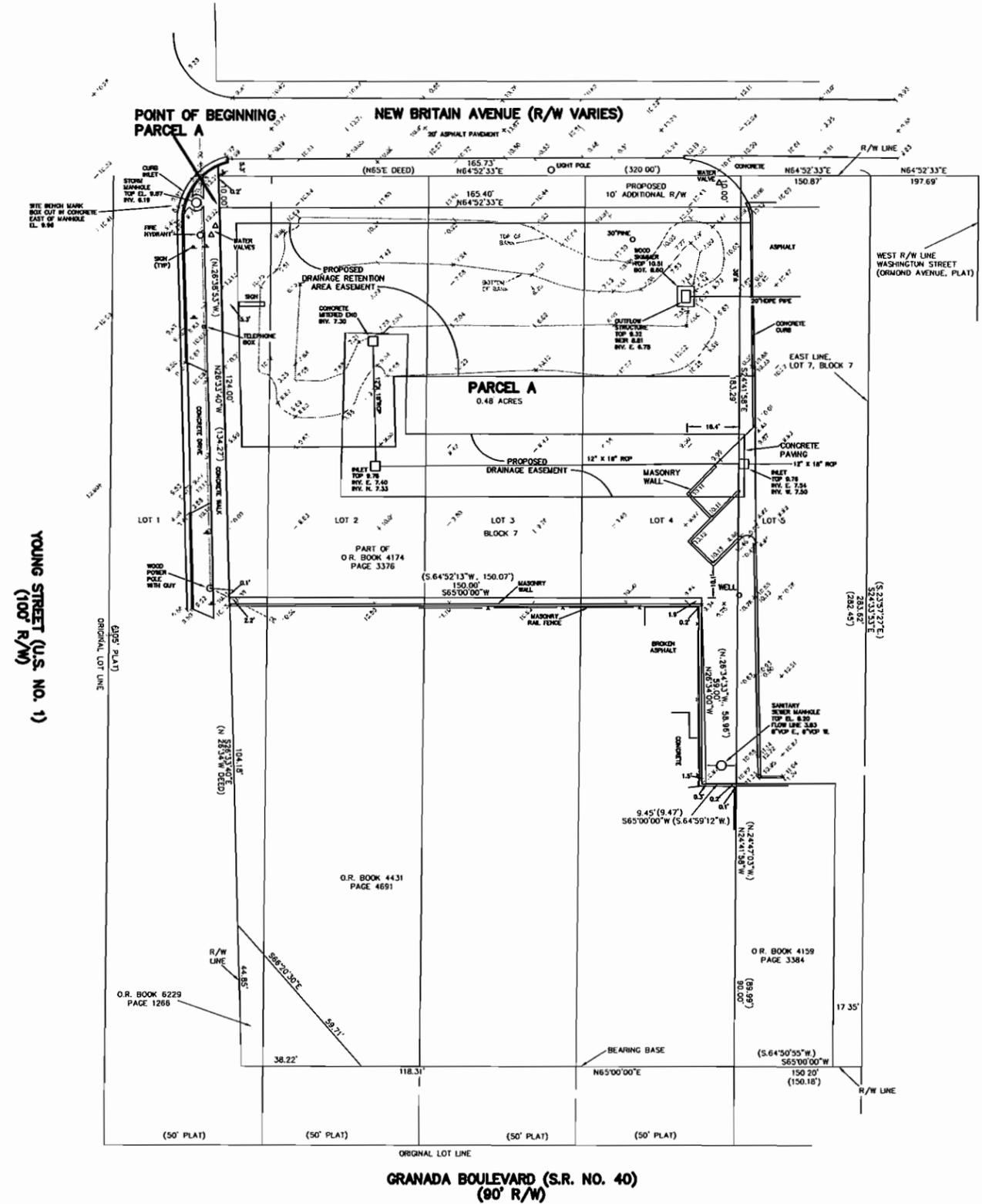


THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR 2011 ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 9, 2011.

SIGNED: *Jose A. Hill, Jr.* DATE: FEBRUARY 10, 2012
 JOSE A. HILL, JR.
 REGISTERED LAND SURVEYOR NO. 4487
 SURVEY NOT VALID WITHOUT EMBOSSED SURVEYOR'S SEAL

PREPARED BY:
CLARSON AND ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS & MAPPERS
 1543 MALDO AVENUE
 JACKSONVILLE, FLORIDA, 32207
 PHONE: 904-396-2623

DATE SURVEYED: DECEMBER 9, 2011
 SCALE: 1"=20'
 FIELD BOOK: 853 PAGES: 1-3
 DRAWING NO. A-3768



LEGAL DESCRIPTION

A PART OF LOTS 1, 2, 3 AND 4, BLOCK 7, GARDNER'S RESUBDIVISION OF GRANADA ORMOND, AS RECORDED IN MAP BOOK 5, PAGE 135, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 1 (YOUNG STREET), A 100 FOOT RIGHT OF WAY, WITH THE SOUTH RIGHT OF WAY LINE OF NEW BRITAIN AVENUE, AS SHOWN ON THE PLAT OF GARDNER'S RESUBDIVISION, RUN S.26°33'40"E ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID U.S. HIGHWAY NO. 1, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, THENCE DEPARTING SAID RIGHT OF WAY LINE, RUN N.64°52'33"E, 10 FEET SOUTH OF, AND PARALLEL WITH THE SOUTH RIGHT OF WAY LINE OF SAID NEW BRITAIN AVENUE, A DISTANCE OF 165.40 FEET; THENCE S.24°41'58"E, ALONG THE EASTERLY LINE OF SAID LOT 4, A DISTANCE OF 183.29 FEET; THENCE DEPARTING SAID LINE, RUN S.65°00'00"W, A DISTANCE OF 9.45 FEET; THENCE N.26°34'00"W, A DISTANCE OF 59.00 FEET; THENCE S.65°00'00"W, A DISTANCE OF 150.00 FEET TO THE EASTERLY RIGHT OF WAY LINE OF SAID U.S. HIGHWAY NO. 1, THENCE N.26°33'40"W, ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 124.00 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES

1. BEARING STRUCTURE BASED ON DEED IN O.R. BOOK 4431, PAGE 4691, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
2. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
3. ELEVATIONS REFER TO MVD 1929 DATUM, AND ARE IN FEET.
4. LEGAL DESCRIPTION GENERATED BY MARK DOWST & ASSOCIATES, INC.
5. SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY AND ACCURATE TITLE SEARCH, IF ANY.
6. UNDERGROUND FOUNDATIONS, OR UTILITIES, IF ANY, NOT LOCATED.
7. MEASUREMENTS AND BEARINGS BASED ON FIELD MEASURED DATA, UNLESS SHOWN OTHERWISE.
8. FLOOD ZONE IS X, BASED ON FLOOD INSURANCE RATE MAPS (FIRM) NO. 12127C0212H AND 12127C0216H, DATED FEBRUARY 19, 2003.
9. PROPERTY CORNER SYMBOLS, ALONG WITH OTHER LOCATED FEATURES, MAY BE SHOWN AT A LARGER SCALE FOR CLARITY.

LEGEND E = CENTERLINE +0.00 = EXISTING ELEVATION * = 1/4" IRON ROD WITH CAP ▲ = PERMANENT CONTROL POINT ■ = 4" x 4" CONCRETE MONUMENT ○ = IRON BURN CAP △ = CENTRAL ANGLE A.C. = AIR CONDITIONER BK. = BOOK C.M. = CONCRETE MONUMENT	(C) = CALCULATED CMP = CORRUGATED METAL PIPE C.R. = COUNTY ROAD C = CORDON CB = CROSS BEARING COC. = CONCRETE COR. = CORNER (D) = DATA (DESC) = DATA PER DESCRIPTION EL. = ELEVATION	ELEC. = ELECTRICAL ENCL. = ENCLOSURE F.A. = FIRE HYDRANT F.S. = FLORIDA STATUTES F.S.D.T. = FLORIDA DEPARTMENT OF TRANSPORTATION FTE = FINISHED FLOOR ELEVATION F.A.C. = FLORIDA ADMINISTRATIVE CODE GOVT. = GOVERNMENT	I.P. = IRON PIPE I.R. = IRON ROD IRV. = IRON VALVE L. = ARC LENGTH L.S. = LAND SURVEYOR BUSINESS L.S. = LAND SURVEYOR M.B. = MAP BOOK M.S. = MASONRY M & W = MUD AND WASHER NO. = NUMBER	N.G.S.D. = NATIONAL GEODETIC SURVEYING (N75) = NOT TO SCALE (N8) = NON-RADIAL CE = OVERHEAD ELECTRICAL Q.E. = OFFICIAL RECORDS (P) = PLAT DATA (R) = RECTANGULAR P.O.B. = POINT OF BEGINNING P.T. = POINT OF TANGENCY	P.C. = POINT OF COMPOUND CURVATURE P.O.C. = POINT OF CURVATURE P.C. = POINT OF CURVATURE P.A.M. = PERMANENT REFERENCE MONUMENT P.C.P. = PERMANENT CONTROL POINT P.R.C. = POINT OF REVERSE CURVATURE	P.C. = POINT OF CURVATURE P.L.S. = PROFESSIONAL LAND SURVEYOR P.B. = PLAT BOOK RES. = RESIDENCE R.W. = RIGHT OF WAY (R) = RADIAL R.C. = RANGE () = RECORD DATA R. = RADIUS R.P. = REINFORCED CONCRETE PIPE S.A.L. = SANITARY	SUB. = SUBROIGN S.R. = STATE ROAD SEC. = SECTION TEL. = TELEPHONE T.P. = TOWNSHIP T. = TANGENT TRNG. = TRANSFORMER T.X. = TIE-BOOK U.S. = UNITED STATES V.V. = WATER VALVE	THIS SURVEY DRAWING IS THE PROFESSIONAL OPINION OF THIS SURVEYOR AND FIRM WHICH WAS PREPARED UTILIZING THE BEST AVAILABLE INFORMATION AND AS SUCH DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. FURTHERMORE, THIS SURVEYOR AND FIRM DOES NOT ASSUME RESPONSIBILITY AND SHALL NOT BE HELD LIABLE FOR CLAIMS ARISING FROM ERRONEOUS OR INCORRECT INFORMATION FURNISHED TO THE SURVEYOR, WHICH WAS USED AS A BASIS IN THE PREPARATION OF THIS SURVEY DRAWING.	VALID WITH SIGNATURE & DISPOSED SEAL ONLY	I HEREBY CERTIFY THAT THIS PLAT MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050, F.A.C., PURSUANT TO SECTION 472.027, FLORIDA STATUTES.	MARK DOWST & ASSOCIATES, INC. ENGINEERING PLANNERS SURVEYORS LEASERS 536 NORTH HALIFAX AVENUE, SUITE 100, DAYTONA BEACH, FLORIDA 32118 386-258-7900	PROJECT NO.
												1197

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 7, 2013

SUBJECT: 1546 West Granada Boulevard Rezoning

APPLICANT: Bill Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc.

NUMBER: PBD 13-02

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION:

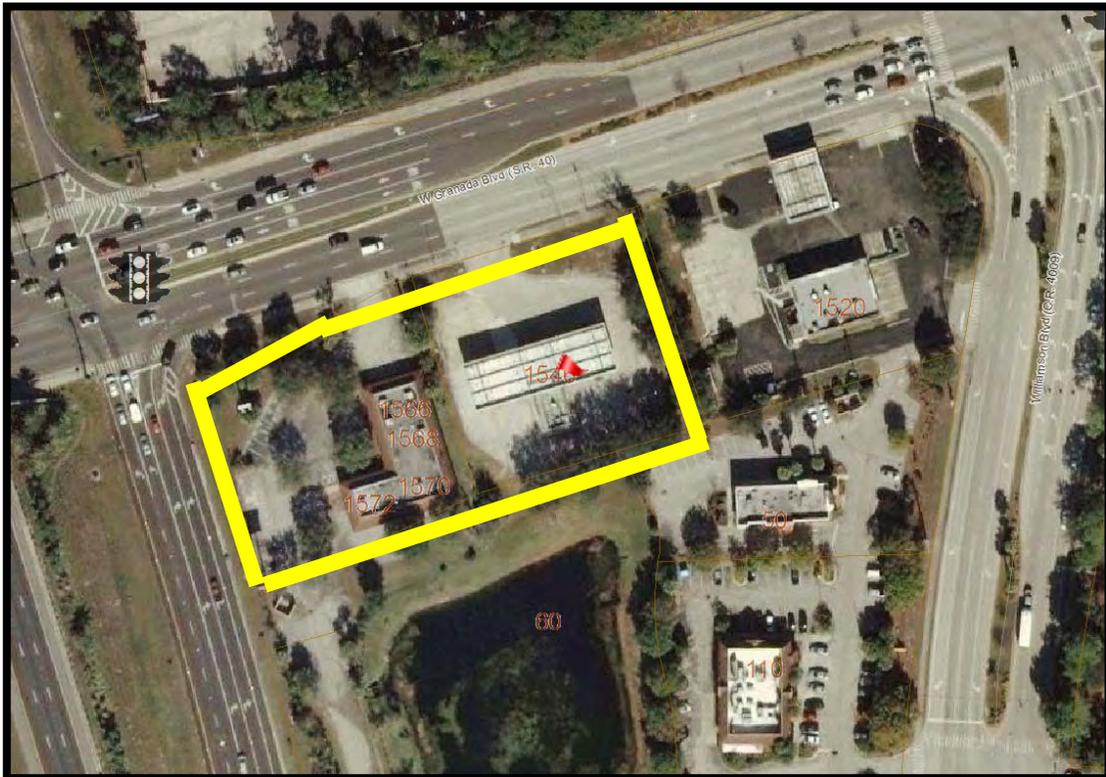
This is a request by Bill Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc. for a rezoning from B-7 (Highway Tourist Commercial) to (PBD) Planned Business Development at the southeast corner of the intersection of Interstate 95 and Granada Boulevard. The property addresses are 1546 and 1566 West Granada Boulevard. The application seeks to demolish the existing on-site building at 1566 West Granada Boulevard (former Waffle House) and construct a 3,159 square feet Sunoco convenience store with eight fueling dispensers (16 stations) and associated site improvements.

BACKGROUND:

The subject property is designated as "Tourist Commercial" on the City's Future Land Use Map (FLUM), and is classified as B-7 (Highway Tourist Commercial) on the City's Official Zoning Map. Site maps and pictures are included in EXHIBIT A. The adjacent FLUM designations and zoning classifications are illustrated in the following table:

	Current Land Uses	Future Land Use Designation	Zoning
North	Wal-Mart	"General Commercial"	PBD (Planned Business Development)
South	Stormwater pond, Taco Bell	"Tourist Commercial"	B-7 (Highway Tourist Commercial)
East	Gas Station	"Tourist Commercial"	B-7 (Highway Tourist Commercial)
West	Interstate 95	NA	NA

Site aerials:



PROJECT DESCRIPTION:

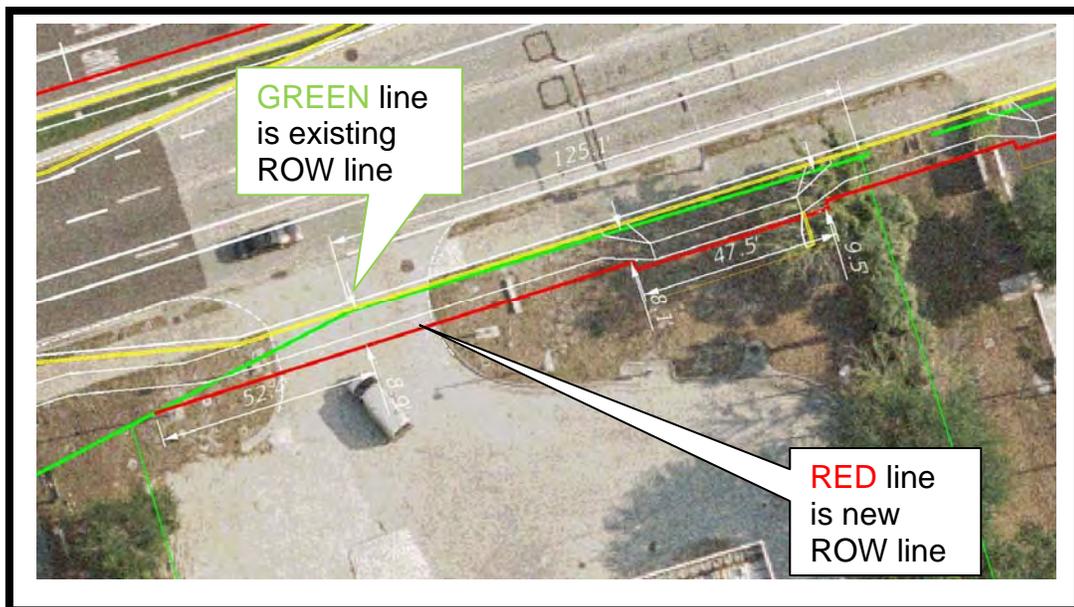
The subject property includes two properties that will be combined into one property. The depth of the property is approximately 190' and the width is approximately 380'. The property at 1546 West Granada Boulevard was previously a convenience store with gasoline sales and the building has been demolished. The property at 1566 West Granada Boulevard was a Waffle House and retail space. The building at 1566 West Granada Boulevard is proposed for demolition.

The application submitted proposes the redevelopment of the site for a 3,159 square foot building with eight fueling islands or 16 stations. All existing on-site improvements shall be demolished and the building, canopy, and site improvements would all be new construction. The rezoning application requires a site plan for site development. Key points of the site plan submittal are discussed below:

1. The application proposes to maintain the uses and dimensional standards of the B-7 (Highway Tourist Commercial) zoning district.
2. The Department of Transportation is currently performing a Project Development and Environment (PD&E) Study for Granada Boulevard that would add double right turn lanes for Williamson Boulevard. The study is proposing a taking of approximately 8' along the Granada Boulevard frontage for the property. The property has limited lot depth and the taking would further reduce the depth of the lot. The limited lot depth has led to the current design with the building turn east and west, rather than the store front facing the roadway.

The site has been designed to accommodate the potential right-of-way taking and no improvements are shown within the first 8', including landscaping or the site sign. The taking would result in the project Greenbelt buffer falling below 25'. Based on the limited lot depth, there is no ability to re-design the site to achieve the full Greenbelt width. The applicant has placed the maximum amount of landscaping within the remaining landscaping buffer.

In reviewing the application for the rezoning, staff requested the applicant donate the land area identified for the expansion of the Granada Boulevard right-of-way. Staff based the dedication of the additional ROW on the waivers that the project was seeking, including signage, landscape buffer impacts, and the size of the canopy.



3. The existing properties have a drive aisle (through an easement) abutting I-95 that connects with the Ormond interchange properties that include the Sleep Inn, Taco Bell, Denny's, Steak & Shake, Chili's and other restaurants. The drive aisle encroaches into the required 60' Greenbelt and Gateway Preservation landscape buffer. The proposed plan would remove the parking immediately abutting I-95 and replant this area and plant green area behind the drive aisle.
4. The stormwater retention is provided for in the Ormond Interchange complex pond.
5. The building architecture is Neo-Eclectic. The on-site buildings and sign have been coordinated to utilize similar materials.
6. Recessed canopy and site lighting are LED.

The project has been submitted to the City's Site Plan Review Committee and the outstanding Request for Additional Information is included in EXHIBIT B. There are no outstanding comments that would significantly alter the layout of the site plan. The site plans are included in EXHIBIT D.

ANALYSIS:

According to Chapter 2, Article II, Section 2-36 of the Land Development Code the purpose of the Planned Business Development zoning district

“is to establish regulatory standards for controlling the location of comprehensively planned business centers accessible to arterial roadways. The PBD is intended to incorporate a flexible management policy which incorporates urban design amenities, including streetscape improvements, and fosters innovative master planning in the design and development of commercial centers. The PBD district provides a diversified mix of permitted, conditional, and special land uses and higher standards of land planning and site design than are available under conventional zoning categories.”

One goal of the Planned Business Development is to “provide for a coherent and visually attractive physical environment through the creation of focal points and vistas, as well as coordination and consistency of architectural styles, landscaping designs and other elements of the building environment.”

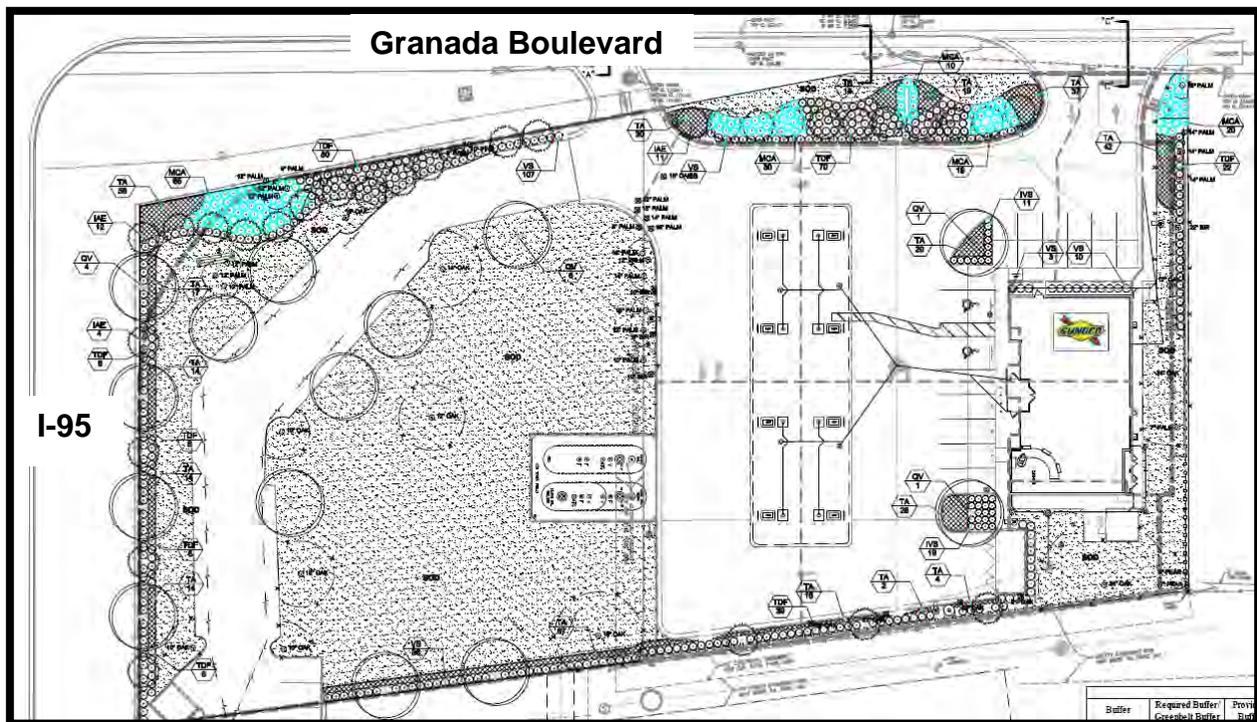
The applicant is seeking a rezoning to Planned Business Development to demolish the existing on-site improvements, construct a new convenience store with gas canopy and bring the site up to the Land Development Code to the maximum extent practical. The Planned Business Development zoning designation allows the applicant to request waivers to development standards. The rezoning would incorporate the uses and dimensional standards of the B-7 (Highway Tourist Commercial) zoning district.

Below are the variances the applicant is seeking through the Planned Business Development rezoning:

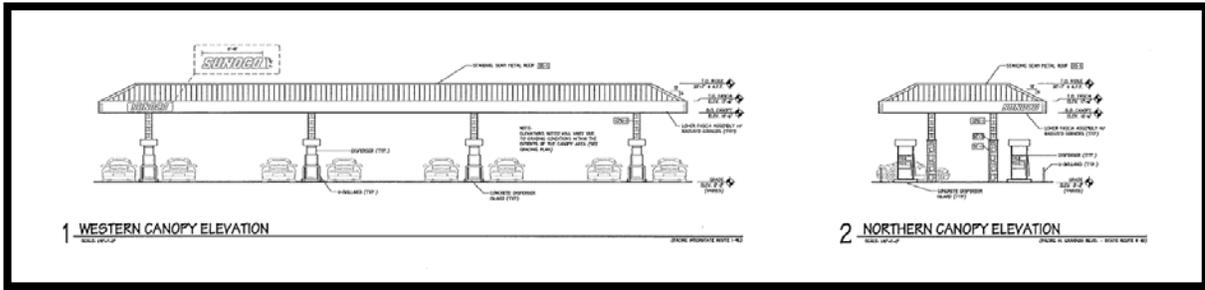
Planned Business Development Waivers

- 1. Greenbelt and Gateway Preservation District buffers.** The subject property abuts Granada Boulevard and Interstate 95 which are both Greenbelt landscape corridors. Along Interstate 95, a 60' buffer is required and the property has an existing drive-way access aisle that is required to stay based on cross-access easements. The buffer along Interstate 95 will be increased by removing the parking spaces immediately abutting the interstate and providing additional landscaping to the east of the existing drive. The buffer along Granada Boulevard has been planted to the maximum extent practical with the existing drive aisle, property boundary angle, and proposed right-of-way taking.

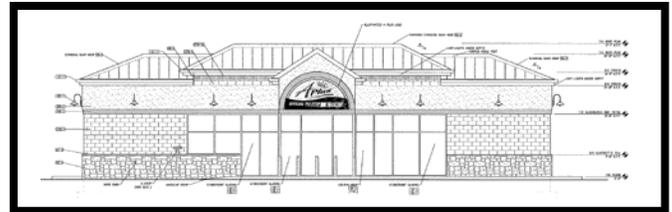
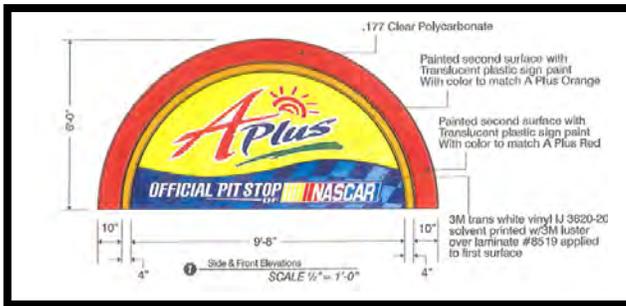
Proposed Landscape Plan



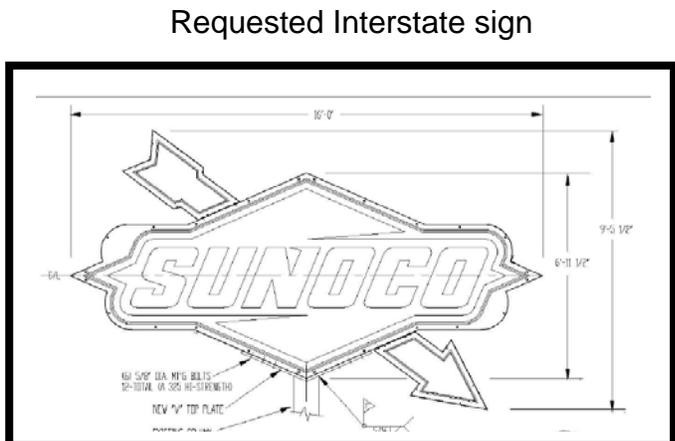
- 2. Canopy Size.** Chapter 3, Article VI, Section 3-70.A.1.i of the Land Development Code states the maximum total canopy area shall not be more than twenty-five percent (25%) greater than that of the principal structure. The total square footage of the building is 3,159 which would permit a 3,949 square-foot canopy. The project proposes a canopy size of 4,375 square feet or 38% greater than the principal building.
- 3. Signage on canopy.** Section 3-70.A.1.e of the Land Development Code prohibits signage on the gas canopy. The project requests a canopy sign of 21 square feet on the northern façade (facing Rockefeller Avenue) and the eastern façade (facing SR A1A). The total square footage of the two signs would be 42 square feet, as shown below.



4. **Wall Signage.** Section 3-48.E. of the Land Development Code provides that allowable square footage for wall signage based upon the linear frontage of the building. Based on the building frontage, the project would be permitted one wall sign of 37 square feet or two wall signs of 55.50 square feet. The application is requesting one sign of 72 square feet. The proposed sign, shown below is a semi-circle and per the City’s Land Development is required to be measured as box.



5. **Interstate Signage.** The property has a current interstate sign as shown in the picture below. The applicant is requesting to allow a new interstate that is 65 feet in height and 150 square feet in sign area. Section 3-47.G of the Land Development Code restricts the interstate signage to 50 feet in height and 125 square feet in sign copy area. The applicant has indicated that the sign is located along an interstate with Medjool Palm trees and there is a sign visibility problem at 50 feet in height. The applicant has also stated that the actual measured area of the sign is 72 square feet, but based on the way that the City measures signs as a box, the sign copy increases to 150 square feet.



Public Benefits:

Section 2-36.H.3 of the Land Development Code states the following:

Applications for a PBD rezoning shall provide a minimum of two of the listed public benefits listed below or propose alternative public benefits which are acceptable to the City Commission. For each variance requested, an additional two public benefit items shall be required

The application has provided a letter detailing how the project provides public benefits which is attached in EXHIBIT C. In summarizing the applicant's letter, the following are listed as public benefits:

1. **Redevelopment of a blighted site.** There are multiple aspects to this public benefit that include the removal of the existing buildings, new construction, the impact of the site on surrounding properties, the ability of the site to serve the residents of the City and interstate highway traffic, and the introduction of landscaping to the property.
2. **Dedication of right-of-way necessary for Granada Boulevard improvements.** The applicant shall dedicate, at no cost to the City or the Florida Department of Transportation, the land area needed to improve Granada Boulevard per the PD&E study that proposes to add dual right hand turns onto Williamson Boulevard. The applicant has stated that the ROW taking area is worth at least \$25 a square foot and the dollar value of the taking area is \$33,400.
3. **Architectural embellishments to the building and canopy.** Sunoco typically provides the horizon signage and has agreed to limit the canopy color to a single color. The canopy columns are wrapped in brick and split face block to enhance the visual appearance of the canopy.
4. **Increased landscaping.** The project is substantially re-landscaping the subject property. The former 1566 West Granada Boulevard property shall not be built upon except to locate the underground gasoline tanks.

CONCLUSION:

In considering an application for a Planned Business Development, the Planning Board may recommend to approve, approve with conditions, or disapprove on the extent to which the development offers site amenities above that normally found for permitted uses in the district with regard to the following:

- a) **Building form, architecture and appropriateness of materials with regard to long-term maintenance, relation to the surrounding neighborhood, and aesthetics. Architectural drawings shall be approved as part of the Development Order and adhered to in all development phases.**

The proposed building utilizes the Neo Eclectic architectural style and a summary of the architectural features is provided by the applicant in Exhibit C. The new building and canopy are a substantial improvement from the existing structures and shall improve the aesthetics along West Granada Boulevard. Architectural drawings are included in EXHIBIT D.

b) Landscaping and related site amenities.

Based on the size of the subject property the application is seeking waivers of landscape buffer areas along the Granada Boulevard and Interstate 95 Greenbelt buffers. The project has provided the required amount of landscape material over the entire site.

c) Mitigation of off-site impacts.

The site plan has been reviewed by the Site Plan Review Committee and it is staff's determination that the proposed project will not negatively impact surrounding properties.

d) Overall lighting plan, particularly in relation to aesthetics and glare.

Within EXHIBIT D there is a site lighting plan that will utilize LED site lighting and recessed canopy lighting. There is no residential uses abutting the project and the lighting will not produce off-site glare.

e) Overall signage plan, particularly related to aesthetics and readability.

The application provides a unified signage plan that incorporates architectural elements of the building and canopy construction. Three of the site waivers involves signage and includes wall, canopy, and interstate signage.

CRITERIA FOR APPROVAL: There are certain criteria that must be evaluated before a Planned Business Development amendment can be approved. According to Chapter 1, Article I, Section 1-15.C.3 of the Land Development Code, the Planning Board shall consider the following when making its decision:

1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.

The proposed development conforms to the standards of the Land Development Code and is requesting site flexibility as permitted under the Planned Business Development process. The development is consistent with the development patterns in this corridor and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.

2. The proposed development is consistent with the Comprehensive Plan.

The property is designated as "Tourist Commercial" on the City's Future Land Use Map (FLUM). The directive text of the Comprehensive Plan states,

"A multi-use land use category to provide uses along the Atlantic Ocean, SR A1A

and highway interchanges, that include transit availability, retail services, tourist attractions, restaurants, multi-family and lodging to visitors to the City.”

The proposed redevelopment is consistent with multiple Comprehensive Plan policies. Some Future Land Use Element policies include:

POLICY 1.2.4.

Tourist oriented hotel/motel development and appropriate support facilities shall be located along A1A south of Granada Boulevard and near highway interchanges, and shall not be permitted to intrude into established residential areas north of Granada Boulevard nor established residential areas east of South Atlantic Avenue, further westward of A1A than is currently permitted south of Granada Boulevard.

POLICY 1.2.5.

The redevelopment and renewal of blighted commercial areas shall be encouraged.

The proposed development is consistent with the Comprehensive Plan.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to water bodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The subject property is currently a non-conforming developed site. There are no environmentally sensitive lands or natural resources. Additionally the property does not have any wetlands or protected animal species on-site

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The existing property is blighted and detracts from the value of properties in the West Granada Boulevard corridor. The redevelopment is a significant investment and will assist to further strengthen the appearance of the West Granada Boulevard corridor. It is the recommendation of the Site Plan Review Committee that the project will not substantially or permanently depreciate the value of surrounding properties.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

There are adequate public facilities to serve the proposed development, including water, wastewater, roads, public safety, and stormwater. Many of these facilities are existing and serve the current developed site.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

There is adequate access to the subject property. City staff and the applicant are discussing the proposed access points and there may be modification with a future site plan submittal to allow vehicles additional length to make the movement into the left hand turn lane at Williamson Boulevard to go west bound on Granada Boulevard. The applicant did perform a traffic analysis that concludes the project would not significantly alter the operating conditions on Granada Boulevard.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

The proposed site plan is functional and provides building architecture that exceeds the adopted architectural regulations.

- 8. The proposed development provides for the safety of occupants and visitors.**

The proposed development provides for the safety of its occupants and visitors.

- 9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

The building and material will not adversely impact the aesthetics of the area and is designed in the Neo Eclectic architectural style.

- 10. The testimony provided at public hearings.**

This application has not been heard and no public testimony has been provided.

RECOMMENDATION:

It is expected that the application will be reviewed by the City Commission on March 19, 2013 (1st reading) and April 2, 2013 (2nd reading). It is recommended that the Planning Board recommend **APPROVAL** of PBD 13-02 to demolish the existing on-site building at 1566 West Granada Boulevard (former Waffle House) and construct a 3,159 square feet Sunoco convenience store with eight fueling dispensers (16 stations) and associated site improvements, incorporating the uses and dimensional standards of the B-7 (Highway Tourist Commercial) zoning district, subject to the outstanding comments from the Site Plan Review Committee:

Exhibits:

Exhibit A: Site maps and pictures

Exhibit B: Site Plan Review Committee Request for Additional Information

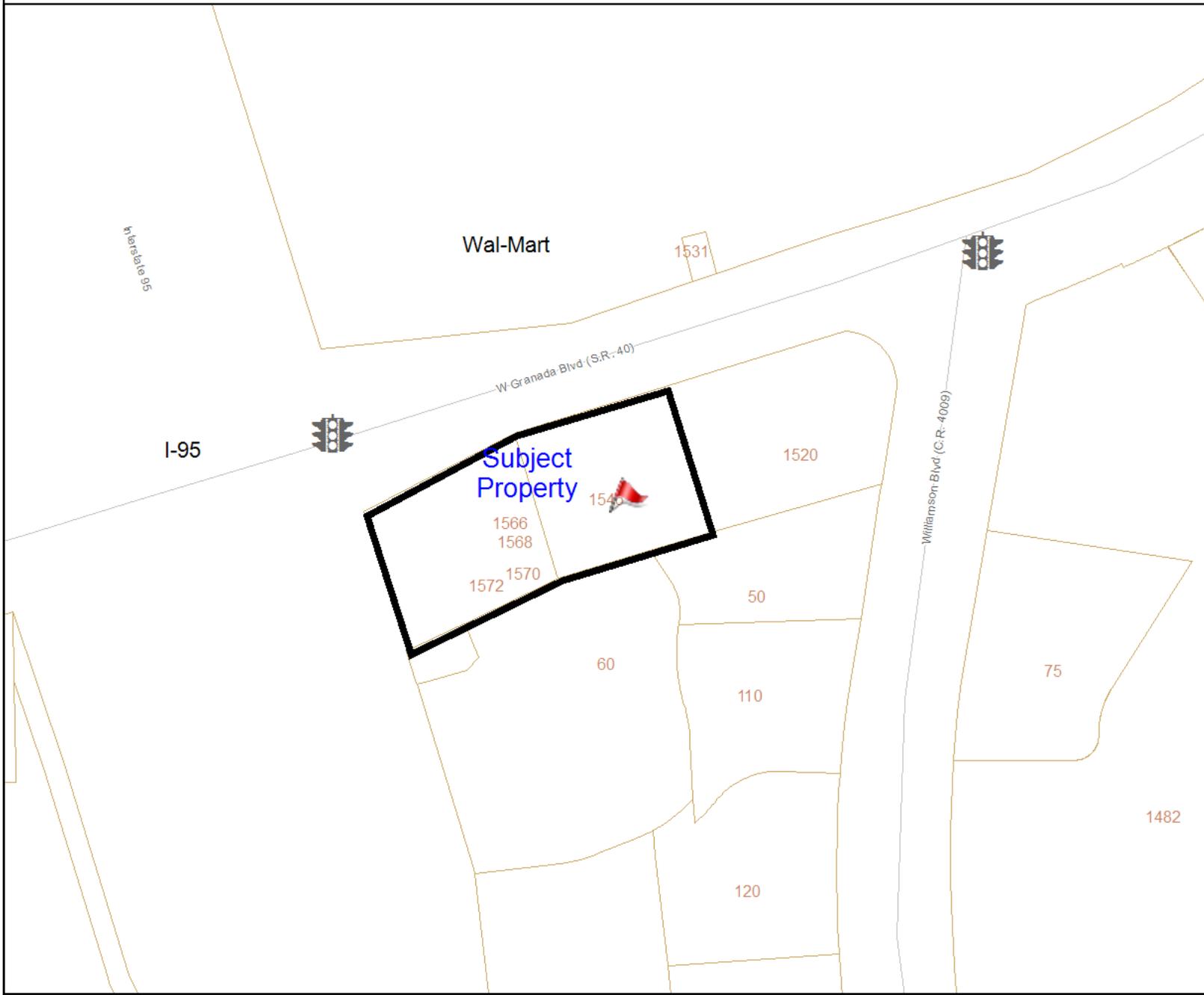
Exhibit C: Applicant provided letters

Exhibit D: Site plans

Exhibit A

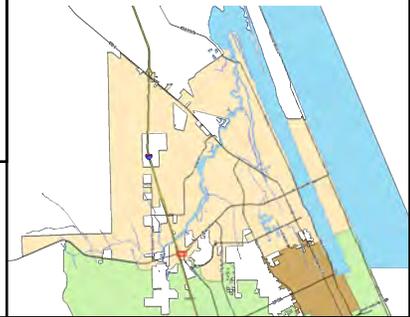
Site Maps and Pictures

1546 West Granada Boulevard Location Map



-  Golf Courses
-  Address Points
-  Traffic Signals
-  Airport and Railroad
-  AIRPORT
-  RAILROAD
-  DIRT
-  MAJOR
-  PAVED
-  Water Features
-  Property Lines

178 ft



GIS data is provided on an "as is" basis. The accuracy or reliability of the data is not guaranteed or warranted in any way. The City of Ormond Beach specifically disclaims any warranty either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular use. The entire risk as to quality and performance of the data is with the end user. In no event will the City, its staff or it's representatives be liable for any direct, indirect, incidental, special, consequential, or other damages, including loss of profit, arising out of the use of this data even if the City has been advised of the possibility of such damages.





**1546 West Granada Boulevard
structure has been removed**

**1566 West Granada Boulevard
structure to be removed**

**TOW-AWAY
ZONE**
UNAUTHORIZED VEHICLES
WILL BE TOWED AT
OWNER'S EXPENSE
24 HRS. A DAY 7 DAYS
UNIVERSITY
386-255-0211



World • United States • FL • Volusia Co. • Ormond Beach



Exhibit B

Site Plan Review
Committee Request for
Additional Information



**Ormond Beach
Site Plan Review Committee (SPRC)
Request for Additional Information**

Project Name:	Sunoco
Project Number:	13-02
Site Address:	1546 West Granada Boulevard
Review:	1st Review 10.17.12 CONCEPT
Review Date	January 29, 2013
Project Description:	Demolition of existing site buildings/improvements and construction of a 3,159 square foot building and related site improvements
Project Contacts:	bnorris@candrcontractors.com ; Robert.Merrell@CobbCole.com ; Debi.Lacroix@cobbcole.com ; CLMcCane@sunocoinc.com ; RBethart@sunocoinc.com

Please find below the Site Plan Review Committee (SPRC) comments for your project below. The SPRC meets every Wednesday, beginning at 9:00 am, with sign-up beginning at 8:00 am. There are twenty minute time slots available for discussion of projects. The sign-up process requires an individual to come to City Hall, Room 104 to sign in for a slot and staff cannot accept telephone reservations. Applicants should arrive five minutes prior to their time slot. There will be no time slots between 11:40am and 1:00pm. Once there are no individuals left on the sign-up sheet, the SPRC will adjourn. The applicant may utilize the time slot to address major issues and discuss design solutions for projects.

General Comments (no response required)

1. All outside agency permits (hard copy and on CD) are required to be provide prior to final SPRC approval.
2. Prior to construction, the project will need to provide cost estimates, including landscaping, that will be the basis of the engineering inspection fee as follows 1.5% of the first \$100,000 of site improvements and 0.5% over \$100,000 up to \$500,000; minimum of \$250.
3. Per Section 4-05.B. of the Land Development Code, "Applicants shall respond to SPRC written comments within 180 calendar days of the

issuance date or the project shall be considered withdrawn. All projects that do not respond within the allotted time shall be required to submit a new application and SPRC review fees. Applicants may request a maximum of two 90-calendar-day extensions with a written request to the Planning Director detailing the reason for the delay in responding to the SPRC comments.”

Steven Spraker, AICP, Senior Planner, 386.676.3341

4. Process:

- a. The LDC requires the applicant to post the property (this property will need one sign for each roadway – 2 signs total) on or before January 31, 2013 (14 days before the meeting date) as follows:

Applicants must place a four-foot by four-foot sign on the property describing the request. The sign shall be installed fourteen (14) days prior to the public hearing and shall contain the following language:

**PUBLIC NOTICE
PBD REZONING**

“A public hearing for a PBD REZONING on this property will be held by the Planning Board of the City of Ormond Beach on February 14, 2013 at 7:00 PM in the Commission Chambers at City Hall, 22 South Beach Street. Interested parties can contact the City of Ormond Beach Planning Department at (386) 676-3238 for further information.”

The application type and date shall be a minimum of six (6) inches in height. Signs shall be posted on the property facing all road frontages and set back ten (10) feet from the property line. A dated photograph or photograph with notarized affidavit shall be submitted to the Planning Department prior to the hearing as evidence of meeting the posting requirements.

The City and applicants have used Speedi Signs (386-258-1183) and Sign-a-Rama (386-788-4495) – you can you anyone who can meet the requirements listed above.

- b. The review submittal needs to be a complete packet with all applicable sheets (survey, lighting plans, architectural and signage sheets) as 24” by 36” size sheets. The final submittal shall require all sheets to be included and be the 24” by 36” size sheets and signed and sealed by the appropriate design professional.
- c. Please provide a letter of authorization from Sunoco to allow Mr. Norris to act as the applicant for the project.

5. Subject Property:

- a. A unity of title/lot combination shall be required to combine 1546 and 1556 West Granada Boulevard together.
- b. Please add the 1556 West Granada Boulevard parcel number to the cover sheet (4230-00-00-0432).

6. Note: PBD Analysis:

Waivers Needed

- a. Greenbelt and Gateway Preservation District buffers.
- b. Size of proposed canopy
- c. Signage on canopy.
- d. Wall signage square footage.

Public Benefits:

- a. Redevelopment of a blighted slight.
- b. Landscaping. Note: based on the project submittal and information, staff has not been able to verify that the landscaping exceeds the minimum Land Development Code requirement.
- c. There is a current Florida Department of Transportation PD&E study regarding the expansion of SR 40 that would require a right-of-way (ROW) taking from the subject property to add turn lanes to Williamson Boulevard. Based on the analysis of the project's public benefits, staff would suggest that the applicant consider donating the needed SR40 right-of-way expansion area as a public benefit. Please see the attached sketch as the area identified as needed for the ROW expansion.

7. Site Plan:

- a. Please review the proposed site driveways (including with FDOT). Staff has the following concerns:
 1. The six parking spaces to the north of the building are backing into incoming and departing traffic.
 2. Review to determine if the western entrance should also be two-way (in and out) or perhaps the far west driveway should be two-way and the east an entrance only.
 3. With the proposed exit in the eastern driveway, motorists will need to "bullet" across very fast to make the left hand turning lane at Williamson Boulevard and SR40 (to westward on SR40, including back to I-95). Keep in mind the future will have two left turn lanes

making the transition over from the eastern curb cut even more difficult.

4. Staff recommends that the exit out of the site be at the western access point to allow additional time to get in the left hand turn lane.
- b. Please show the ROW taking area and ensure that all improvements, including ensuring the monument sign and any trees are out of the taking area.
- c. There are two inlets shown in the Greenbelt Preservation area. Please remove these structures from the landscape planting area.
- d. Change the proposed zoning to PBD in the written statement chart.

8. Architectural Design

- a. The elevation facing SR40 lacks the building architecture facing a major roadway and needs to provide some type of architectural relief (other than the wall surfaces).
- b. The 12' by 12' storage or bottle enclosure needs to be similar to the principal building. The drawing (Sheet 4-515) needs to be amended to match the existing building.
- c. Provide elevations of the two proposed dumpster enclosures. The dumpster enclosures are required to match the architectural design of the building. Sheet 4-512 provides notes to match the color, but the materials of the dumpster enclosure needs to be coordinated.

9. Signage (PBD Waivers):

- a. Canopy Signage: Canopy signage is proposed at two 21 square foot signs and requires approval through the PBD process for approval.
- b. Monument Signage: Size is within allowable area. There is a pending LDC amendment that allows 8' monument signs, so staff does not consider this a variance.
- c. Wall Signage: Sheet A-4.1 shows one wall sign proposed at 72 square feet, which exceeds the LDC requirements and requires approval through the PBD.

10. Please provide a lighting plan, including details of the proposed poles.

Paul MacDonald, City Landscape Architect, 386.676.3269

11. A tree protection plan is a requirement of the LDC. The plan must graphically show the silt fencing location and all protection barricades surrounding trees to be preserved. A silt fence and tree protection detail is required and available in the Engineering Department.

12. A completed tree mitigation form must be submitted as part of the submittal. There are currently discrepancies between the site demo sheet, landscape

sheet, and within the mitigation chart regarding trees to be saved or removed. Please review and make corrections as necessary. Palms are 1 for 1 and not shown as caliper inch saved or removed.

13. The north greenbelt buffer calculation is (280' x 25' by 200 sf = 35 trees).
14. The west greenbelt buffer calculation is (200' x 60' by 200 sf = 60 trees).
15. 60% of the greenbelt plantings must be native. The proposed western buffer planting appears to not meet this minimum requirement due to the proposed sod.
16. Please provide this tree minimum calculation with the overall site minimum on sheet LC-01 (16,418 by 400 is 41 minimum trees)
17. The proposed 44 trees @ 4" provide 2.5 tree credits each (110 total plus existing after mitigation). You must have enough tree credits to satisfy the minimum of each landscape buffer, landscape island, and site minimum calculation combined.
18. You are required to have a foundation planting along the front parking area. We have waived this requirement before for decorative pavers or stamped concrete sidewalks.
19. Please provide a decorative bollard detail that compliments the architecture of the building along the front sidewalk.
20. Based on the information submitted, staff cannot verify that the proposed plan exceeds the minimum landscape requirement. Please contact me to discuss and review the comments listed above.

Justin Barton, Civil Engineer, 386.615.7047

21. **Stormwater** – Please provide storm water ICPR data. Post development condition increases runoff to pond, and changes impervious areas for the basins which would require modification to SJRWMD permit. Modification to permit may require recalculation of control structure.
22. **Stormwater** – Structure S-4 and S-3 are in the within the greenbelt setback. Please modify structure locations to be outside of 25' setback
23. **Stormwater** – Look at permitted design high water elevation to insure proposed site will not flood during design storm. Discharge pipe shows invert of 17.50 NWL of pond is 20.0 Is the intent to have pipe submerged? Installation of Pipe and MES would require draining of pond or dam.
24. **Drawing No. 9,10** – Consider modifying line weight of proposed contour lines for clarity. Review contour line elevations. Elevation 24.50 connects with EL. 25.50. Elevation 24.75 connects with EL. 25.75. Highest elevation seems to be 25.00.

25. **Drawing No. 10** – Labels at store front show a Top of curb and a edge of pavement elevation. Is there a curb at the storefront or is the pavement flush with the sidewalk?
26. **Drawing No. 10** – East and West driveways to Granada– Proposed grading discharge to Granada requiring a drainage connection permit and driveway connection permit.
27. **Drawing No. 4-501** – Delete duplicate details from previous sheets.
28. **Drawing No. 4-508** – Review Details. Delete duplicate details from previous sheets. Handicap Ramp Guidelines, Handicap Parking Signage Guidelines.
29. **Drawing No. 4-512** – Add Ormond Beach Standard Construction Details for Dumpster enclosure that shows plan and section view. Remove details that conflict with Ormond Beach Standard.

Tom Griffith, Plans Examiner, 386.676.3351

30. Sheet 7A-Please clarify there is no elevation change from the access aisle to the entrance sidewalk by providing top of curb and pavement elevations.
31. Please show the location of the handicap ramp details from sheet 4-508 on the ADA Accessibility Plan sheet 7A.

Kevin Gray, Environmental Systems Manager, 386.676.3577

32. Acceptable as submitted.

Mike Dunn, P.E., Public Utilities Manager, 386.676.3583

33. Sheet 5 – Demolition Plan
 - a. Show existing 24-inch DIP Raw Water Main and the 16-inch PVC Water Main along State Road 40. Mains are located in the sidewalk and street areas shown to be demolished.
 - b. The existing sanitary service stub out shown to remain appears to connect to the existing manhole. This connection is not shown on our record drawings. Field verify that this connection exists.
 - c. Three meters and backflow preventers are where the proposed driveway is shown are identified to be removed. Add to the note that the service lines will need to be removed back to the existing corporation stops on the existing 16-inch PVC water main.
 - d. The note requiring the grease trap to be removed needs to indicate that the existing sanitary service line will need to be removed to the property line and plugged at that location.
 - e. The existing water service and backflow preventers on the north side of the site are shown to remain. Sheet 13 shows that only one of these backflow preventers will be used. Identify the other backflow preventer

as being removed. Also, add a note requiring the remaining backflow preventor to be recertified prior to occupancy.

34. Sheet 10 – Paving and Drainage Plan

- a. Change structure S-6 invert from E to W

35. Sheet 13 – Utility Plan

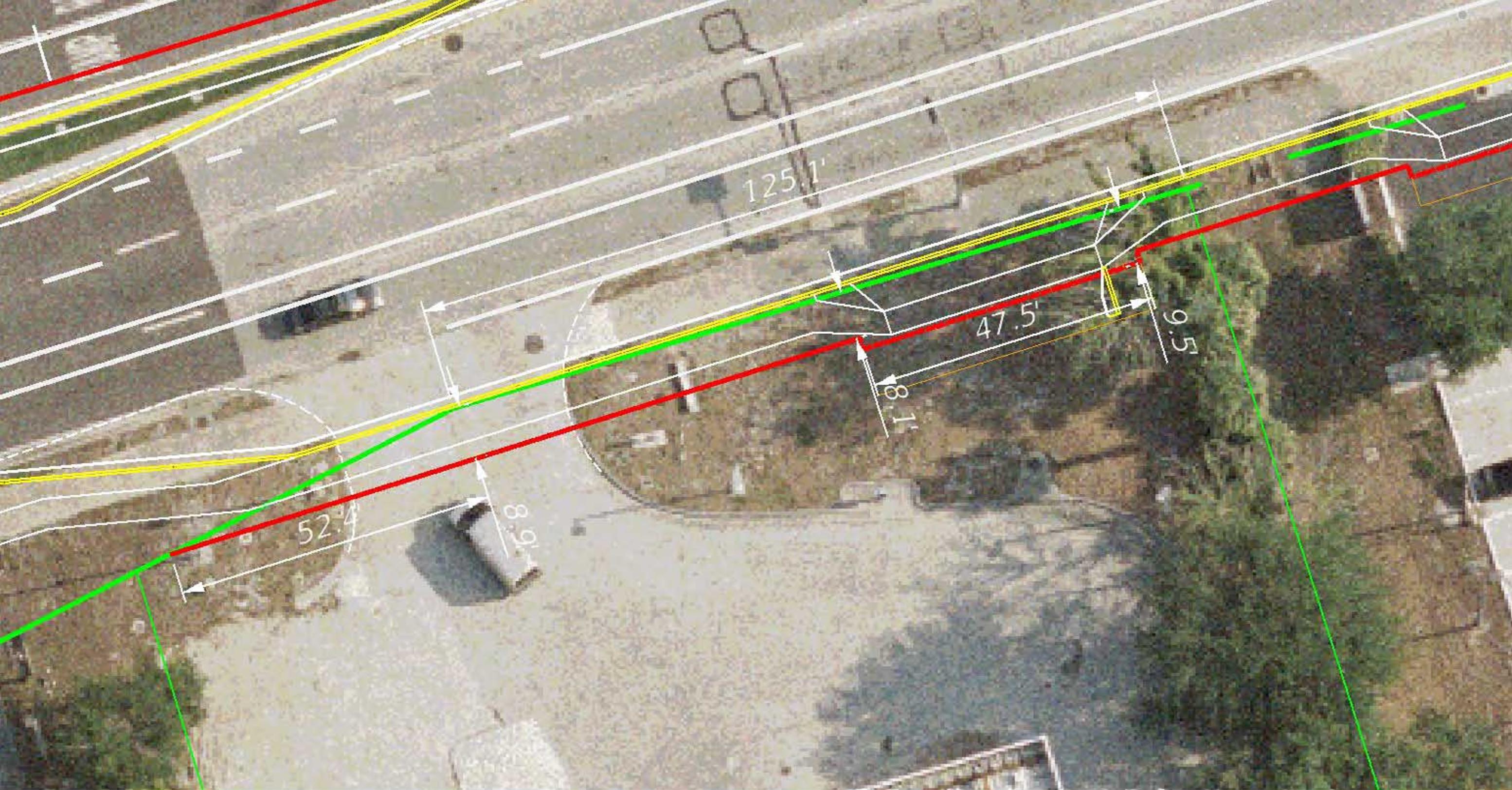
- a. Show existing 24-inch DIP Raw Water Main and the 16-inch PVC Water Main along State Road 40. Mains are located in the sidewalk and street areas shown to be demolished.
- b. The valve shown on the 16-inch line is actually on a 10-inch DIP water main that connects to the 16-inch PVC water main.
- c. Only one of the backflow preventers is proposed to be used. Identify the other backflow preventer as being removed. Also, add a note requiring the remaining backflow preventor to be recertified prior to occupancy.
- d. A minimum slope of 1.0 % is required for the 6-inch sanitary sewer service lateral. Using this slope will require that the northernmost clean out invert elevation be changed to 20.76. Three meters and backflow preventers are where the proposed driveway is shown. These items and the service lines will need to be removed back to the existing corporation stops on the existing 16-inch PVC water main.
- e. The existing sanitary service stub out shown to remain appears to connect to the existing manhole. This connection is not shown on our record drawings. Field verify that this connection exists or modify the connection accordingly.

36. Sheet 14 – Water and Sewer Details.

- a. Add the following details:
 1. Gate Valve and Valve Box – Index W-2
 2. Water Lateral Service – Index W-3
 3. Fire Hydrant Assembly – Index W-8
 4. Pipe Installation – Index M-9
 5. Utility Pipe Location Materials – Index M-10
 6. Pavement Cut and Patch – Index R-8

37. Sheet LC-01 – Landscape Plan: Relocate Jasmine away from water meter and backflow assembly.

38. Sheet IR-01 –Irrigation Plan: Backflow preventer needs to be RPZ if the irrigation system is connected to potable water.



125.1'

52.4'

8.9'

8.1'

47.5'

9.5'

Exhibit C

Applicant Letter

William M. Cobb
(1881-1939)
Thomas T. Cobb
(1916-2004)
W. Warren Cole, Jr.
(1926-2008)

Harold C. Hubka
Thomas S. Hart
Scott W. Cichon
Robert A. Merrell III
Bruce A. Hanna
John P. Ferguson
Rhoda Bess Goodson
Thomas J. Leck
Mark A. Watts
Heather Bond Vargas



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January 15, 2013

Robert Taylor Bowling
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Kelly Parsons Kwiatek
Michael J. Woods
Maja Sander Bowler
Katherine Hurst Miller
Michael O. Sznajstajler
Melissa B. Murphy

OF COUNSEL
C. Allen Watts
Larry D. Marsh

RETIRED
Jay D. Bond, Jr.

VIA HAND DELIVERY

Steven Spraker
Senior Planner
City of Ormond Beach
22 S. Beach Street
Ormond Beach, FL 32174

Re: Sunoco, Inc.
Planned Business District Rezoning
Project No. 13-02
1546 W. Granada Boulevard, Ormond Beach, FL – including Waivers / Public
Benefits

Dear Steven:

It is this Firm's pleasure to represent Sunoco, Inc. (Sunoco) and C&R General Contractors, Inc. in connection with their request for Planned Business District (PBD) Rezoning of the property located at 1546 W. Granada Boulevard (the Property). Sunoco recently purchased the Property, a former Shell service station/convenience store and Waffle House restaurant, and intends to redevelop the Property with a modern convenience store facility, including gas pumps. As depicted on the attached architectural renderings, Sunoco intends to redevelop this site with a facility worthy of being at a major intersection in the gateway to the City of Ormond Beach.

We recognize the importance of the design standards contained in the City's Land Development Code for projects along Granada Boulevard in this vicinity, and have made what we believe to be every commercially reasonable effort to incorporate a project consistent with these code requirements. We will bring forward several innovative design and construction concepts in the redevelopment of this site, which we believe the City will recognize as a significant addition to the Property.

The Property has certain constraints and conditions that prevent its redevelopment from complying with the letter of certain code requirements. However, we believe the project complies in each respect with the intent and purpose of those requirements, and contains significant public benefits as an offset. Certain aspects of the Property and the project are noteworthy in this regard:

Steven Spraker
January 15, 2013
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- 1) Landscape/Buffers - A significant taking along the I-95 and Granada Boulevard rights-of-way created a reduced area at the Property for landscape buffer and setbacks between these rights-of-way and an internal driveway existing on the site, which is memorialized in a permanent easement (see attached - recorded at OR Book 3938 Pages 4031-4041). The west and north landscape buffers require waivers as detailed as follows:
- a. The west landscape buffer requires 60'. We have provided 23'. However, there is an existing access easement that runs through said buffer.
 - b. The north buffer requirement is 25'. We have provided 20'. However, this is due to past takings by the Florida Department of Transportation (FDOT).

Despite the interruption in the landscape areas created by this right-of-way taking and its proximity to the internal roadway, we were able to include more than the required landscape area when both sides of the internal roadway are taken into account (see the attached Landscape Plans prepared by England Thims and Miller). Anticipating future right-of-way takings by FDOT along Granada Boulevard, we have located the landscape plantings out of those areas and condensed them accordingly. Finally, we have provided more landscaping in terms of the number of plantings and more than a twenty five percent (25%) increase in tree caliper, which is also shown on the Landscape Plans and detailed as follows:

- a. Upsized the 30 East Palatka Holly, 12 Live Oak within the property from 2.5" to 4" caliper trees. There are two Live Oaks located in the island which we did not count as upgrades. These are part of additional trees we will plant on the east side of the existing access road and increased the required trees from 32 to 46;
 - b. Increased shrubs from the required 309 to 529, and increased the groundcovers from the required 309 to 350;
 - c. Preserved 46 existing palm trees that have a total 454 caliper inches; and
 - d. Increased the minimum landscape area from 15,012 sq. ft. to 35,530 sq. ft.
- 2) Signage/Architecture - We have provided tasteful and well proportioned signage throughout the proposed project, which we also believe to be consistent with the intent and purpose of the City's sign regulations. The Sunoco signage on the fueling canopy, which is otherwise discouraged by the code, is modest in size and is offset by the significant architectural elements incorporated into the canopy and the building. These architectural elements include the standing seam metal roof and design elements like stonework on the building and sign base and supporting columns on the canopy, as outlined in the attached letter from the project architect Mark Metzgar. We believe these

Steven Spraker
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enhancements to the canopy, signage and the building provide a significant public benefit that justifies the minor code waiver. Mr. Metzgar's letter also addresses compliance with the city's architectural standards and the public benefit of the architectural elements, which were not required by code.

The standard, colorful prototypical "horizon" signage found on the canopy in most of Sunoco's other locations was replaced with a solid blue color to make it more subdued. This represents a substantial concession by Sunoco, which removes an important part of its corporate branding and the ability to attract customers to the Property based on branding recognition. We hope this revision is weighted heavily in the balance of PBD public benefit versus literal code compliance. Below are details regarding signage on the site:

Monument Sign - Allowed Area Size: Section 3-47, 3.b., allows two (2) signs on a corner double front lot. Sign area not to exceed 150% allowable principal frontage. 1546 W. Granada Boulevard frontage is 384 feet; allowing 64 sq. ft. Sunoco is proposing one monument sign at the location, 54 sq. ft., which is within the allowed area size.

Monument Sign Landscaping: Section 3-47, 7 requires 216 sq. ft. of landscape area for a 10'8" wide sign. Sunoco will meet the landscape sign requirement.

Monument Sign - Allowed Height: Section 3-47, 2.a. and b., allow a 5 ft. high monument sign with an additional 2 feet in height for architectural embellishment and address. Sunoco is proposing to install an 8 ft. high monument sign, because the industry requires them to provide gasoline pricing to the motoring public and the additional one foot of height is needed to provide a direct line-of-sight between the pricing panels and the motoring public. This more direct visual connection affords the customer more time to react to seeing the sign and maneuver into the facility safely.

Sunoco is proposing to install a monument style sign that will be more aesthetically appealing to the community. The sign will also be integrated into substantial landscaping surrounding its base and will serve as a signal to the community that its corporate economy is vibrant in a visually attractive manner. Sunoco believes that due to their unique business and industry standards, relief from the monument sign height requirement would be a fair and non-intrusive request, benefitting the public with both safety and aesthetic improvements.

Building Wall Mounted Signs Allowed: Section 3-48, E.1.a. and b. The proposed building has 74 linear feet of frontage which allows 30 sq. ft. plus 0.5 x 44, or an additional 22 sq. ft., for a total of 52 sq. ft. of wall signs. As per Section 3-48, E.3.B., corner, double frontage allows 150% of the maximum size limit permitted. 52 x 1.5 allows for 78 sq. ft. One "A-plus" trademark sign identifying the Sunoco convenience store name brand for 72 sq. ft. is proposed. The square footage is allowed by Code for

Steven Spraker
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two wall signs on each frontage. Sunoco is requesting a waiver to allow one wall mounted sign on one frontage, instead of two as allowed by Code.

Sunoco is proposing to install a trademark Sunoco "A-plus" arch sign above the store entrance. The arched sign provides an integral focal point for the main façade of the building by being a clear indication of the structure's entrance and vestibule area, and at the same time providing identification as to the facility's purpose.

Canopy Signs - Allowed: Canopy signs are not permitted on the overhead gasoline canopy protecting customers from the elements.

Canopy Signs - Proposed: Sunoco is requesting a waiver to install two backlit "Sunoco" canopy signs, one facing W. Granada Boulevard, the other facing Interstate 95. Each sign measures 1'9" by 11'9" or 20.5 sq. ft.

The primary purpose of the canopy signs is to identify the facility to the motoring public. Visibility of the canopy signs is a safety enhancement to the motoring public in a similar manner to the monument sign, in that the greater distance at which the sign is visible and recognizable, the more time the motorist has to maneuver through traffic and to the facility safely. The signs also enhance the appearance of the site, as they are an integral part of the facility's identifiable purpose and branding. The primary building is designed in coordination with the canopy, including the tasteful Sunoco color scheme. These signs are a part of the complete package that allows a Sunoco facility to operate at optimum levels to serve the public.

Canopy Size: Due to the location of this site, at a major highway interchange, the redevelopment of the convenience store with a modern facility warrants eight fueling stations (dispensers). This number of fueling stations requires a covered canopy that is slightly larger than the Code requirement of no more than 125% of the square footage of the principal building in order to keep customers out of the elements. In this case, instead of making the convenience store larger to allow the larger canopy, we have provided additional green space on the site in order to enhance the aesthetics of the project from the view of the traveling public at this very visible location. Please note that an older convenience store with gas pumps (Shell station) *and* a restaurant (Waffle House) were removed to facilitate this redevelopment, which provides the opportunity to create more open green space and reduce overall building coverage.

Interstate Sign: Sunoco intends to simply reface the existing interstate high rise sign at the corner of Interstate 95 and West Granada Boulevard.

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- 3) Other "Public Benefits" - The landscape and architectural improvements outlined above are consistent with several of the "public benefit" requirements of the code for Planned Business Developments (Article II Section 2-36(H)(3)). The redevelopment of this blighted site into a modern convenience store facility with fueling opportunities is a public benefit. This redevelopment will serve a public purpose in terms of the convenience for our important tourist population as well as our local residents.

* * * * *

In connection with this request, we provided the following documentation to you as our "conceptual" application on October 3, 2012:

1. Public Hearing Application;
2. Application fee in the amount of \$3,400.00;
3. Site Plan Review Application;
4. Special Warranty Deed;
5. Property Appraiser Information Card;
6. Survey;
7. Site Plan (24" x 36"; 11" x 17"; and 8 1/2" x 11"); and
8. Architectural Elevations/Floor Plans/Exterior Perspectives.

Enclosed with this letter are the revised PBD rezoning documents, as well as the official site plan submittal from England-Thims & Miller, Inc. Responses to your SPRC request for additional information dated October 17, 2012, in response to the concept plan submittal are enclosed from Cobb Cole, England-Thims & Miller, Inc., and Cornerstone, Inc.

Steven Spraker
January 15, 2013
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We look forward to working with you and your staff on this project. It is our understanding that this matter will be scheduled for the Planning Board at its February 14, 2013 meeting. We look forward to receiving staff comments as early as they are available. If you have any questions regarding this request, please do not hesitate to contact me.

Sincerely,



Michael O. Szapostal

For **Robert A. Merrell III**

Direct Dial (386) 323-9263
Email Rob.Merrell@CobbCole.com
Fax (386) 944-7955

RAM:ddl

Enclosures

cc: Mr. Clayton McCane
Mr. Rolando Bethart
Mr. Peter Ma
Mr. Bill Norris



Cornerstone Consulting

Engineers & Architectural, Inc.

213 West Main Street . Lansdale, PA. 19446
Tel 215.362.2600 ♦ Fax 215.362.8400

1176 N. Irving Street . Allentown, PA. 18109
Tel 610.820.8200 ♦ Fax 610.820.3706

505 Tennis Club Circle . Lakeville, PA. 18438
Tel 570.839.1770 ♦ Fax 610.820.3706

Florida License #: FO7000000627

7 December 2012

VIA: Hand Delivery

City of Ormond Beach
22 S. Beach Street
Ormond Beach, FL 32174

Attn: Mr. Steven Spraker, Sr. Planner

RE: Proposed Sunoco A-Plus Facility
1546 W. Granada
Ormond Beach, FL

Dear Mr. Spraker:

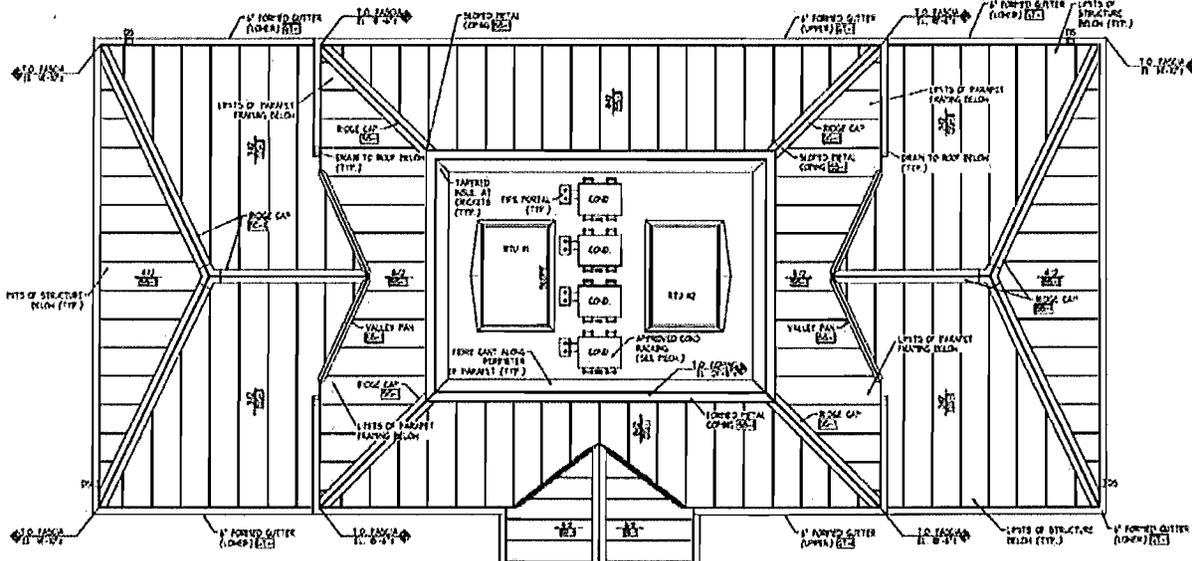
Our office is in receipt of your October 17th, 2012, SPRC meeting notes concerning your review of the initial submission documents. Based on the items discussed, our office has been requested to address the specific comments relating to "Architectural Standards - Building" (section 7), therefore we respectfully submit the following commentaries for your consideration.

General Statement:

The intent of the building design as originally presented was to capture the essence of the Florida Cracker design elements while lending to a more modernistic appeal and sustainable construction as defined in your previous ordinance as Contemporary Florida Cracker. However, in a review of the recently revised ordinance it is our opinion that current presentation lends to a Neo Eclectic classification as defined in §3-69.G of the adopted ordinance.

Staff is concerned with the parapet roof proposed rather than meeting the roofing requirements of the Florida Cracker style...Please review the type of 8:12 roof pitches that have been permitted which have a much greater slope and use dormers as architectural accents.

- As required in §3-69.G.1.d.1, the parapet serves to surround the flat portion of the building's roof, camouflaging the roof-mounted equipment necessary for the operation of the facility, as shown in the following roof plan and elevation:



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In reviewing the architectural standards versus what has been submitted, staff concludes that the proposed design does not comply with the Florida Cracker or Neo Eclectic style.

- In referencing the Neo Eclectic style requirements, it is our opinion that the alterations incorporated in the current submission meet the requirements of the Neo Eclectic Style defined in §3-69 of the adopted ordinance based on the following design criteria:
 1. §3-69.G.1.a. Massing – Overall, the proposed building provides for two of the listed examples at less than 25ft intervals (building wall offsets and variations in roof height). Each façade has been provided with at least one of those two features.
 2. §3-69.G.1.b. Exterior Finish Materials – The exterior utilizes stone, split-face concrete block, EIFS (stucco finish), and a standing-seam roof.
 3. §3-69.G.1.c. Doors/Entrance – The entrance is accented visually by the projecting vestibule/porch element and its arched identification signage. Glazing and shading are also provided elements.
 4. §3-69.G.1.d. Roof Design & Materials – The roof slopes have been revised to incorporate varying slopes and planes, along with the incorporation of a central gable element . Additionally the roof is specified as a standing-seam assembly in both a traditional and Mansard/parapet fusion to maintain the building's aesthetic cohesion (*please refer to comment and response above*).
 5. §3-69.G.1.e. Windows – Glazing has been provided corresponding to the main façade facing onto Rockefeller Drive. Due to the proposed building's small footprint and limited interior space, specifying glazing for the façade facing Atlantic Avenue would upset the balance of the general massing and not have any function relating to the use of the facility. Furthermore the site design allows for screening of the Eastern elevation through the use of landscaping, which effectively breaks up the visible features of the facade.
 6. §3-69.G.1.f. Colors – The proposed exterior finishes maintain a light color across the various materials, with a natural stone kneewall. The red accent fixtures and wall band are the exceptions, as they serve to unify the owner's identity with the overall building design and do not exceed 20% of the building surface area.
 7. §3-69.G.1.g.1. Details – The building's façades integrate subtle color changes and materials providing a variation in tactile and visual textures, while the accent band and varied roofline lend to an expression of the building's interior spaces. Additionally, the placement of the vestibule projection provides a functional and focal projection which ties the aforementioned features together.
 8. §3-69.G.1.g.2. Details – In the vertical dimension, the building uses material variation and varied roof slopes to create visual interest in the building's overall massing. Horizontally, the building employs the vestibule projection as defined previously which anchors the repeating accent lights along the perimeter of the facility.

The building lacks four-sided architecture. The south elevation...is a blank façade, which staff does not support.

- The documentation provided with the current submission has been amended to continue the architectural finishes and features to all four sides of the proposed structure as defined previously under the §3-69.G.1.g.2. *Details*. support commentary.

The illuminated placard (sign) is not permitted. The area where the placard is to be removed needs additional architectural treatment.

- The documentation provided with the current submission has been amended to eliminate the placard sign and incorporate a recessed niche in the masonry between the fascia treatments and stone kneewall.

Staff does not see anything that would emulate a front porch.

- The front façade of the building is accented with a vestibule projection at the main entrance point. This enclosed projection emulates the appearance and function of traditional porches, as it invites patrons to the entrance point of the building, and serves as an architectural transition between interior and exterior. The vestibule area is also separate from the main sales floor, and can be used as a temporary shelter from inclement weather, by patrons and/or passersby.

Please verify there is a single banding stripe. The LDC prohibits stripes and geometric patterns.

- The design proposes a single colored accent band.

It is our opinion that the proposed building design not only fulfills, but exceeds the requirements and spirit of the ordinance by providing the City of Ormond Beach with much more than a mere convenience store and refueling station. The aesthetic appeal of the building structure, in combination with the decorative site landscaping, will serve as a community hub that offers a visual cue of the vibrance and prosperity of City while simultaneously providing the practical functions of 24 hour restroom services and as a shelter from inclement weather.

Should you have any questions or concerns regarding the information contained within this correspondence, please feel free to contact our office directly.

Sincerely,
*Cornersone Consulting
Engineers & Architectural, Inc*



Mark W. Metzgar, Principal

cc: *Bill Norris - L&R Construct.*
Clayton McCane- Sunoco
Peter Ma- ETM
Robert Merrell, esq.

MEMORANDUM

TO: Lon Craig

FROM: Jeffrey Crammond, PE, PTOE, PTP
Jeffrey Crammond 11-9-2012

RE: Sunoco Station 0460-2629 – 1546 W. Granada Boulevard, Ormond Beach

DATE: November 6, 2012

As per your direction, I have reviewed the potential impacts of the redevelopment of the property at 1546 & 1566 W. Granada Boulevard (SR-40) located in the southeast quadrant of the Interstate 95/W. Granada Boulevard (SR-40) interchange, in Ormond Beach. The property at 1546, is currently operating as a service station/convenience store with 8 fueling positions. The parcel at 1566 W. Granada is the site of a building that housed a Waffle House Restaurant and some office space. An estimate of the daily and afternoon peak traffic volumes using the trip rates contained in the 8th edition of the Institute of Transportation Engineers **Trip Generation Manual**, associated with the existing facility were calculated based on Land Use Codes (LUC) 710 – General Office, 932 – High-Turnover (Sit-Down Restaurant and 945 - Gasoline/Service Station with Convenience Market. Attached is a copy of the Volusia County Property Appraiser's on-line records, a survey of the existing service station and the proposed site plan. Below are the calculations of both daily and pm peak hour traffic associated with the existing facility.

Daily Trips:

LUC 710, 3,381 sf	$11.01 \times 3.381 =$	37 vpd
LUC 932, 2,072 sf	$127.15 \times 2.072 =$	263 vpd
LUC 945, 8 fueling positions	$162.78 \times 8 =$	<u>1,302 vpd</u>
Total		1,602 vpd

PM Peak Hour Trips:

			%	New
			New	Trips
LUC 710, 3,381 sf	$1.49 \times 3.381 =$	5 vph	100%	5 vph
LUC 932, 2,072 sf	$11.15 \times 2.072 =$	13 vph	57%	13 vph
LUC 945, 8 fueling positions	$13.38 \times 8 =$	<u>107 vph</u>	62%	<u>66 vph</u>
Total		135 vph		84 vph

The proposed development will consist of a service station/convenience store with 16 fueling positions. An estimate of the daily and afternoon peak traffic volumes for the proposed development are also calculated below based on LUC 945 - Gasoline/Service Station with Convenience Market.

Daily Trips:

LUC 945, 16 fueling positions, $162.78 \times 16 = 2,604$ vpd

PM Peak Hour Trips:

		% New	New Trips
LUC 945, 16 fueling positions,	$13.38 \times 16 = 214$ vph	62%	133 vph

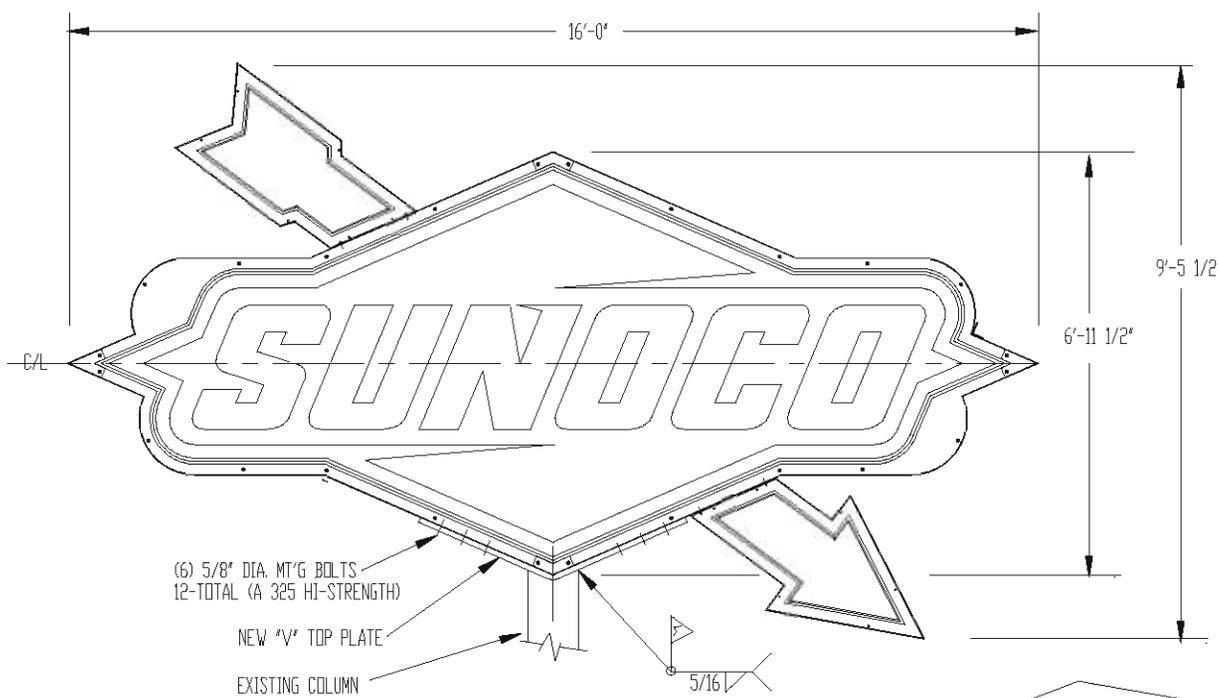
As shown the proposed redevelopment of the two parcels will increase the gross daily traffic by 1,002 vpd and the net new afternoon peak hour trips by 65 vph. The Level of Service Report published by the Florida Department of Transportation indicates that this section of SR40 carries 36,000 vpd with an adjusted maximum service volume of 38,540 vph. Based on this there is sufficient capacity to accommodate this development and the increase in gross daily traffic is less than 3% of the carrying capacity of the facility. During the afternoon peak hour the maximum service volume is 3,560 vph for this section of SR40. The net new traffic resulting from the re-development of this property is less than 2% of the maximum service volume of the roadway and therefore is not expected to significantly alter the operating conditions on the facility.

Based on this, the redevelopment of the site as proposed will not have a significant impact (less than one percent) on either of the adjacent facilities. In addition, both facilities are currently operating at an acceptable level of service and will continue to do so after the redevelopment of this site. If you have any additional questions regarding this analysis or require more information, please advise.

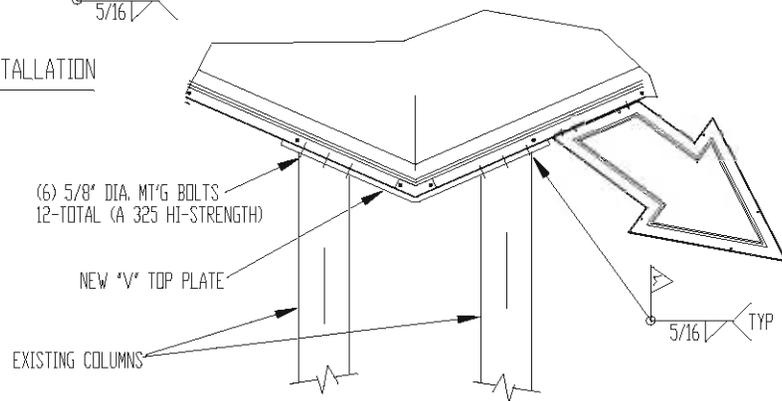
Exhibit D

Site Plans

REQUESTED INTERSTATE SIGNAGE



SINGLE COLUMN INSTALLATION



TWIN COLUMN INSTALLATION

- INSTALLER INSTRUCTIONS:**
1. REMOVE AND SCRAP EXISTING SIGN AND TOP PLATE.
 2. INSTALL NEW "V" SHAPED TOP PLATE PROVIDED BY EVERBRITE, AND BOLT NEW SIGN TO TOP PLATE.
 3. MAKE FINAL ELECTRICAL HOOK UP TO PRIMARY (ALL ELECTRICAL TO MEET LOCAL CODES.)
 4. NOTE: TOUCH UP POLE W/ SHERWYN WILLIAMS ACRYLON II SEMI GLOSS SUNOCO GRAY (B65AB54) I.D. SIGN OR AS SOON AS WEATHER PERMITS.
 5. TEST LIGHT SIGN AND TOUCH UP SIGN DRUM AS NEEDED.
 6. REMOVE LIFTING BRACKETS AND REINSTALL BOLTS.
 7. CLEAN UP AREA AND REMOVE ANY PACKING MAT'L.

ELECTRICAL DATA:
 LAMPS : (4) 150 WATT SYLVANIA I.C.E. (DIAMOND)
 LAMPS : (2) 100 WATT SYLVANIA I.C./E.(ARROW)
 BALLAST: (4) FOR 150 WATT LAMP
 BALLAST: (2) FOR 150 WATT LAMP

LINELOAD: 11.0 AMPS
 (20 AMP 120 VOLT CIRCUIT)
 LUMENS: TAIL = 8000, TIP = 8000, DIAMOND = 48000.
 LUMENS PER SQ. FT. TAIL=1600, TIP= 1650, = DIAMOND= 774
 AREA IN SQ. FT. 72 TOTAL

A	RELEASE TO INSTALL.	DATE	CHG	ECN
SYM	DESCRIPTION			

REVISION RECORD

TITLE: SUNOCO 16'-0" DIAMOND C/P MTG ON EXIST'G PO-FIELD				
DRN HED	DT	9-25-00	SCALE	DRWG NR
CKD	DT		1:24	IN-00836B
				REV A

LEGAL DESCRIPTION #1

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 32 EAST, VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 FOR A POINT OF REFERENCE, COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 40 (TOMOKA ROAD), A VARIABLE WIDTH RIGHT OF WAY AS PRESENTLY ESTABLISHED, WITH THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 95, A 480 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE NORTH 62° 29' 08" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID STATE ROAD 40, 186.50 FEET TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING THUS DESCRIBED, THENCE NORTH 62° 29' 08" EAST, CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 78.41 FEET TO THE SOUTHERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION AND REFERRED TO AS PARCEL 100 RECORDED IN OFFICIAL RECORDS BOOK 3698, PAGE 1892, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 73° 02' 40" EAST, ALONG THE SOUTHERLY LINE OF SAID PARCEL 100 AND ALONG THE SOUTHERLY RIGHT OF WAY LINE OF THE AFORESAID STATE ROAD NO. 40, AS NOW ESTABLISHED, A DISTANCE OF 123.45 FEET TO A POINT LYING IN THE WESTERLY LINE OF LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 2775, PAGE 382, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 16° 53' 26" EAST, DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE AND ALONG THE WESTERLY LINE OF SAID LANDS, 188.22 FEET TO THE SOUTHWEST CORNER OF SAID LANDS, SAID POINT ALSO LYING ON THE NORTHERLY LINE OF THE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3295, PAGE 1844, OF SAID PUBLIC RECORDS; THENCE SOUTH 65° 38' 22" WEST, ALONG SAID NORTHERLY LINE, 200.04 FEET TO THE SOUTHEAST CORNER OF THE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3208, PAGE 328 (PARCEL 3A), OF SAID PUBLIC RECORDS; THENCE NORTH 16° 57' 04" WEST, ALONG THE EAST LINE OF SAID LANDS, 200.00 FEET, RETURNING TO SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 40, AND THE POINT OF BEGINNING.

LEGAL DESCRIPTION #2

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 32 EAST, VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: AS A POINT OF REFERENCE, COMMENCE AT A CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 30; THENCE RUN NORTH 89°30'22" EAST, ALONG THE SOUTH LINE OF SAID SECTION 30, A DISTANCE OF 811.86 FEET TO A N INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF THE 300-FOOT WIDE LIMITED ACCESS RIGHT-OF-WAY OF U.S. HIGHWAY I-95; THENCE RUN NORTH 16°58'25" WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY I-95, A DISTANCE OF 506.37 FEET TO A POINT THEREIN, SAID POINT BEING THE NORTHWESTERLY CORNER OF THAT CERTAIN PARCEL OF LAND DEEDED FROM CONSOLIDATED-TOMOKA LAND COMPANY TO RICHARD HALL JR., IN WARRANTY DEED DATED JULY 8, 1983, RECORDED IN OFFICIAL RECORDS BOOK 2467, PAGE 666, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE CONTINUE NORTH 16°58'25" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY I-95, A DISTANCE OF 155.00 FEET, THENCE RUN NORTH 05°46'11" WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 508.04 FEET; THENCE RUN NORTH 16°39'54" WEST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 288.63 FEET TO A POINT THEREIN, SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE ALONG SAID LIMITED ACCESS RIGHT-OF-WAY NORTH 16°50'01" WEST A DISTANCE OF 189.53 FEET; THENCE CONTINUE ALONG SAID LIMITED ACCESS RIGHT-OF-WAY, NORTH 62°28'20" EAST, A DISTANCE OF 186.68 FEET TO THE NORTHWESTERLY CORNER OF THAT PARCEL OF LAND DEEDED FROM CONSOLIDATED-TOMOKA LAND COMPANY TO S.P. OR COMPANY IN WARRANTY DEED DATED DECEMBER 26, 1991, RECORDED IN OFFICIAL RECORDS BOOK 3716, PAGE 4975, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE, DEPARTING THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF U.S. HIGHWAY I-95 AND ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND, RUN SOUTH 16° 50'31" EAST A DISTANCE OF 200.12 FEET TO THE SOUTHWESTERLY CORNER THEREOF; THENCE RUN SOUTH 65° 40'33" WEST A DISTANCE OF 185.03 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID PARCEL CONTAINING 0.82 ACRES, MORE OR LESS, SAID PARCEL ALSO BEING SUBJECT TO ANY EASEMENTS OF RECORD.

LESS AND EXCEPT THAT PORTION DEEDED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION IN THE WARRANTY DEED DATED APRIL 15, 2002 IN OFFICIAL RECORDS BOOK 4851, PAGE 3308, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THAT CERTAIN ORMOND INTERCHANGE COMPLEX/STATE ROAD 40 OUTPARCEL DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS RECORDED JULY 28, 1994 IN OFFICIAL RECORDS BOOK 3938, PAGE 4031, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL, IF ANY, AS CONTAINED IN EASEMENT AGREEMENT BY AND BETWEEN STEAK 'N' SHAKE INC. AND ORMOND INTERCHANGE COMPLEX PROPERTY OWNERS ASSOCIATION INC., DATED NOVEMBER 8, 1994, RECORDED MARCH 16, 1995 IN OFFICIAL RECORDS BOOK 3990, PAGE 2291, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

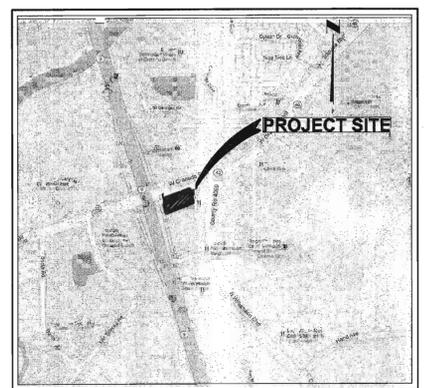
TOGETHER WITH THOSE EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL, IF ANY, AS CONTAINED IN EASEMENT AGREEMENT BY AND BETWEEN EXCHANGE ASSOCIATES, AND ORMOND INTERCHANGE COMPLEX PROPERTY OWNERS ASSOCIATION INC. DATED JANUARY 5, 1995, RECORDED MARCH 16, 1995 IN OFFICIAL RECORDS BOOK 3990, PAGE 2294, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THOSE EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL AS CONTAINED ON THE PLAT OF ORMOND INTERCHANGE COMPLEX, RECORDED IN PLAT BOOK 44, PAGE 142, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THOSE EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL AS CONTAINED ON THE PLAT OF REPLAT OF LOT #4, ORMOND INTERCHANGE COMPLEX, RECORDED IN PLAT BOOK 44, PAGE 189, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

PROJECT DESCRIPTION

REDEVELOPMENT OF EXISTING GAS STATION SITE TO PROVIDE A NEW SUNOCO GAS STATION WITH CONVENIENCE STORE AND 16 FUELING POSITIONS

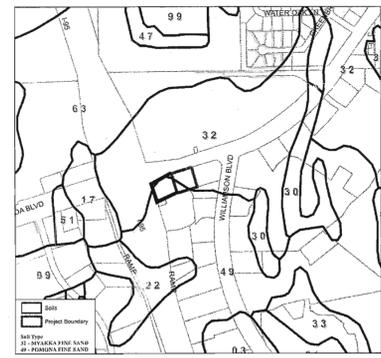


LOCATION MAP
N.T.S.

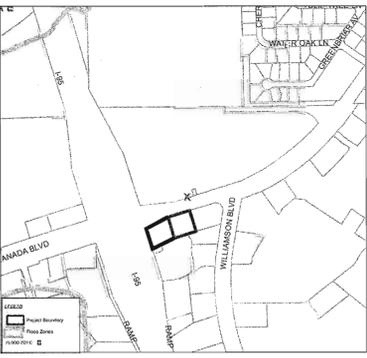
STORE NO. 0041-8012
(CITY PROJECT No: 13-02)
1546 W. GRANADA BLVD.
ORMOND BEACH
VOLUSIA COUNTY, FLORIDA
(TAX PARCEL I.D. # 30143200000420)
FOR
SUNOCO, INC.

10 INDUSTRIAL HIGHWAY, BUILDING G, HSG
 LESTER, PA 19029
 (610)-833-3598

DRAWING INDEX	
DRAWING NO.	DRAWING TITLE
1	COVER
2	GENERAL NOTES
3	ORMOND BEACH GENERAL NOTES
4	ORMOND BEACH WATER AND SEWER NOTES
5	DEMOLITION PLAN
6	MASTER SITE PLAN
7	SITE GEOMETRY PLAN
7A	ADA ACCESSIBILITY PLAN
8	PRE-DEVELOPMENT PLAN
9	POST DEVELOPMENT PLAN
10	PAVING AND DRAINAGE PLAN
11	PAVING AND DRAINAGE DETAILS
12	PAVING AND DRAINAGE DETAILS
13	UTILITY PLAN
14	WATER AND SEWER DETAILS
15	SEDIMENT AND EROSION CONTROL PLAN
16	SEDIMENT AND EROSION CONTROL DETAILS
17	STORMWATER POLLUTION PREVENTION PLAN
18	CONTRACTORS CERTIFICATION
19	NEIGHBORHOOD DRIVEWAY CONNECTION PLAN
MOT-1	MAINTENANCE OF TRAFFIC PLAN
MOT-2	MAINTENANCE OF TRAFFIC DETAILS
LC-01	LANDSCAPE PLAN
LC-02	LANDSCAPE DETAILS AND SPECIFICATIONS
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION DETAILS AND SPECIFICATIONS
	SUNOCO - APPENDICES
2-497	ELECTRICAL CONDUIT DETAILS
3-443	FUEL TANK DETAILS
4-500	EXTERIOR CONCRETE DETAILS
4-501	MISC. EXTERIOR CONCRETE DETAILS
4-508	ADA SITE WORK DETAILS
4-512	MASONRY TRASH ENCLOSURE DETAILS
4-515	STORAGE BUILDING DETAILS



SOILS MAP
N.T.S.



FLOOD MAP
N.T.S.

PROPERTY OWNER
SUNOCO, INC.
 CONTACT: CLAYTON McCANE
 clmccane@sunoco.com
 TEL: (610) 833-3598
 10 INDUSTRIAL HWY, BLDG. G
 LESTER, PA 19029

PROJECT MANAGER
ENGLAND-THIMS & MILLER, INC.
 CONTACT: PETER MA, P.E.;
 LIONEL J. PEREZ
 map@etm-inc.com; perezl@etm-inc.com
 TEL: (904) 642-8990
 FAX: (904) 646-9485
 14775 OLD ST. AUGUSTINE RD.
 JACKSONVILLE, FL 32258

LANDSCAPE ARCHITECT
ENGLAND-THIMS & MILLER, INC.
 CONTACT: RYAN CLARK, RLA
 clarkr@etm-inc.com
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AUTHORIZED AGENT
ENGLAND-THIMS & MILLER, INC.
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 TEL: (904) 642-8990
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PROJECT ENGINEER
ENGLAND-THIMS & MILLER, INC.
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 map@etm-inc.com
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 14775 OLD ST. AUGUSTINE RD.
 JACKSONVILLE, FL 32258

ARCHITECT
CORNERSTONE CONSULTING
ENGINEERS & ARCHITECTURAL, INC
 CONTACT: MARK METZGAR
 mmetzgar@cornerstonenet.com
 TEL: (610) 820-8200
 FAX: (641) 820-3706
 1176 N. IRVING STREET.
 ALLENTOWN, PA 18109



England-Thims & Miller, Inc.
 14775 Old St. Augustine Road
 Jacksonville, FL 32258
 TEL: (904) 642-8990
 FAX: (904) 646-9485
 CA - 00002584 LC - 0000316

PLAN APPROVAL IS SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS:

PLANS PREPARED UNDER THE DIRECTION OF:
 K.T. PETER MA, P.E.
 P.E. NUMBER: 46661
 PLOTTED: January 9, 2013 - 9:32 AM, BY: Cory Daugherty

REVISIONS:
 ETM NO. 11-159-01
 DRAWN BY: CWM
 DESIGNED BY: DMC
 CHECKED BY: PMA
 DATE: AUG. X, 2012

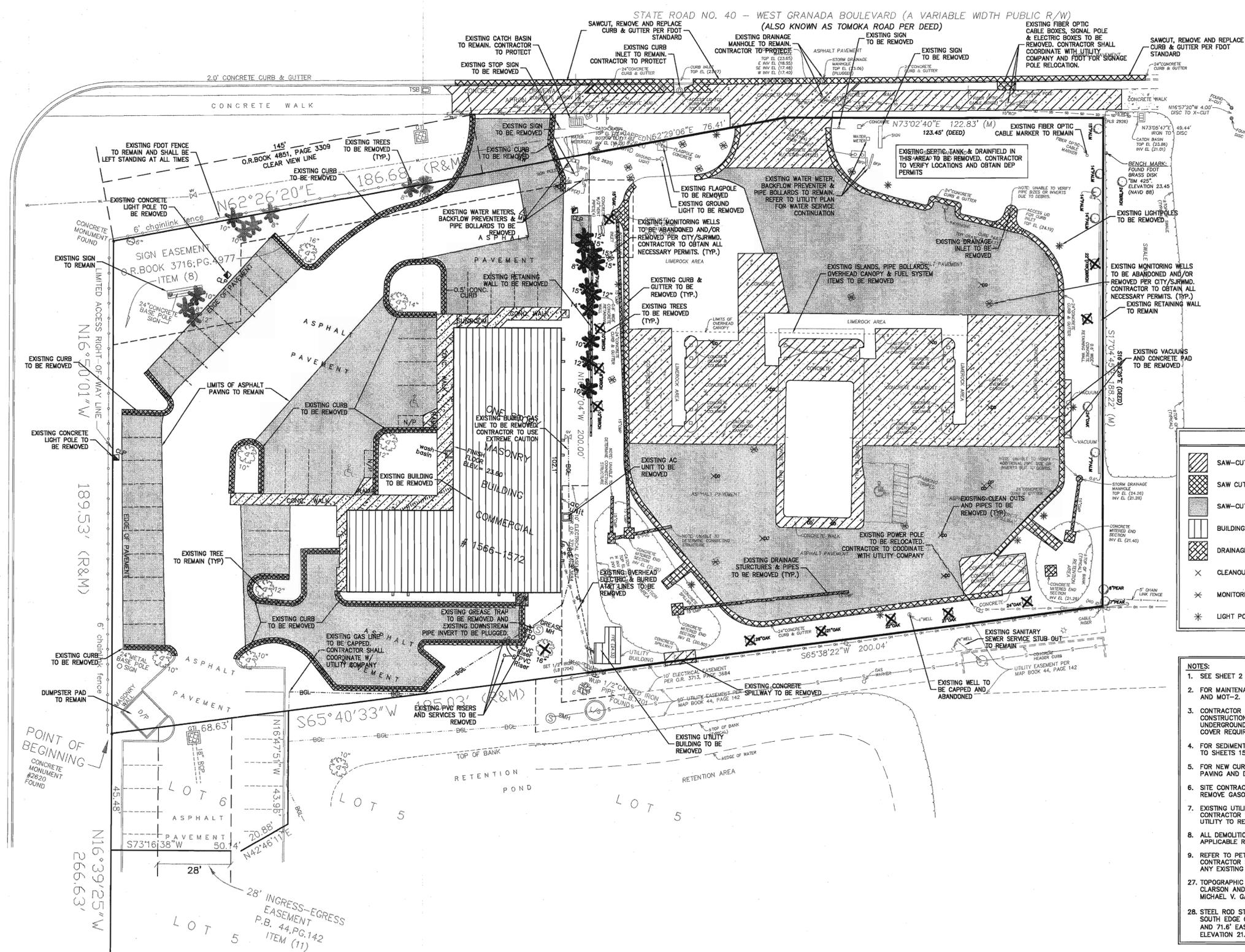
England-Thims & Miller, Inc.
 14775 Old St. Augustine Road
 Jacksonville, FL 32258
 TEL: (904) 642-8990
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 CA - 00002584 LC - 0000316

ETM
 VISION - EXPERIENCE - RESULTS

COVER
SUNOCO 0041-8012
1546 W. GRANADA BLVD
ORMOND BEACH, FLORIDA

DRAWING NUMBER
1

LIMITED ACCESS RIGHT-OF-WAY
 INTERSTATE NO. 95
 300' RIGHT-OF-WAY



LEGEND

[Hatched Pattern]	SAW-CUT AND REMOVE CONCRETE
[Cross-hatched Pattern]	SAW CUT, REMOVE CURB & GUTTER AND/OR CURB
[Diagonal Hatched Pattern]	SAW-CUT AND REMOVE ASPHALT PAVEMENT
[Solid Grey]	BUILDING TO BE REMOVED
[Diagonal Hatched Pattern]	DRAINAGE STRUCTURES & PIPES TO BE REMOVED
[X]	CLEANOUTS TO BE REMOVED
[*]	MONITORING WELLS TO BE REMOVED
[*]	LIGHT POLES TO BE REMOVED

- NOTES:**
- SEE SHEET 2 FOR GENERAL NOTES AND LEGEND.
 - FOR MAINTENANCE OF TRAFFIC PLAN, REFER TO SHEETS MOT-1 AND MOT-2.
 - CONTRACTOR SHALL USE EXTREME CAUTION WHILE PERFORMING CONSTRUCTION AROUND OVERHEAD POWER LINES AND EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS OVER EXISTING UNDERGROUND UTILITIES.
 - FOR SEDIMENT AND EROSION CONTROL DETAILS AND PLANS, REFER TO SHEETS 15 AND 16.
 - FOR NEW CURB AND SIDEWALK INFORMATION, SEE SITE PLAN AND PAVING AND DRAINAGE PLAN.
 - SITE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS TO REMOVE GASOLINE TANKS AND ALL OTHER RELATED EQUIPMENT.
 - EXISTING UTILITIES TO BE MAINTAINED UNLESS OTHERWISE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY UTILITY TO REMAIN.
 - ALL DEMOLITION AND DEBRIS DISPOSAL SHALL CONFORM TO ALL APPLICABLE REGULATIONS.
 - REFER TO PETROLEUM PLANS FOR MONITORING WELLS TO REMAIN. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR REMOVAL OF ANY EXISTING MONITORING WELLS.
 - TOPOGRAPHIC INFORMATION BASED ON SURVEY PROVIDED BY CLARSON AND ASSOCIATES, INC., DATED: DECEMBER 15, 2011 AND MICHAEL V. GATES LAND SURVEYING, DATED MARCH 12, 2012.
 - STEEL ROD STAMPED "NGS J623" LOCATED 135.6' SOUTH OF SOUTH EDGE OF PAVEMENT OF STATE ROAD 40 EASTBOUND LANES AND 71.6' EAST OF WILLIAMSON BOULEVARD CENTERLINE. ELEVATION 21.99 (NAVD 88).



PLANS PREPARED UNDER THE DIRECTION OF:

ETM
 VISION - EXPERIENCE - RESULTS

ENGLAND, THIMS & MILLER, INC.
 14775 Old St. Augustine Road
 Jacksonville, FL 32259
 TEL: (904) 642-8900
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 CA 00002854 LC 0000316

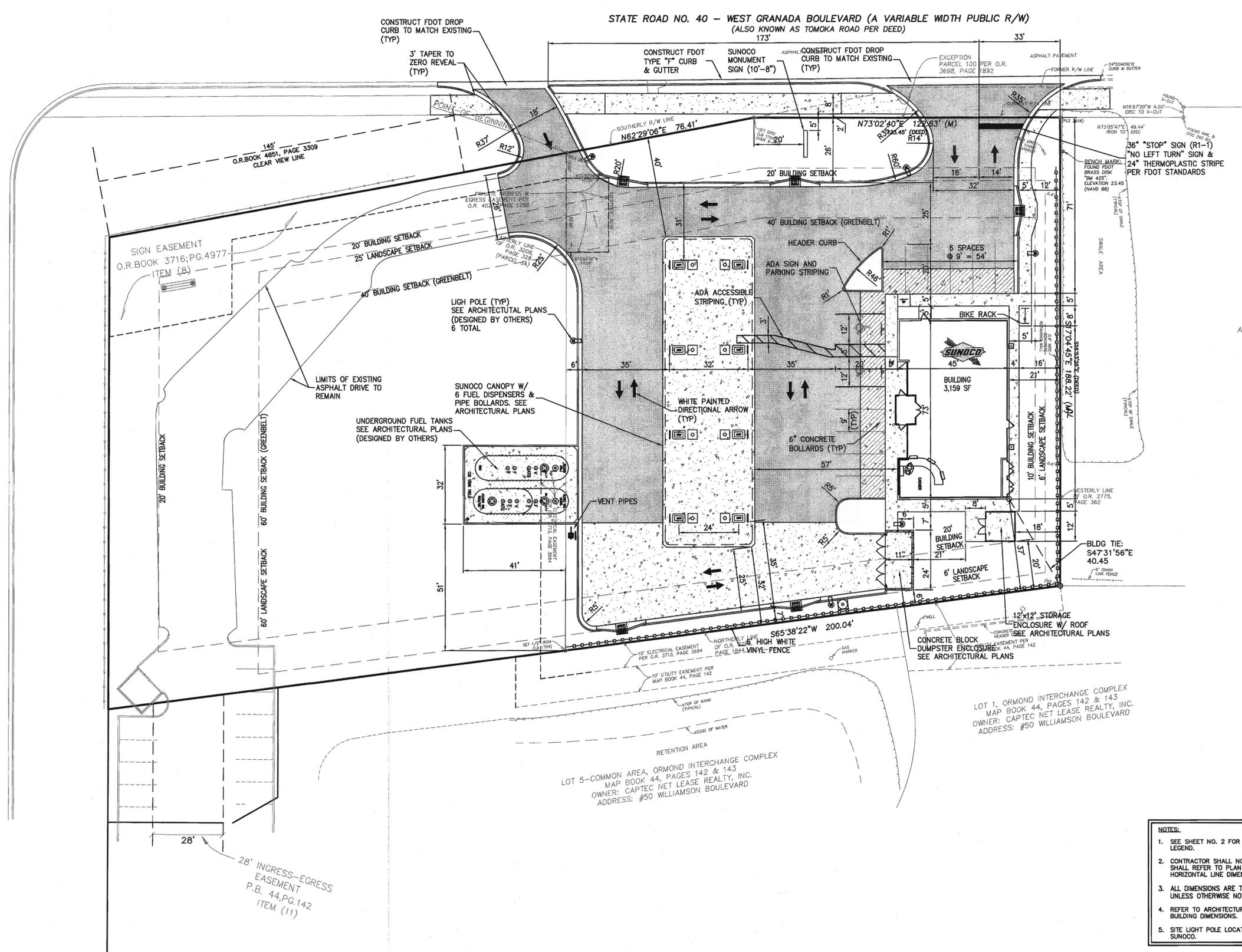
DEMOLITION PLAN
 SUNOCO 0041-8012
 1546 W. GRANADA BLVD
 ORMOND BEACH, FLORIDA

DRAWING NUMBER
5

REVISIONS:

ETM NO. 11-159-01	DRAWN BY: GWM
	DESIGNED BY: DMC
	CHECKED BY: PMA
	DATE: AUG. X, 2012

PLANS PREPARED UNDER THE DIRECTION OF:
 J. PETER MA, P.E.
 P.E. NUMBER: 46661
 PLOTTED: January 9, 2013 - 1:14 PM, BY: Lionel Perez



- NOTES:**
- SEE SHEET NO. 2 FOR GENERAL SITE NOTES AND LEGEND.
 - CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAN DIMENSIONS FOR ALL HORIZONTAL LINE DIMENSIONS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - SITE LIGHT POLE LOCATIONS PROVIDED BY SUNOCO.

PLANS PREPARED UNDER THE DIRECTION OF:
K.T. PETER MA, P.E.
P.E. NUMBER: 46661

REVISIONS:

ETM NO. 11-159-01	DRAWN BY: GWM	DESIGNED BY: DNC	CHECKED BY: PMA	DATE: AUG X, 2012
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England, Thims & Miller, Inc.
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FAX: (904) 842-9485
CA: 00003564 LC: 0000316

ETM
VISION • EXPERIENCE • RESULTS

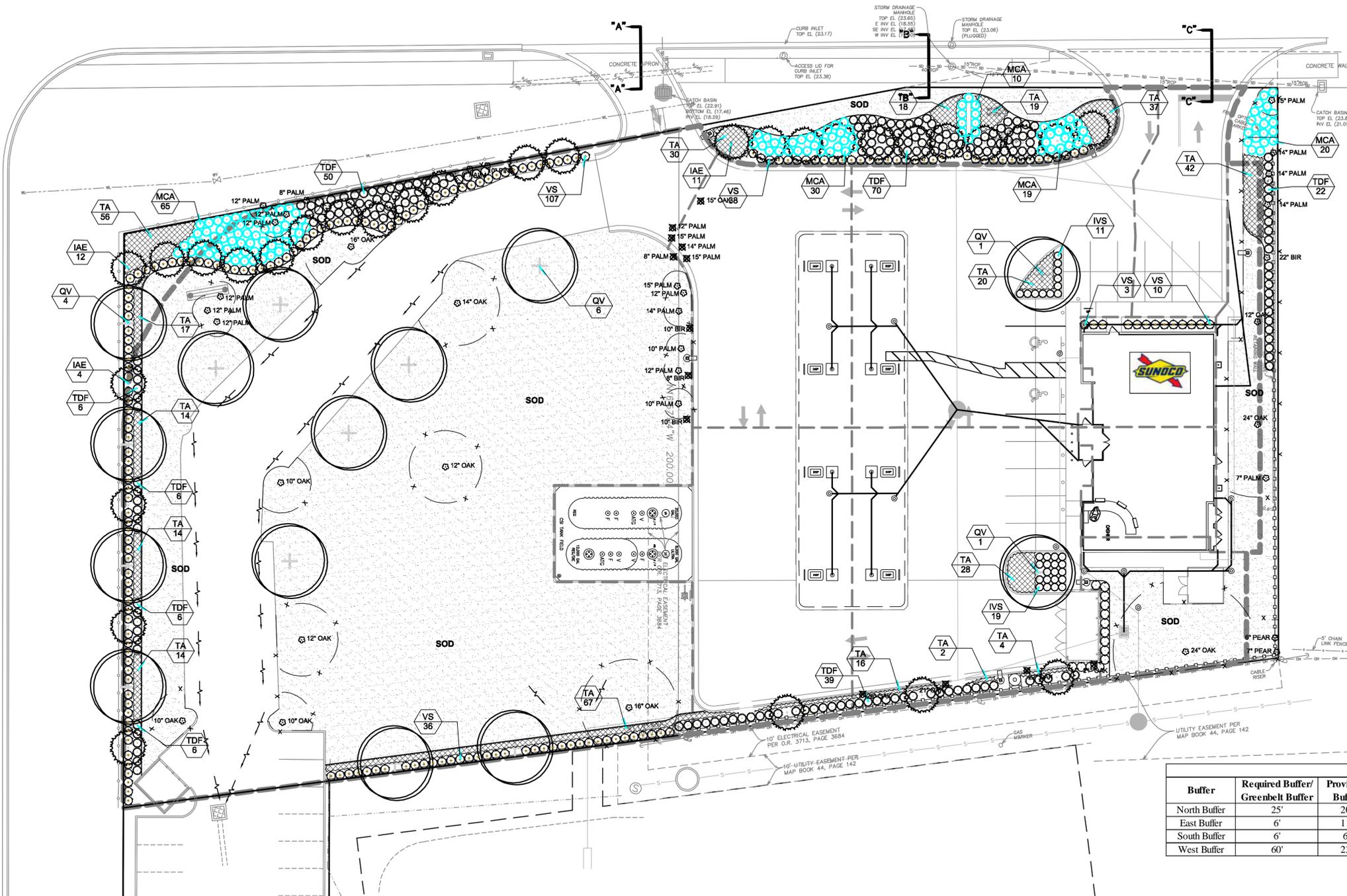
SITE GEOMETRY PLAN

SUNOCO 0041-8012
1546 W. GRANADA BLVD
ORMOND BEACH, FLORIDA

DRAWING NUMBER
7

PLotted: January 9, 2013 - 9:32 AM, BY: Cory Daugherty

STATE ROAD NO. 40 – WEST GRANADA BOULEVARD (A VARIABLE WIDTH PUBLIC R/W)
(ALSO KNOWN AS TOMOKA ROAD PER DEED)



TREE MITIGATION FOR PRESERVED TREES		
SPECIES COMMON NAME	D.B.H. PER TRUNK	TOTAL CALIPER
Palm	15	15
Palm	14	14
Palm	14	14
Palm	14	14
River Birch	22	22
Oak	12	12
Oak	24	24
Palm	7	7
Pear	6	6
Pear	7	7
Oak	24	24
Oak	16	16
Oak	10	10
Oak	10	10
Oak	12	12
Oak	10	10
Oak	12	12
Palm	12	12
Oak	16	16
Oak	14	14
Palm	8	8
Palm	8	8
Pine	10	10
Palm	15	15
Palm	12	12
Palm	14	14
Palm	10	10
Palm	12	12
Palm	10	10
Palm	10	10
TOTAL INCHES PRESERVED		454

TREE MITIGATION FOR REMOVED TREES		
SPECIES COMMON NAME	D.B.H. PER TRUNK	TOTAL CALIPER
Oak	15	15
Palm	12	12
Palm	15	15
Palm	14	14
Palm	15	15
Palm	14	14
Palm	15	15
Palm	8	8
River Birch	10	10
River Birch	8	8
River Birch	10	10
Oak	26	26
Oak	21	21
Oak	22	22
Oak	21	21
TOTAL INCHES PRESERVED		197

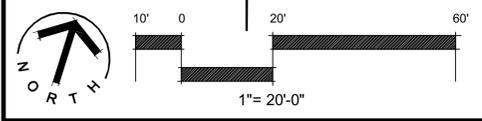
Overall Site Minimum Tree and Landscape Coverage			
Minimum Tree Coverage	Lot Area	Trees Required	Trees Provided
Trees planted/preserved 1 tree per 1,500 s.f. of lot area	75,060 s.f.	50	65
Minimum Landscape Area	Lot Area	Landscape Required	Landscape Provided
20% of lot area	75,060 s.f.	15,012 s.f.	35,530 s.f.

Greenbelt Buffer		
Buffer Area	Trees Required	Trees Provided
8,500 s.f.	43	46

Landscape Buffer Requirements									
Buffer	Required Buffer/Greenbelt Buffer	Provided Buffer	Lineal Feet	Required Trees	Provided Trees	Required Shrubs	Provided Shrubs	Required Groundcovers	Provided Groundcovers
North Buffer	25'	20'	314'	13	25	126	334	126	139
East Buffer	6'	11'	188'	4	6	38	42	38	42
South Buffer	6'	6'	343'	7	7	69	75	69	89
West Buffer	60'	23'	189'	8	8	76	78	76	80

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
IAE	30	Ilex x attenuata 'East Palatka'	East Palatka Holly	FG	4"Cal	14-16' ht x 6' spd	
QV	14	Quercus virginiana	Southern Live Oak	FG	4"Cal	14-16' ht x 6' spd	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT			REMARKS
IVS	30	Ilex vomitoria 'Schillings'	Schillings Dwarf	3 gal, 2.5' o.c., 18"ht x 18"spr			
MCA	144	Muhlenbergia capillaris	Pink Muhly	3 gal., 3' o.c., 24" ht x 24" spr			
NO	14	Nerium oleander	Pink Oleander	3 gal, 3' o.c., 24" ht x 24 spr			
TDF	205	Tripsacum floridana	Dwarf Fakahatchee Grass	3 gal., 3' o.c., 24" ht x 24" spr			
VS	194	Viburnum suspensum	Sandankwa Viburnum	3 gal, 3' o.c., 24" ht x 24 spr			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT			REMARKS
SSF	26,119 sf	Stenotaphrum secundatum 'Floritam'	'Floritam' St. Augustine Sod	sod			
TA	398	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal@ 24" oc			



PLANS PREPARED UNDER THE DIRECTION OF:
RYAN M. CLARK, R.L.A. LA660753
PLOTTED: January 8, 2013 - 11:40 AM, BY: Ryan Clark

REVISIONS:

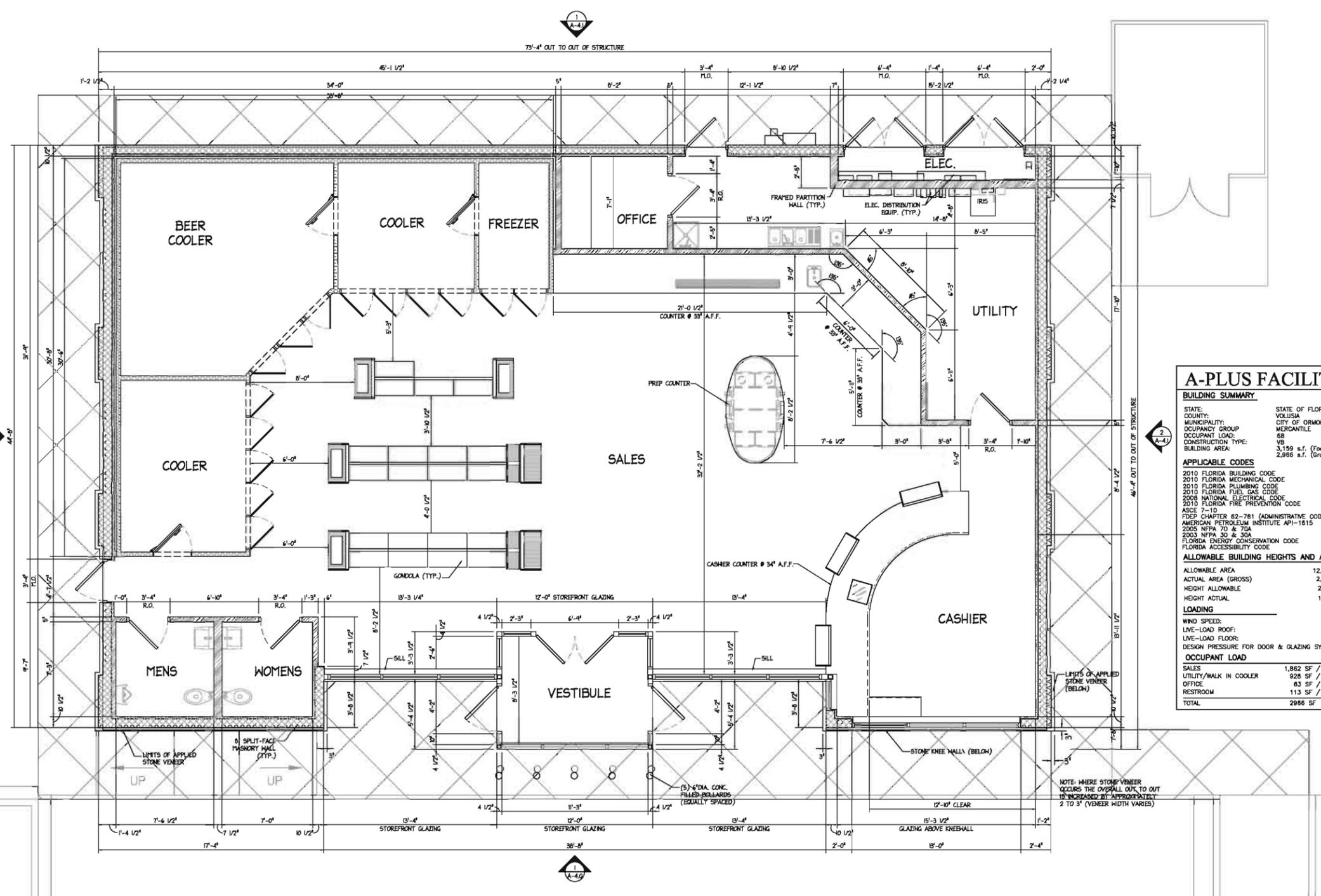
ETM NO. 11-159-01	ETM NO. 11-159-01
DRAWN BY: R.C.	DESIGNED BY: R.C.
CHECKED BY: K.S.	DATE: OCTOBER 2012

England-Thoms & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 842-8890
FAX: (904) 842-8885
CA-0002596 LC-0003016

ETM
VISION • EXPERIENCE • RESULTS

LANDSCAPE PLAN
SUNOCO GRANADA BLVD & I-95
ORMOND BEACH, FLORIDA

DRAWING NUMBER
LC-01



A-PLUS FACILITY SUMMARY

BUILDING SUMMARY		
STATE:	STATE OF FLORIDA	
COUNTY:	VOLUSIA	
MUNICIPALITY:	CITY OF ORMOND BEACH	
OCCUPANCY GROUP:	MERCANTILE	
OCCUPANT LOAD:	68	
CONSTRUCTION TYPE:	VB	
BUILDING AREA:	3,159 s.f. (Footprint) 2,986 s.f. (Gross Floor Area)	
APPLICABLE CODES		
2010 FLORIDA BUILDING CODE		
2010 FLORIDA MECHANICAL CODE		
2010 FLORIDA PLUMBING CODE		
2010 FLORIDA FUEL GAS CODE		
2008 NATIONAL ELECTRICAL CODE		
2010 FLORIDA FIRE PREVENTION CODE		
ASCE 7-10		
FIREP CHAPTER 62-761 (ADMINISTRATIVE CODE)		
AMERICAN PETROLEUM INSTITUTE API-1615		
2005 NFPA 70 & 70A		
2003 NFPA 30 & 30A		
FLORIDA ENERGY CONSERVATION CODE		
FLORIDA ACCESSIBILITY CODE		
ALLOWABLE BUILDING HEIGHTS AND AREA		
ALLOWABLE AREA	12,500 SF	
ACTUAL AREA (GROSS)	2,986 SF	
HEIGHT ALLOWABLE	2 STORY	
HEIGHT ACTUAL	1 STORY	
LOADING		
WIND SPEED:	139 MPH	
LINE-LOAD ROOF:	30 PSF.	
LINE-LOAD FLOOR:	168 PSF.	
DESIGN PRESSURE FOR DOOR & GLAZING SYSTEMS:	+40.2/-54 PSF.	
OCCUPANT LOAD		
SALES	1,862 SF / 30 SF	= 62 OCCUPANTS
UTILITY/WALK IN COOLER	826 SF / 300 SF	= 3 OCCUPANTS
OFFICE	63 SF / 100 SF	= 1 OCCUPANTS
RESTROOM	113 SF / 1 PER OCC	= 2 OCCUPANTS
TOTAL	2986 SF	68 OCCUPANTS

CLIENT DATA

A-CORNERSTONE
Consulting Engineers & Architectural, Inc.

1176 N. Irving Street - Allentown, PA 18109
Phone: 610-820-8200 - Fax: 610-820-3706
WWW.A-PLUSCORNERSTONE.COM

Philadelphia Region
Lehigh Valley Region
Pocono Region
610-820-8200
215-362-2600
FLORIDA BUSINESS LICENSE # FO 7000000627

REVISIONS	
NO.	DATE
1	08-13-12
2	09-21-12
3	09-28-12
4	10-08-12
5	11-08-12
6	2-5-13

PROJECT LOCATION

PROPOSED A-PLUS FACILITY

DUNS # 0041-8012
1546 W. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE

DIMENSIONAL FLOOR PLAN & GENERAL BUILDING DATA

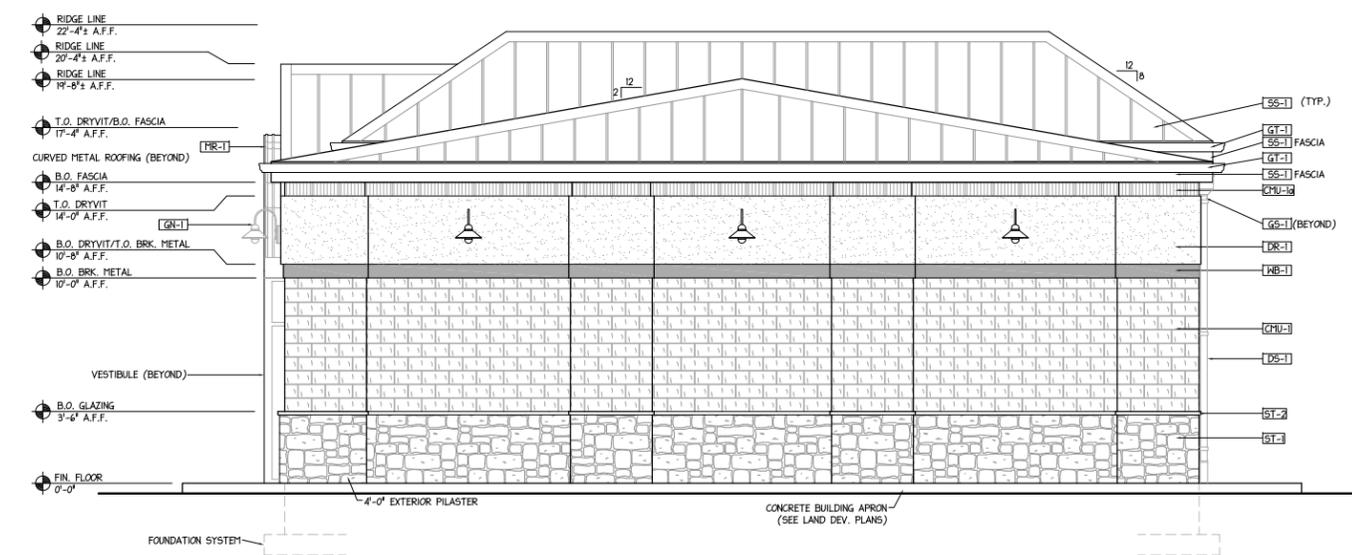
PROJ. #	12-0251	DATE	7-30-12
CAD. ID.	120251A.L04	DRN. BY	CID
SCALE	NOTED	CHK. BY	MWM
A-1.0			
REVISION 6			

1 DIMENSIONAL FLOOR PLAN
SCALE: 1/4"=1'-0"





1 WESTERN EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTHERN EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
CMU-1	Split Face Block	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"x8"x16" Split Face	Grout shall be white portland type	Allison Wilming (Allison.wilming@oldcastle.com) 813-376-2544
CMU-1a	Split Face Block - Fluted	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"x8"x16" Fluted Split Face	Grout shall be white portland type	Allison Wilming (Allison.wilming@oldcastle.com) 813-376-2544
PT-8	Paint	Sherrin Williams	Colonade Gray - SW 7641	Finish: Sher-Cryl HPA Enamel B66W350 (semi-gloss)	Exterior doors and frames	Eric Sabran (eric.sabran@sherrin.com) 610-730-3586
BM-1	Brak Metal	ATAS International, Inc.	Dove Grey #13	Prefinished	Copings & flashings where noted	Joe Rygalski (jor@atas.com) 484-553-4146
DR-1	EFS	Dryvit	Natural White - #103	Finish: Sand Blast	Building Exterior where noted	Phil Heff (phil.heff@morningmaterials.com) 484-256-2255
GT-1	Gutters	ATAS International, Inc.	Dove Grey #13	Preformed 4" X Gutter	Along exterior roof (where noted)	Joe Rygalski (jor@atas.com) 484-553-4146
DS-1	Down Spouts	ATAS International, Inc.	Dove Grey #13	Preformed (see plan for size requirements)	Per Plan	Joe Rygalski (jor@atas.com) 484-553-4146
SS-1	Standing Seam Metal Roof	ATAS International, Inc.	Dove Grey #13	Field Lok System - 1.5" Seam	Per Plan	Joe Rygalski (jor@atas.com) 484-553-4146
ST-1	Stone Veneer - Kneewall	Florado Stone StoneCraft Industries	Roughcut - Color: Moonlight	Random Units - utilize Mapei grout color: charcoal #47	Exterior walls where specified	Ryan Drawbaugh (rdrawbaugh@elbradestone.com) 717-729-6018
ST-2	Stone Veneer - Sill	Florado Stone StoneCraft Industries	Walmscot SB - Color: Smoke	19.75" W x 3" D x 2.5" H (straight - chiseled edge) 8" x 8" (90 degree - chiseled edge)	Exterior walls where specified	Ryan Drawbaugh (rdrawbaugh@elbradestone.com) 717-729-6018
SF-1	Storefront Framing - Clear Anodized	Kaameer Industries - Tribaf VG 451 Series	Anodized Aluminum - #14 (Clear)	4.5" frame w/ 2" sightline - 1" Center Glazed	(see also GL-1 specification)	Dave Trautman (dave.trautman@alcoa.com) 717-593-3300
RH-1	Remote Head Light Fixture	LSI - Em. Double Head Remote	White (prefinished)	HALOGEN 4V-628H666W	On Wall at Egress Locations	Brain Reinke (brain@2corp.com) 201-944-8762
GN-1	Goosneck Exterior Light	LSI: WNI P-50-MH-UE-GRD. 15" Pendant Mount. Mounting Bracket: CWBL-1 (20")	Black (prefinished)	30" Bracket	Per Plan	Brain Reinke (brain@2corp.com) 201-944-8762
WB-1	Wallband	Prosigno	Red	8" Extended	Per Plan	Prosigno (1-800-269-9715) 201-944-8762
GL-1	Storefront Glazing	PPG Industries, Inc. - Solarban 70XL	Clear	1" Low E Insulated Glazing (see also SF-1 specification)	Impact Resistant Glazing	PPG Industries, Inc. (1-888-774-4332)

CLIENT DATA



A Cornerstone
Consulting Engineers & Architectural, Inc.

1176 N. Irving Street - Allentown, PA 18109
Phone: 610-820-8200 - Fax: 610-820-3706
WWW.CORNERSTONE.COM
Philadelphia Region
Lehigh Valley Region
Pocono Region
570-839-1770
215-362-2600
FLORIDA BUSINESS LICENSE # FO 7000000627

NO.	BY	DESCRIPTION	DATE
1	CJD	REVISION PER CORP COMMENTS	08-13-12
2	CJD	REVISION PER CORP COMMENTS	09-24-12
3	CJD	REVISION PER CORP COMMENTS	09-28-12
4	CJD	REVISION PER CORP COMMENTS	10-06-12
5	CJD	REVISION PER CORP COMMENTS	11-06-12
6	CJD	REVISION PER CORP COMMENTS	2-25-13

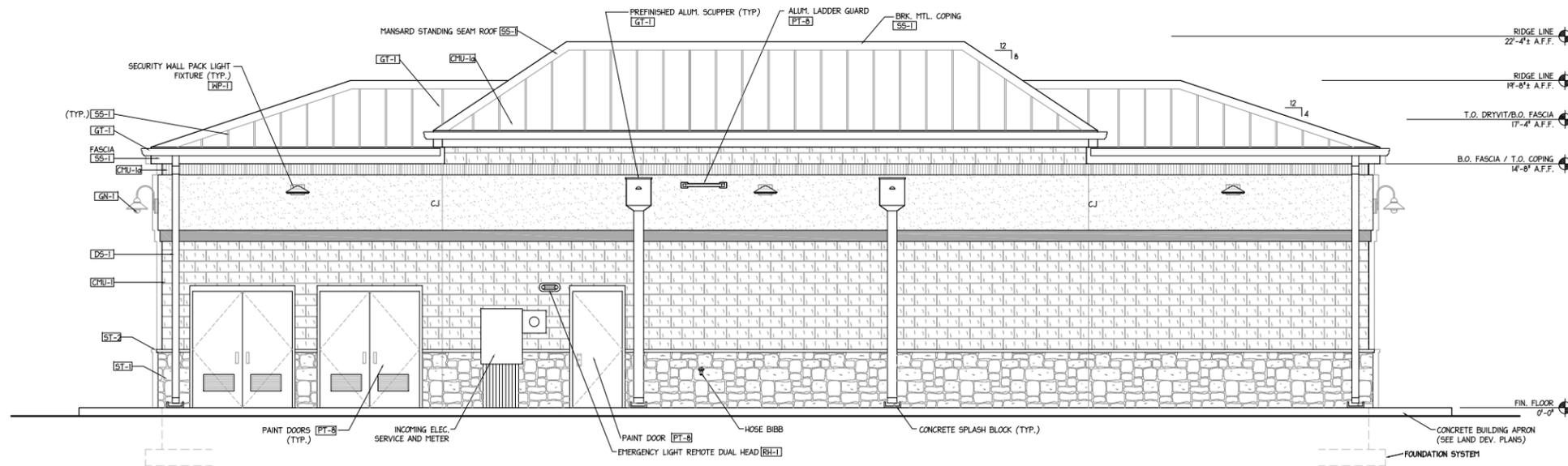
PROJECT LOCATION

PROPOSED A-PLUS FACILITY
DUNS # 0041-8012
1546 W. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE
EXTERIOR ELEVATIONS & FINISH SCHEDULE

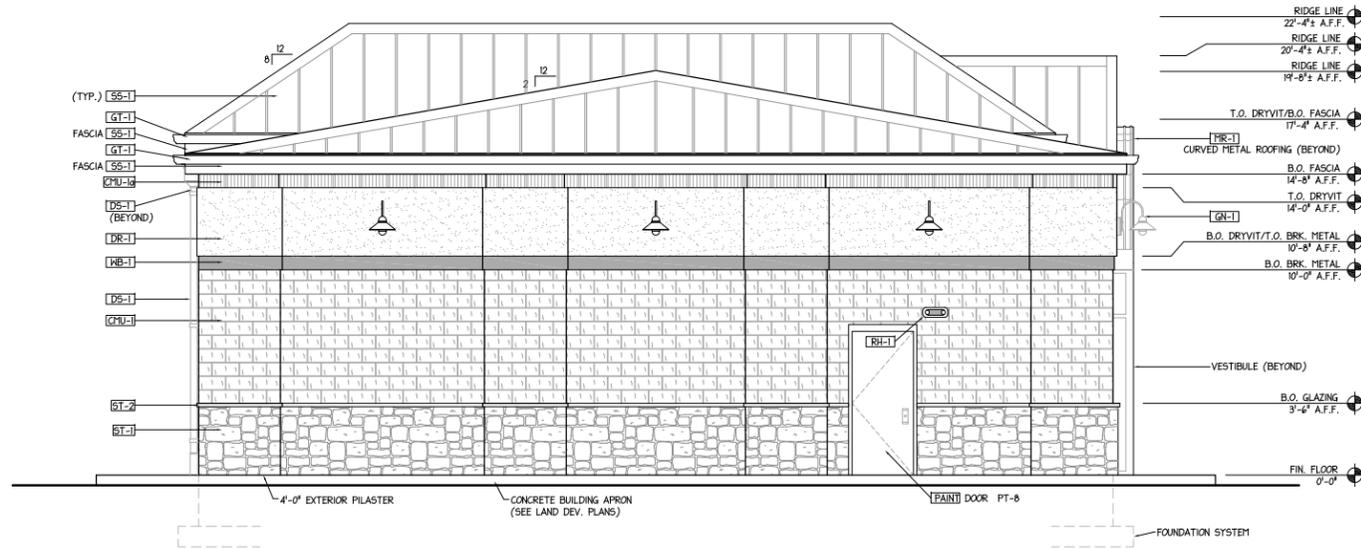
PROJ #	12-0251	DATE	7-20-12
CAD ID	120251A40	DRN BY	ROK
SCALE	NOTED	CHK BY	MWM

A-4.0
REVISION 6



1 EASTERN EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



2 NORTHERN EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
CMU-1	Split Face Block	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"x8"x16" Split Face	Grout shall be white portland type	Alison Williams (alison.williams@oldcastle.com) 813-376-2544
CMU-1a	Split Face Block - Fluted	Oldcastle Coastal	Arctic Ice with Marble Aggregate	8"x8"x16" Fluted Split Face	Grout shall be white portland type	Alison Williams (alison.williams@oldcastle.com) 813-376-2544
PT-8	Paint	Sherrin Williams	Cobaltade Gray - SW 7641	Finish: Sher-Cryl HPA Enamel 866W50 (semi-Gloss)	Exterior doors and frames	Eric Soltman (eric.soltman@sherrin.com) 610-730-3588
BM-1	Brak Metal	ATAS International, Inc.	Down Grey #13	Prefinished	Copings & flashings where noted	Joe Rydzicki (joe@atas.com) 484-553-4146
DR-1	EIFS	Dryvit	Natural White - #103	Finish: Sand Blast	Building Exterior where noted	Joe Rydzicki (joe@atas.com) 484-553-4146
GT-1	Gutters	ATAS International, Inc.	Down Grey #13	Preformed 4" V' Gutter	Along exterior roof (where noted)	Joe Rydzicki (joe@atas.com) 484-553-4146
DS-1	Down Spouts	ATAS International, Inc.	Down Grey #13	Preformed (see plan for size requirements)	Per Plan	Joe Rydzicki (joe@atas.com) 484-553-4146
SS-1	Standing Seam Metal Roof	ATAS International, Inc.	Down Grey #13	Field Lok System - 1.5" Seam	Per Plan	Joe Rydzicki (joe@atas.com) 484-553-4146
ST-1	Stone Veneer - Kneewall	Eldorado Stone StoneCraft Industries	Roughcut - Color: Moonlight	Random Units - offset; Mapel grout color: charcoal # 47	Exterior walls where specified	Ryan Draabough (draabough@elaboradostone.com) 717-729-6018
ST-2	Stone Veneer - Sill	Eldorado Stone StoneCraft Industries	Wascosil Sil - Color: Smoke	19.75" W x 3" D x 2.5" H (straight - chiseled edge) 8" x 8" (90 degree - chiseled edge)	Exterior walls where specified	Ryan Draabough (draabough@elaboradostone.com) 717-729-6018
SF-1	Storefront Framing - Clear Anodized	Kawneer Industries - Tribble VG 451 Series	Anodized Aluminum - #14 (Clear)	4.5" frame w/ 2" sightline - 1" Center Glazed	(see also GL-1 specification)	Dave Trautman (dave.trautman@alcoa.com) 717-503-1300
RL-1	Recessed Light Fixture	LSI - Em. Double Head Recessed	White (prefinished)	HALOGEN-6V-420R/660V	On Wall at Egress Locations	Brain Reiske (brain@r2corp.com) 201-944-8742
GN-1	Goosneck Exterior Light	LSI - WLN P-50 MH-UE-GRD 15" Pendant Mount Mounting Bracket CMB-1 (DPT)	Red (prefinished)	20" Bracket	Per Plan	Brain Reiske (brain@r2corp.com) 201-944-8742
WB-1	Wallband	Prosign	Red	0" Extended	Per Plan	Prosign (1-410-269-9715)
GL-1	Storefront Glazing	PPG Industries, Inc. - Solarban 70XL	Clear	1" Low E Insulated Glazing (see also SF-1 specification)	Impact Resistant Glazing	PPG Industries, Inc. (1-888-778-4332)

CLIENT DATA



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Poccono Region
215-362-2400
610-820-8200
570-839-1770
FLORIDA BUSINESS LICENSE # FO 7000000627

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	CJD	REVISED PER CORP. COMMENTS	08-13-12
2	CJD	REVISED PER CORP. COMMENTS	09-24-12
3	CJD	REVISED PER CORP. COMMENTS	09-28-12
4	CJD	REVISED PER CORP. COMMENTS	10-08-12
5	CJD	REVISED PER CORP. COMMENTS	11-08-12
6	CJD	REVISED PER CORP. COMMENTS	2-5-13

PROJECT LOCATION

PROPOSED
A-PLUS FACILITY

DUN # 0041-8012
1546 W. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE

EXTERIOR
ELEVATIONS & FINISH
SCHEDULE

PROJ. #	12-0251	DATE	7-28-12
CAD ID.	120251A41	DRN BY	CJD
SCALE	NOTED	CHK BY	MWM

A-4.1

REVISION 6



A-CORNERSTONE
 Consulting Engineers & Architectural, Inc.

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Pocono Region
 Philadelphia Region
 Lehigh Valley Region
 610-820-8200
 215-562-2600
 FLORIDA BUSINESS LICENSE # FO 7000000627

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	GD	REVISED PER CORP. COMMENTS	08-13-12
2	GD	REVISED PER CORP. COMMENTS	09-21-12
3	GD	REVISED PER CORP. COMMENTS	09-28-12
4	GD	REVISED PER CORP. COMMENTS	10-02-12
5	GD	REVISED PER CORP. COMMENTS	11-01-12
6	GD	REVISED PER CORP. COMMENTS	2-5-13

PROJECT LOCATION

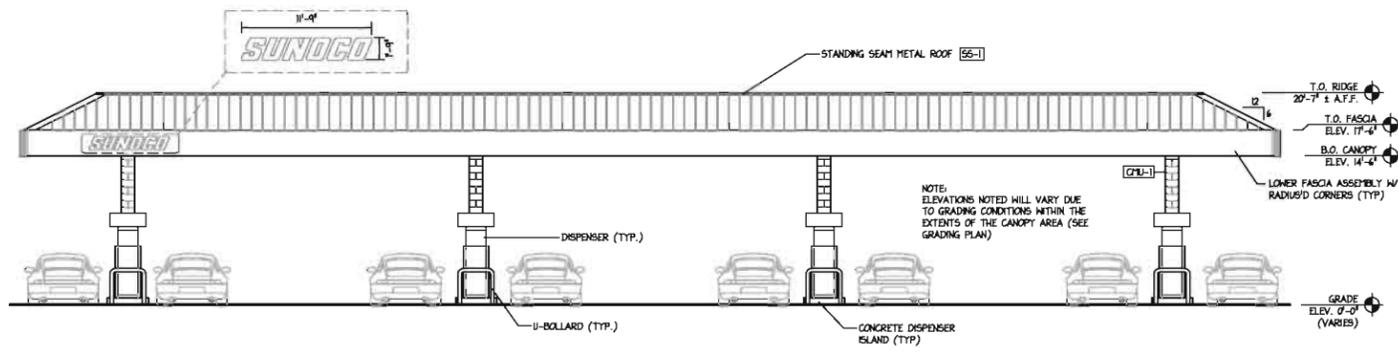
PROPOSED
A-PLUS FACILITY
 DUNS # 0041-8012
 1546 W. GRANADA BLVD.
 CITY OF ORMOND BEACH
 VOLUSIA COUNTY
 STATE OF FLORIDA

TITLE

CANOPY PLANS AND
 SIGNAGE DETAILS

PROJ. #	12-0251	DATE	7-30-12
CAD ID.	120251A42	DRN BY	RDK
SCALE	NOTED	CHK BY	MWM

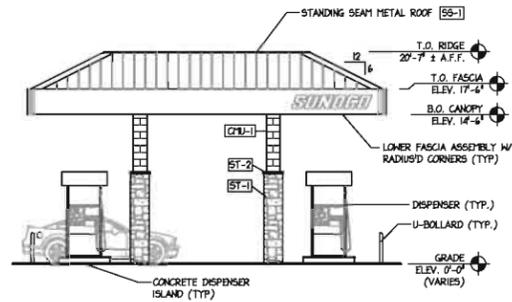
A-4.2
 REVISION 6



1 WESTERN CANOPY ELEVATION

SCALE: 1/8"=1'-0"

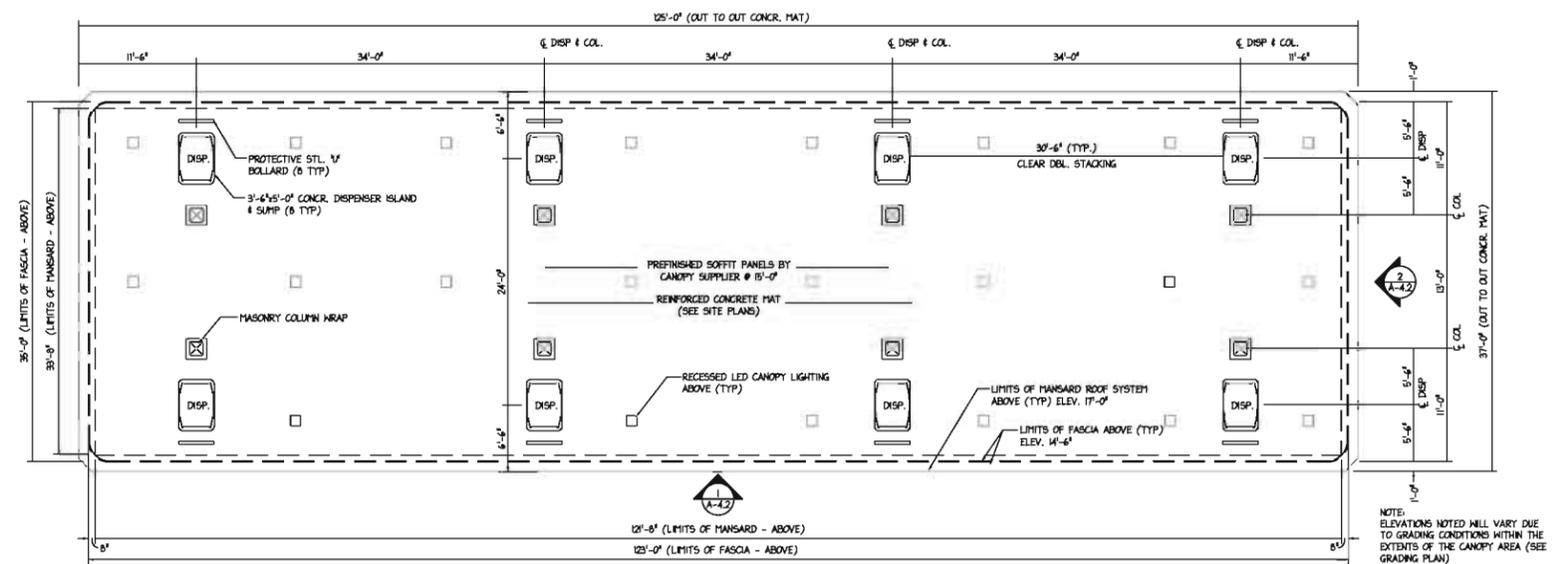
(FACING INTERSTATE ROUTE I-95)



2 NORTHERN CANOPY ELEVATION

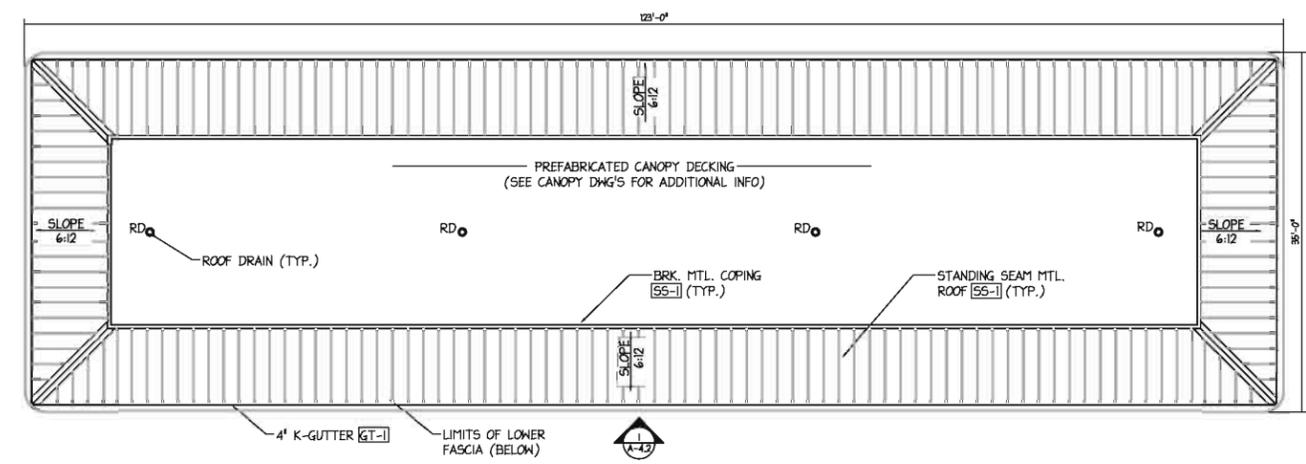
SCALE: 1/8"=1'-0"

(FACING W. GRANADA BLVD. - STATE ROUTE # 40)



3 CANOPY/DISPENSER LAYOUT

SCALE: 1/8"=1'-0"



4 CANOPY ROOF PLAN

SCALE: 1/8"=1'-0"





1 EXTERIOR PERSPECTIVE
SCALE: NONE

CLIENT DATA



A-CORNERSTONE
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www.a-cornerstone.com

Philadelphia Region 215-362-2600
Lehigh Valley Region 610-820-8200
Pocono Region 570-439-1770
FLORIDA BUSINESS LICENSE # PO 700000627

NO.	BY	DESCRIPTION	DATE
1	CM	ISSUED FOR CONSTRUCTION	08-13-12
2	CM	ISSUED FOR CONSTRUCTION	08-13-12
3	CM	ISSUED FOR CONSTRUCTION	08-28-12
4	CM	ISSUED FOR CONSTRUCTION	10-02-12
5	CM	ISSUED FOR CONSTRUCTION	11-19-12
6	CM	ISSUED FOR CONSTRUCTION	2-5-13

NO.	DATE	DESCRIPTION

PROJECT LOCATION
PROPOSED A-PLUS FACILITY
DUNS # 0041-3022
1546 W. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE			
EXTERIOR PERSPECTIVE			
PROJ. #	12-001	DATE	7-28-12
DRAWN	CM	CHECKED	CM
SCALE	NOTED	CHECKED	NEW
EP-1.0			
REVISION 1			



1 EXTERIOR PERSPECTIVE
SCALE: NONE

CLIENT DATA



A-Plus
Consulting Engineers & Architectural, Inc.

1176 N. Irving Street, Allentown, PA 18109
Phone: 610-820-8200 Fax: 610-820-3706
www.a-plus-engineers.com
Lehigh Valley Region 610-820-8200
Philadelphia Region 215-362-2000
Pocomo Region 570-499-1770
FLORIDA BUSINESS LICENSE # FC 7000000627

NO.		BY	DESCRIPTION	DATE
1	1	CR	REVISED FOR COMP. COMMENTS	06-15-15
2	2	CR	REVISED FOR COMP. COMMENTS	06-22-15
3	3	CR	REVISED FOR COMP. COMMENTS	06-28-15
4	4	CR	REVISED FOR COMP. COMMENTS	10-08-15
5	5	CR	REVISED FOR COMP. COMMENTS	12-09-15
6	6	CR	REVISED FOR COMP. COMMENTS	2-2-15

PROJECT LOCATION
PROPOSED
A-PLUS FACILITY
DUNS # 004-8012
1546 N. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE
EXTERIOR PERSPECTIVE

PROJ. #	13-091	DRAWN	7-28-12
CHD. NO.	1200100001	DRAWN BY	CR
SCALE	NONE	CHECK BY	MMW
EP-2.0			
REVISION #			



1 EXTERIOR PERSPECTIVE
SCALE: NONE

CLIENT DATA



A-CORNERSTONE
Consulting Engineers & Architectural, Inc.

1176 N. Irving Street - Allentown, PA 18109
Phone: 610-820-8280 Fax: 610-820-3706
www.acornerstone.com
Philadelphia Region
215-362-2600
Lehigh Valley Region
610-820-8280
Pocono Region
570-839-1770
FLORIDA BUSINESS LICENSE # PO 700000627

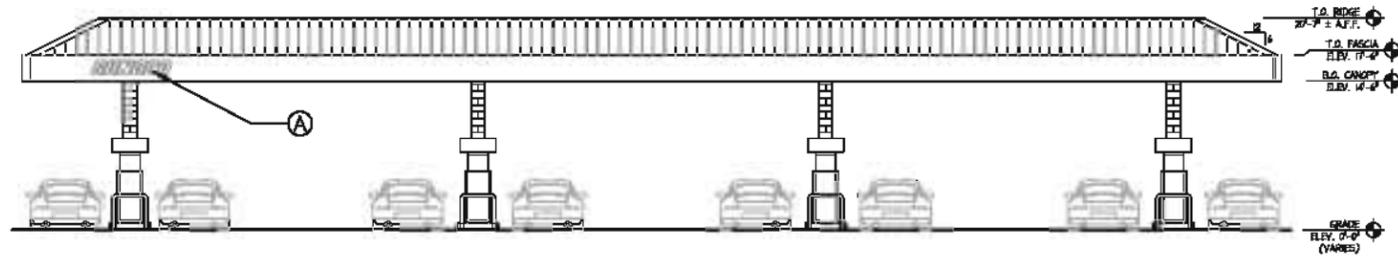
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1	1	ISSUED FOR CONSTRUCTION	08-23-12
2	2	REVISED FOR CONSTRUCTION	08-23-12
3	3	REVISED FOR CONSTRUCTION	08-23-12
4	4	REVISED FOR CONSTRUCTION	10-26-12
5	5	REVISED FOR CONSTRUCTION	12-03-12
6	6	REVISED FOR CONSTRUCTION	3-5-13

PROJECT LOCATION
PROPOSED
A-PLUS FACILITY
DUNS # 0041-8012
1546 W. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLusia COUNTY
STATE OF FLORIDA

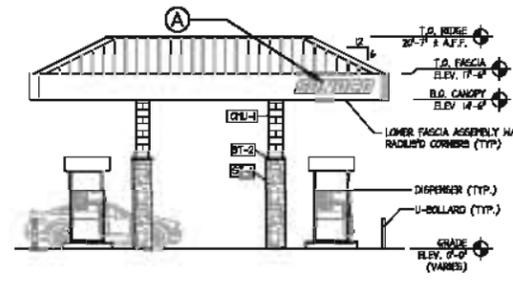
TITLE
EXTERIOR PERSPECTIVE

PROJ #	ISSUE	DATE
12-001	1-20-12	1-20-12

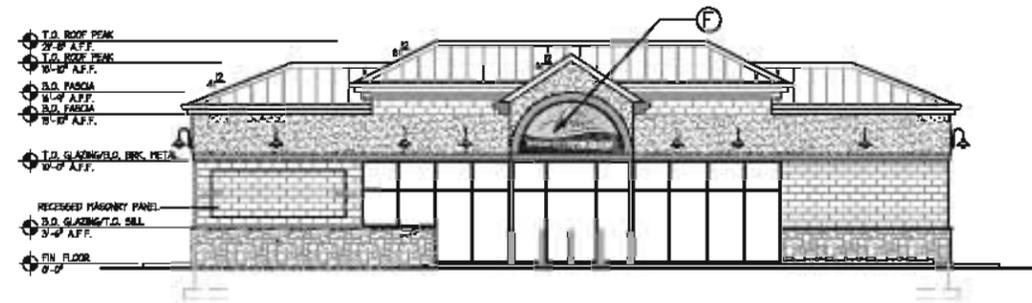
EP-3.0
REVISION 1



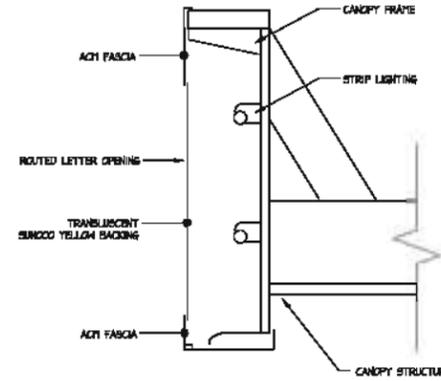
1 NORTHERN CANOPY ELEVATION (FACING ROCKEFELLER DRIVE)
SCALE: 1/4"=1'-0"



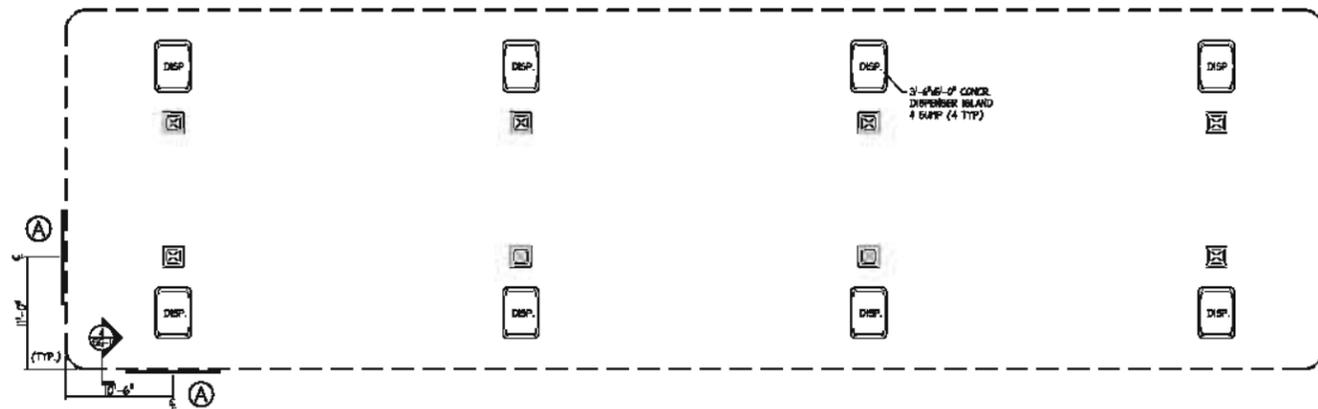
2 NORTHERN CANOPY ELEVATION (FACING S.W. 86-1-A S. ATLANTIC AVE.)
SCALE: 1/4"=1'-0"



3 NORTHERN EXTERIOR ELEVATION (FACING ROCKEFELLER DRIVE)
SCALE: 1/4"=1'-0"



4 CANOPY FASCIA SECTION
SCALE: 1/2"=1'-0"



5 CANOPY/DISPENSER LAYOUT
SCALE: 1/4"=1'-0"

CLIENT DATA



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www.cornerstonecorp.com
Pocomo Region 570-891-1770
Lehigh Valley Region 610-824-8200
Philadelphia Region 215-362-3900
FLORIDA BUSINESS LICENSE # FO 7600000627

REVISIONS	
NO.	DESCRIPTION
1	ISSUED PER CORP. COMMENTS
2	ISSUED PER CORP. COMMENTS
3	ISSUED PER CORP. COMMENTS
4	ISSUED PER CORP. COMMENTS
5	ISSUED PER CORP. COMMENTS
6	ISSUED PER CORP. COMMENTS

PROJECT LOCATION

PROPOSED
A-PLUS FACILITY
DUNS # 0041-802
1546 W. GRANADA BLVD.
CITY OF ORLANDO BEACH
VOLUSIA COUNTY
STATE OF FLORIDA

TITLE

SIGNAGE PLACEMENT
PLAN

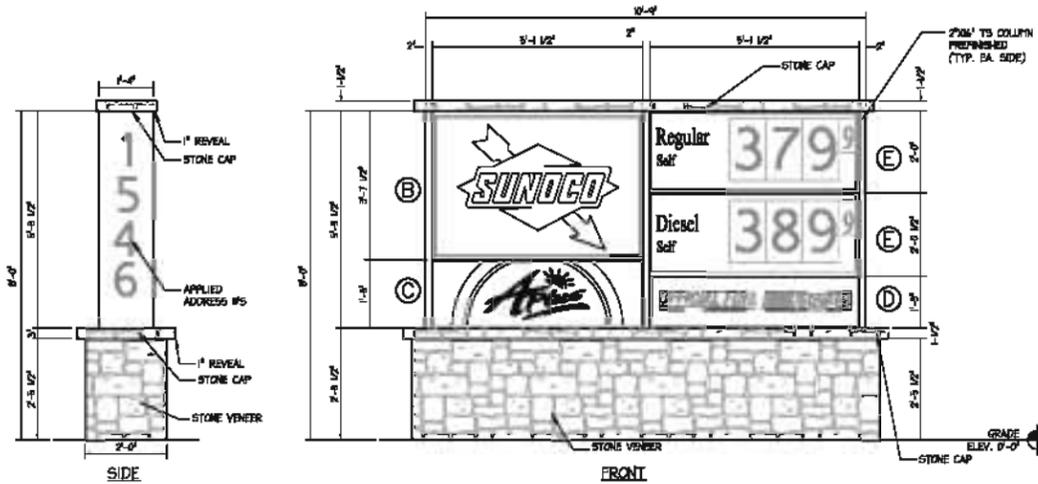
PROJ #	13-851	DATE	7-20-13
CAD BY	LDZ/MLL	DRN BY	CEP
SCALE	NOTED	CHK BY	MVM

SG-1.0

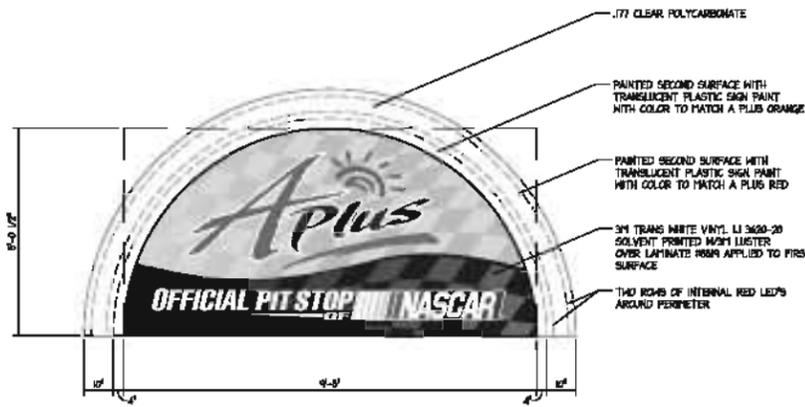
REVISION 1



1 CANOPY SUNOCO LOGO (A)
SCALE: 1/2"=1'-0"

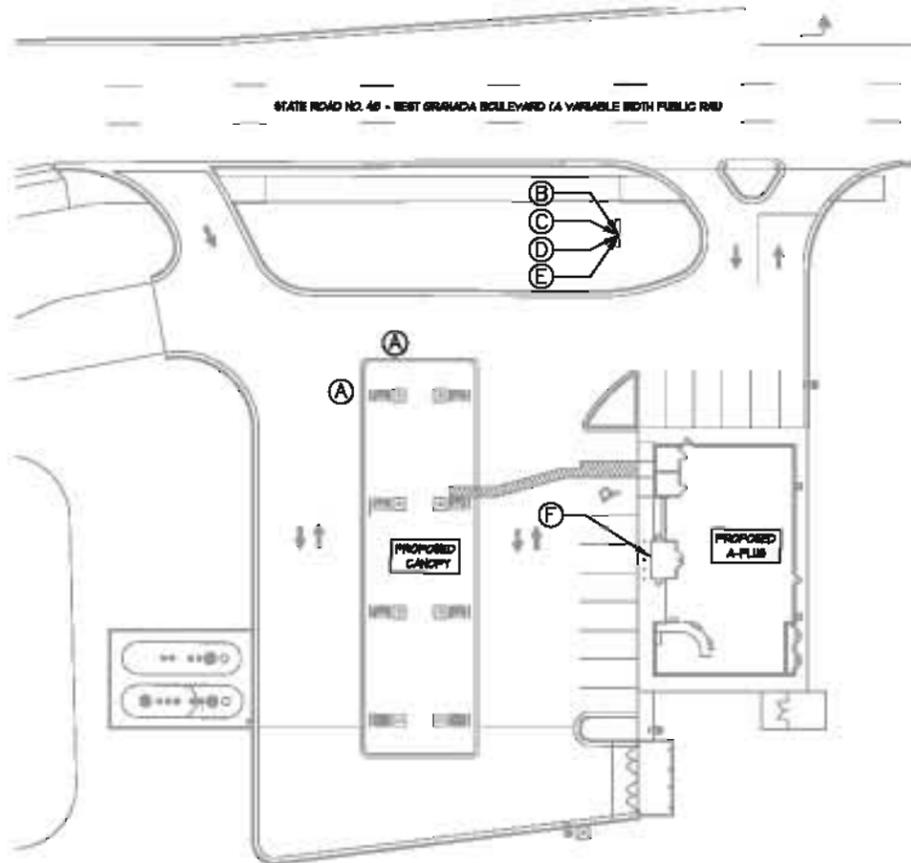


2 MONUMENT SIGN ELEVATIONS (B)(C)(D)(E)
SCALE: 1/8"=1'-0"



3 BUILDING ARCH ELEVATION (F)
SCALE: 1/2"=1'-0"

SIGNAGE TABLE			
CANOPY			
MARK	DESCRIPTION	AREA	TOTAL
(A)	SUNOCO LOGO	26.24	4.0
SUB-TOTAL			4.0
MONUMENT SIGN			
MARK	DESCRIPTION	AREA	TOTAL
(B)	SUNOCO DIAMOND	18.51	18.51
(C)	A-PLUS LOGO	8.6	8.6
(D)	OPN LOGO	6.44	6.44
(E)	PRICE PLACARD	10.26	20.52
SUB-TOTAL			54.07
BUILDING-MOUNTED SIGNAGE			
MARK	DESCRIPTION	AREA	TOTAL
(F)	A-PLUS ARCH SIGNAGE	58.78	58.78
SUB-TOTAL			58.78



4 SIGNAGE SCHEMATIC PLAN
SCALE: 1/8"=1'-0"

CLIENT DATA

A Cornerstone
Consulting Engineers & Architectural, Inc.
1175 N. Irving Street, Altamonte, PA 18109
Phone: 610-820-8200, Fax: 610-820-3706
www.ACORNERSTONE.COM
Lehigh Valley Region: 610-820-8200
Philadelphia Region: 215-562-2600
Pocomo Region: 870-899-1770
FLORIDA BUSINESS LICENSE # FO 700000627

NO.	DATE	DESCRIPTION
1	08-23-12	REVISED PER CODE COMMENTS
2	08-23-12	REVISED PER CODE COMMENTS
3	08-28-12	REVISED PER CODE COMMENTS
4	08-28-12	REVISED PER CODE COMMENTS
5	12-19-12	REVISED PER CODE COMMENTS
6	2-2-13	REVISED PER CODE COMMENTS

PROJECT LOCATION

PROPOSED A-PLUS FACILITY

DUNS # 0041-802
1546 W. GRANADA BLVD.
CITY OF ORMOND BEACH
VOLusia COUNTY
STATE OF FLORIDA

TITLE

SIGNAGE PLACEMENT DETAILS

PROJ.#	15-051	DATE	7-20-12
CAD. BY	SM512224	THEN BY	CFI
SCALE	NOTED	CHK BY	MFM

SG-2.0
REVISION 4

MAP SHOWING ALTA/ACSM LAND TITLE SURVEY OF

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 32 EAST, VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 40 (TOMOKA ROAD), A VARIABLE WIDTH RIGHT OF WAY AS PRESENTLY ESTABLISHED, WITH THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY NO. 95, A 480 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE NORTH 62° 29' 06" EAST, ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID STATE ROAD 40, 186.50 FEET TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING THUS DESCRIBED, THENCE NORTH 62° 29' 06" EAST, CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 76.41 FEET TO THE SOUTHERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION AND REFERRED TO AS PARCEL 100 RECORDED IN OFFICIAL RECORDS BOOK 3698, PAGE 1892, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 73° 02' 40" EAST, ALONG THE SOUTHERLY LINE OF SAID PARCEL 100 AND ALONG THE SOUTHERLY RIGHT OF WAY LINE OF THE AFOREMENTIONED STATE ROAD NO. 40, AS NOW ESTABLISHED, A DISTANCE OF 123.45 FEET TO A POINT LYING IN THE WESTERLY LINE OF LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 2775, PAGE 362, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 16° 53' 26" EAST, DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE AND ALONG THE WESTERLY LINE OF SAID LANDS, 188.22 FEET TO THE SOUTHWEST CORNER OF SAID LANDS, SAID POINT ALSO LYING ON THE NORTHERLY LINE OF THE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3295, PAGE 1844, OF SAID PUBLIC RECORDS; THENCE SOUTH 65° 38' 22" WEST, ALONG SAID NORTHERLY LINE, 200.04 FEET TO THE SOUTHEAST CORNER OF THE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3208, PAGE 328 (PARCEL 3A), OF SAID PUBLIC RECORDS; THENCE NORTH 16° 57' 04" WEST, ALONG THE EAST LINE OF SAID LANDS, 200.00 FEET, RETURNING TO SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 40, AND THE POINT OF BEGINNING.

STATE ROAD NO. 40 - WEST GRANADA BOULEVARD (A VARIABLE WIDTH PUBLIC R/W)
(ALSO KNOWN AS TOMOKA ROAD PER DEED)

O.R. 4431, PAGE 4691,
EXHIBIT "O" (BY INTENTION)
±0.90 ACRES
39,328 SQUARE FEET

O.R. 3889, PAGE 167
OWNER: ORMOND INTERCHANGE PARTNERSHIP
ADDRESS: NONE

LOT 1, ORMOND INTERCHANGE COMPLEX
MAP BOOK 44, PAGES 142 & 143
OWNER: CAPTEC NET LEASE REALTY, INC.
ADDRESS: #50 WILLIAMSON BOULEVARD

LOT 5 - COMMON AREA, ORMOND INTERCHANGE COMPLEX
MAP BOOK 44, PAGES 142 & 143
OWNER: CAPTEC NET LEASE REALTY, INC.
ADDRESS: #50 WILLIAMSON BOULEVARD

LEGEND	
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
R/W	RIGHT OF WAY
O.R.	OFFICIAL RECORDS BOOK OR VOLUME
MAL	METAL ACCESS LID
(BT)	BUILDING TIE TO PROPERTY LINE
BTP	BACKFLOW PREVENTER
INV	INVERT
EL	ELEVATION
FFE	FINISH FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE
●	FOUND CONCRETE MONUMENT, AS NOTED
●	FOUND 1/2" IRON, UNLESS NOTED
∞	CLEAN OUT
∞	VALVE, AS NOTED
∞	SIGN POST
∞	LIGHT POLE
∞	MONITORING WELL
∞	CLAY ANCHOR
∞	WOOD UTILITY POLE
∞	OVERHEAD UTILITY LINE
∞	FENCE, AS NOTED
∞	STORM DRAINAGE PIPE, AS NOTED
∞	STORM MANHOLE
∞	HANDICAP PARKING SPACE

NOTES:

- BEARING REFERENCE: N62°29'06"E FOR THE SOUTHERLY R/W LINE OF STATE ROAD NO. 40 PER O.R. 4431, PAGE 4691, EXHIBIT "O".
- THIS IS AN ABOVE GROUND SURFACE SURVEY ONLY, UNDERGROUND INFORMATION, EXCEPT STORM DRAINAGE, NOT LOCATED OR SHOWN.
- ELEVATIONS SHOWN THUS: (20.00) AND REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- REFERENCE BENCH MARK: STEEL ROD STAMPED "NGS J623" LOCATED 135.6' SOUTH OF SOUTH EDGE OF PAVEMENT OF STATE ROAD 40 EASTBOUND LANES AND 71.6' EAST OF WILLIAMSON BOULEVARD CENTERLINE. ELEVATION 21.99 (NAVD 88).
- THE PROPERTY SURVEYED HEREON APPEARS TO LIE WITHIN FLOOD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NO. 125136-0231H, DATED FEBRUARY 19, 2003.
- PROPERTY ADDRESS: 1546 WEST GRANADA BOULEVARD, ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32174.
- THE PROPERTY SURVEYED CONTAINS 39,328 SQUARE FEET OR ±0.90 ACRES.
- BEARINGS AND DISTANCES SHOWN THUS: (DEED) REFER TO O.R. 4431, PAGE 4691, EXHIBIT "O" AND LEGAL DESCRIPTION IN CHICAGO TITLE COMMITMENT NO. 3671439, DATED OCTOBER 10, 2011. BEARINGS AND DISTANCES SHOWN THUS: (M) REFER TO ACTUAL FIELD MEASUREMENTS OR CALCULATIONS THEREFROM.
- BUILDING SETBACK LINES PER CITY OF ORMOND BEACH ZONING "B-7" ARE: FRONT-20'; SIDE-10'; REAR-20'.
- LOCATED ALL TREES 6" OR LARGER.
- ONE (1) HANDICAPPED PARKING SPACE WAS STRIPED AT TIME OF SURVEY.

TITLE NOTES:

- THE LEGAL DESCRIPTION SHOWN HEREON IS THE SAME AS EXHIBIT "A" OF CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NO. 3671439, DATED OCTOBER 10, 2011.
- THE FOLLOWING ITEMS REFER TO SCHEDULE B-PART II OF THE ABOVE MENTIONED TITLE COMMITMENT:
 - ITEM 6-NO UNRECORDED LEASES OR AGREEMENTS FURNISHED TO THE UNDERSIGNED SURVEYOR.
 - ITEM 7-EASEMENT AGREEMENT PER O.R. 3846, PAGE 958 IS A "BLANKET" ACCESS EASEMENT FOR REMEDIATION PURPOSES.
 - ITEM 8-EASEMENT AGREEMENT PER O.R. 4027, PAGE 1258 IS A PRIVATE INGRESS & EGRESS EASEMENT AS SHOWN HEREON.

CERTIFIED TO:
CHICAGO TITLE INSURANCE COMPANY;
SUNOCO, INC. (R & W), A PENNSYLVANIA CORPORATION;
FIRST COAST ENERGY, LLP, A COLORADO LIMITED LIABILITY PARTNERSHIP;
MCGUIRE WOODS, LLP;
CITY OF ORMOND BEACH

FCE #1099 1546 WEST GRANADA BOULEVARD, ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32174

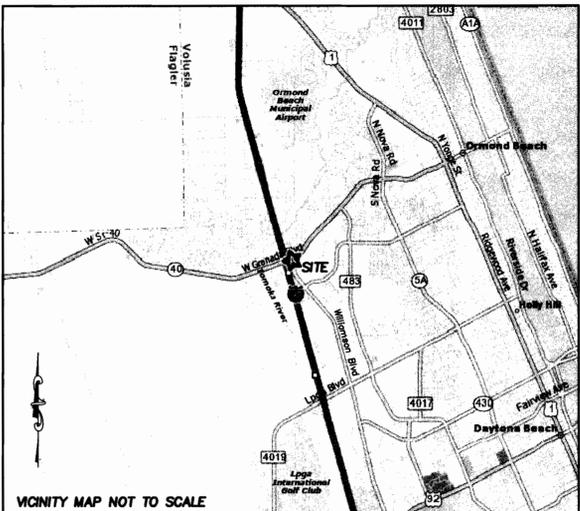
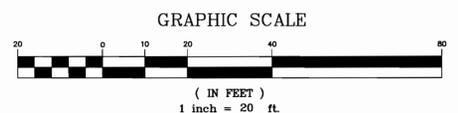


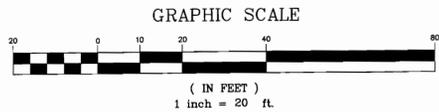
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR 2011 ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 2, 2011.

SIGNED: *Jose A. Hill, Jr.* DATE: FEBRUARY 10, 2012
JOSE A. HILL, JR.
REGISTERED LAND SURVEYOR NO. 4487
SURVEY NOT VALID WITHOUT EMBOSSED SURVEYOR'S SEAL

PREPARED BY:
CLARSON AND ASSOCIATES, INC.
PROFESSIONAL SURVEYORS & MAPPERS
1643 NALDO AVENUE
JACKSONVILLE, FLORIDA, 32207
PHONE: 904-396-2623

DATE SURVEYED: DECEMBER 2, 2011
SCALE: 1"=20'
FIELD BOOK: 815 PAGES: 24-28
FIELD BOOK: 853 PAGES: 1A
DRAWING NO. B-2507-11





MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY SHOWING TREE LOCATIONS

SECTION 30 TOWNSHIP 14 SOUTH RANGE 32 EAST
VOLUSIA COUNTY, FLORIDA

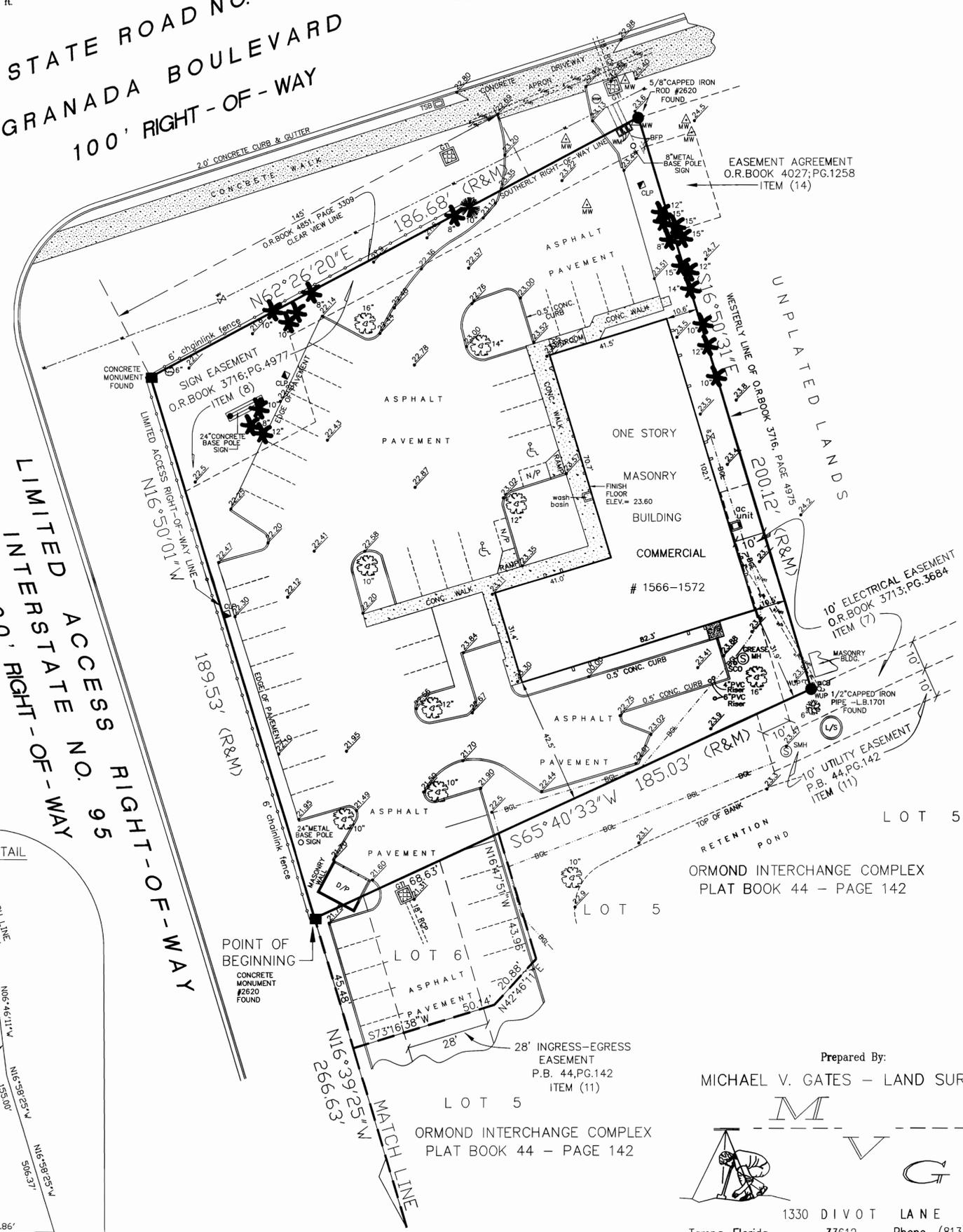
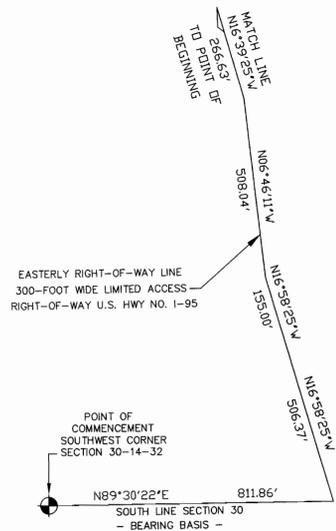
STATE ROAD NO. 40
GRANADA BOULEVARD
100' RIGHT-OF-WAY

LIMITED ACCESS RIGHT-OF-WAY
INTERSTATE NO. 95
300' RIGHT-OF-WAY

- Legend:**
- (R) Record information
 - (M) Measured information
 - wup wood utility pole
 - o/h overhead utility line
 - SMH Sanitary Manhole
 - BGL Buried Gas Line
 - LS Lift Station
 - b/att Buried AT&T Lines
 - o/h Over-head Utility Lines
 - D/P Dumpster Pad
 - CB Cable Box
 - GTI Grate Top Inlet
 - △ Monitor Well
 - ⊗ Gas Valve
 - ⊗ Water Valve
 - N/P No Parking
 - ⊗ Handi-Cap Parking
 - ⊗ Concrete Light Pole
 - conc. Concrete
 - WM Water Meter
 - BFP Back-Flow Preventor
 - O.R. Official Records
 - L.B. License Business
 - TSB Traffic Signal Box
 - ⊗ Denotes Measured Elevation
 - C/S Concrete Stoop
 - WL Water Line
 - SCO Sewer Clean-out

- Tree Legend**
- ⊗ pine tree
 - ⊗ palm tree
 - ⊗ oak tree
 - ⊗ ash tree
 - ⊗ cherry laurel

DESCRIPTION LEAD-IN DETAIL
NOT TO SCALE



DESCRIPTION

A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 30, TOWNSHIP 14 SOUTH, RANGE 32 EAST, VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: AS A POINT OF REFERENCE, COMMENCE AT A CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 30; THENCE RUN NORTH 89°30'22" EAST, ALONG THE SOUTH LINE OF SAID SECTION 30, A DISTANCE OF 811.86 FEET TO A N INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF THE 300-FOOT WIDE LIMITED ACCESS RIGHT-OF-WAY OF U.S. HIGHWAY I-95; THENCE RUN NORTH 16°58'25" WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY I-95, A DISTANCE OF 506.37 FEET TO A POINT THEREIN, SAID POINT BEING THE NORTHWESTERLY CORNER OF THAT CERTAIN PARCEL OF LAND DEEDED FROM CONSOLIDATED-TOMOKA LAND COMPANY TO RICHARD HALL JR., IN WARRANTY DEED DATED JULY 8, 1983, RECORDED IN OFFICIAL RECORDS BOOK 2467, PAGE 666, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE CONTINUE NORTH 16°58'25" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY I-95, A DISTANCE OF 155.00 FEET; THENCE RUN NORTH 06°46'11" WEST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 508.04 FEET; THENCE RUN NORTH 16°39'25" WEST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 266.63 FEET TO A POINT THEREIN, SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE, CONTINUE ALONG SAID LIMITED ACCESS RIGHT-OF-WAY, NORTH 16°50'01" WEST A DISTANCE OF 189.53 FEET; THENCE CONTINUE ALONG SAID LIMITED ACCESS RIGHT-OF-WAY, NORTH 62°26'20" EAST, A DISTANCE OF 186.68 FEET TO THE NORTHWESTERLY CORNER OF THAT PARCEL OF LAND DEEDED FROM CONSOLIDATED-TOMOKA LAND COMPANY TO B.P. OIL COMPANY IN WARRANTY DEED DATED DECEMBER 26, 1991, RECORDED IN OFFICIAL RECORDS BOOK 3716, PAGE 4975, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE, DEPARTING THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF U.S. HIGHWAY I-95 AND ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND, RUN SOUTH 16°50'31" EAST A DISTANCE OF 200.12 FEET TO THE SOUTHWESTERLY CORNER THEREOF; THENCE RUN SOUTH 65°40'33" WEST A DISTANCE OF 185.03 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID PARCEL CONTAINING 0.82 ACRES, MORE OR LESS, SAID PARCEL ALSO BEING SUBJECT TO ANY EASEMENTS OF RECORD.

LESS AND EXCEPT THAT PORTION DEEDED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION IN THE WARRANTY DEED DATED APRIL 15, 2002 IN OFFICIAL RECORDS BOOK 4851, PAGE 3309, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THAT CERTAIN ORMOND INTERCHANGE COMPLEX/STATE ROAD 40 OUTPARCEL DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS RECORDED JULY 26, 1994 IN OFFICIAL RECORDS BOOK 3938, PAGE 4031, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL, IF ANY, AS CONTAINED IN EASEMENT AGREEMENT BY AND BETWEEN STEAK 'N SHAKE INC. AND ORMOND INTERCHANGE COMPLEX PROPERTY OWNERS ASSOCIATION INC., DATED NOVEMBER 8, 1994, RECORDED MARCH 16, 1995 IN OFFICIAL RECORDS BOOK 3990, PAGE 2291, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THOSE EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL, IF ANY, AS CONTAINED IN EASEMENT AGREEMENT BY AND IN BETWEEN EXCHANGE ASSOCIATES, AND ORMOND INTERCHANGE COMPLEX PROPERTY OWNERS ASSOCIATION INC. DATED JANUARY 5, 1995, RECORDED MARCH 16, 1995 IN OFFICIAL RECORDS BOOK 3990, PAGE 2294, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THOSE EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL AS CONTAINED ON THE PLAT OF ORMOND INTERCHANGE COMPLEX, RECORDED IN PLAT BOOK 44, PAGE 142, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

TOGETHER WITH THOSE EASEMENTS FOR THE BENEFIT OF THE FEE PARCEL AS CONTAINED ON THE PLAT OF REPLAT OF LOT #4, ORMOND INTERCHANGE COMPLEX, RECORDED IN PLAT BOOK 44, PAGE 189, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. No underground installations or improvements have been located except as shown.
2. No Instruments of Record reflecting Easements, Rights of Way, and/or Ownership were furnished this Surveyor except as shown with the benefit of Title Commitment Prepared By: Fidelity National Title Insurance Company, Dated Feb. 12, 2012; Policy No. NT12-3119. Encumbrances listed in Schedule B II, identified by and labeled thus - (ITEM #), AS SHOWN HEREON.
3. Unless otherwise shown hereon, no Jurisdictional Wetland Areas or other physical topographic features have been located.
4. Bearings shown hereon are based on RECORD DATUM - SEE BEARING BASIS ON DRAWING.
5. This map does not determine or reflect ownership.
6. Elevations shown hereon are based on N.A.V.D. 1988, (North American Vertical Datum).

According to current Flood Insurance Maps Issued by the Federal Emergency Agency, the property shown appears to lie within ZONE "X" PANEL NO. 125136 0213 H, DATED 02/19/03.

SITE INFORMATION

PARCEL I.D.# 30-14-32-00-0432
AREA - 0.82 ACRES, MORE OR LESS.

Date: MARCH 12, 2012
Party Chief: MVG
Field Work: MARCH 10, 2012
Job Number: 2012-020
Drawing Number: 2012-020
Drawn By: MVG

Prepared For:
AEC SERVICES, INC.

CERTIFIED TO:

SUNOCO, INC. (R&M)
FIDELITY NATIONAL TITLE INSURANCE COMPANY
LAND SERVICES USA
AEC SERVICES, INC.

SURVEYOR'S CERTIFICATE:

I hereby certify that this survey was made under my responsible charge, is true and correct, and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.052, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

DATE:

Michael V. Gates, PSM
FLORIDA REG. NO. 5905

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper

Prepared By:
MICHAEL V. GATES - LAND SURVEYOR

1330 DIVOT LANE
Tampa, Florida 33612
Phone (813) 932-3119

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 1, 2013

SUBJECT: 1608 North US Highway 1 (Days Inn/Scottish Inns) –
Small-Scale Land Use Map Amendment

APPLICANT: City Initiated

NUMBER: LUPA 12-099

PROJECT PLANNER: S. Lauren Kornel, AICP, Senior Planner

INTRODUCTION: This is a City initiated request, to change the existing Future Land Use designation of a ±6.88-acre parcel from Volusia County “Commercial” to Ormond Beach “Tourist Commercial” located at 1608 North US Highway 1 as the result of an annexation on January 8, 2013.

BACKGROUND: The property located at 1608 North US Highway 1, Days Inn/Scottish Inns, is owned by Shantoshi, Inc. which operates a 65-room hotel/motel. The property was developed under Volusia County review in the early 1970’s and connected to City water in 1998. The property was annexed on January 8, 2013, with Ordinance 2012-41 based on a voluntary Petition/Consent for Annexation signed on October 22, 2012 and contiguity with the City boundary. Since the subject property is now located within the City of Ormond Beach, the City is required, by policy to assign a similar land use and zoning in terms of density and intensity as in the County. Until a City land use designation and zoning classification are adopted, the property maintains its County land use and zoning classifications.

The subject property currently has a County Future Land Use Map designation of Volusia County “Commercial” and fronts the west side of US Highway 1. The property abuts the interchange for Interstate 95 to the east and the Florida East Coast Railway to the west. The property is currently developed as a 65-room hotel/motel and there are currently no plans for further site development. The expected zoning classification will be B-7 (Highway Tourist Commercial) and will follow upon the completion of the administrative land use change from Volusia County “Commercial” to Ormond Beach “Tourist Commercial”. The proposed land use amendment schedule of the subject property is as follows:

Action/Board	Date
Planning Board	February 14, 2013
Transmit to Volusia County Growth Management Commission and adjoining jurisdictions	February 15, 2013
City Commission 1 st Reading	March 19, 2013
City Commission 2 nd Reading	April 2, 2013
Transmit to Florida Department of Economic Opportunity	April 3, 2013

ANALYSIS: The proposed land use amendment seeks to change the land use designation of the subject property from unincorporated Volusia County “Commercial” to City of Ormond Beach “Tourist Commercial” to assign a land use to the subject property as a result of annexation to allow development of the site for the uses allowed in the B-7 zoning district. Staff has reviewed the application to amend the land use as follows:

1. Whether the land use meets the criteria established in the City’s Comprehensive Plan and Florida Statute.

City’s Comprehensive Plan:

Objective 1.2 of the Future Land Use Element of the Comprehensive Plan states that the City needs to ensure that there are adequate amounts of lands to meet the commercial land use needs of the community. The existing development pattern in this area is the “Tourist /Commercial” land use designation. In addition, Policy 5.1.1 under Goal 5. Annexation of the Future Land Use Element, states that the City shall assign a similar land use to annexed properties.

Florida Statute: In accordance with Chapter 163.3187(1)(a)(b)(c), Florida Statutes, any local government comprehensive plan amendments directly related to proposed small-scale development activities may be approved without regard to statutory limits on the frequency of consideration of amendments to the local comprehensive plan. A small-scale development amendment may be adopted only under the following conditions:

1. A small scale development amendment may be adopted under the following conditions.

a. The proposed amendment involves a use of 10 acres or fewer and:

The subject property is ±6.88 acres (less than 10 acres).

- b. The cumulative annual effect of the acreage for all small scale development amendments adopted by the local government does not exceed a maximum of 120 acres in a calendar year.**

The proposed small-scale amendment complies with this requirement and will be the 5th amendment for the current year 2013. The following table illustrates previous small scale future land use amendments for 2013:

<u>Case #</u>	<u>Address</u>	<u>±Acreage</u>
LUPA 13-011	1428 North US Highway 1	0.53
LUPA 13-009	1438 North US Highway1	0.15
LUPA 13-007	1438 North US Highway1	0.72
LUPA 12-116	1433, 1435, 1437, and 1439 North US Highway 1	3.97
		5.37 acres

- c. The proposed amendment does not involve a text change to the goals, policies, and objectives of the local government’s comprehensive plan, but only proposes a land use change to the future land use map for a site-specific small scale development activity. However, text changes that relate directly to, and are adopted simultaneously with, the small scale future land use map amendment shall be permissible under this section.**

The proposed amendment is solely to the Future Land Use Map and does not propose any text amendments to the City’s Comprehensive Plan.

- d. The property that is the subject of the proposed amendment is not located within an area of critical state concern, unless the project subject to the proposed amendment involves the construction of affordable housing units meeting the criteria of s. [420.0004\(3\)](#), and is located within an area of critical state concern designated by s. [380.0552](#) or by the Administration Commission pursuant to s. [380.05\(1\)](#).**

The site location is not located within an area of state critical concern, and this criterion does not apply.

2. Whether the land use is an appropriate use of the land.

Land Use: The adjacent land uses and zoning are as follows:

Land Use and Zoning Designations of Adjacent Property			
	Current Land Uses	Future Land Use Designation	Zoning
North	Best Value Inn	Ormond Beach "General Commercial"	Ormond Beach B-7 (Highway Interchange Commercial)
South	I-95 Interchange	N/A	N/A
East	I-95 Interchange	N/A	N/A
West	Vacant	Ormond Beach "Activity Center"	Volusia County A-2

The future land use designation presently assigned to the subject property is Volusia County "Commercial". The directive text of Volusia County's Comprehensive Plan states the following for the "Commercial" land use category:

"Commercial (C) - This designation accommodates the full range of sales and service activities. These uses may occur in self-contained centers, multi-story structures, campus parks, municipal central business districts, or along arterial highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and design will depend on locational factors, particularly compatibility with adjacent uses, availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be located to protect adjacent residential use from such impacts as noise or traffic. In wellfield protection areas uses are prohibited that involve the use, handling, storage, generation or disposal of hazardous or toxic material or waste or petroleum products. Intensity shall be no more than a fifty-five percent Floor Area Ratio (0.55 FAR) consistent with the applicable underlying zoning classification standards and land development regulations.

Commercial development in newly developing areas is designated in nodes at major thoroughfare intersections. Primarily new development should be designed to utilize the shopping center concept and not designed to encourage strip style commercial development. The various types of shopping centers are described in Chapter 20, Definitions under Shopping Centers.

However, the Plan recognizes existing strip commercial development along many arterial roadways may remain. These areas are identified on the Future Land Use Map and if the designation is shown on only one side of a roadway, this specifically provides that particular side is intended for commercial use and is not to suggest that the opposite side

is also included. Future extension of the strip commercial beyond that shown on the Plan Map shall require a Plan amendment.

Existing commercial uses not indicated on the Future Land Use Map may be consistent with the Plan if they comply with Number 16 of the Interpretation Section.”

The request is for an amendment to the City “Tourist Commercial” land use category. The directive text of the City’s Comprehensive Plan states the following for “Tourist Commercial” category:

“Purpose: A multi-use land use category to provide uses along the Atlantic Ocean, SR A1A and highway interchanges, that include transit availability, retail services, tourist attractions, restaurants, multi-family and lodging to visitors to the City. For projects that propose a mixture of residential and non-residential uses, the minimum FAR should be 0.2.

Density: Maximum: 32 units per acre.

Maximum FAR: 1.5.”

The proposed future land use designation is compatible with adjacent land uses to the subject property in terms of Volusia County density and intensity standards. At this time, the Planning Department does not have any proposals regarding any further development of the property. The directive text of the City’s Comprehensive Plan explains that commercial development in Ormond Beach has occurred along the major arterials and that this trend should be continued.

3. Whether there is adequate infrastructure to serve the proposed land use.

Infrastructure: Impact analysis examines the maximum expected impacts of the current designation versus the requested designation based on a preliminary development scenario. This analysis is not meant to replace or contradict the findings of a Concurrency Management Review. However, the relative differences between designations can provide useful information in the long-range planning process. This analysis is based on ±6.88 developed acres to be assigned the City “Tourist Commercial” land use.

Transportation: Based on the ITE rate of category 320 (ITE Trip Generation Manual, 9th Edition), a motel of 68 units is estimated to generate 383 daily trips. Since the site is already developed and designated Volusia County “Commercial”, a change in Future Land Use to Ormond Beach “Tourist Commercial” will not generate an increase in new trips at this time.

Water & Sewer: The subject property is located in the utility service area of the City of Ormond Beach and will not generate in increase in demand. While the existing water pressure is low, the City plans to install a booster pump at Nova Road and US Highway 1.

Stormwater Management: The site is developed and was constructed prior to current stormwater regulations. Any new development would require stormwater review.

Solid Waste: This property is served by the City of Ormond Beach.

Schools: The site is developed as a hotel/motel and there will be no impacts to schools as a result of the subject land use amendment. In correspondence dated November 14, 2012, the Volusia County School Board indicated they have no objection to the proposed future land use amendment.

Other Services: City police and fire protection services serve this area. The parcel is located within an approximate 4-5 minute response time from emergency facilities.

4. Whether the proposed map amendment impacts surrounding jurisdictions.

The developed property is not located next to another City and there are no new impacts expected to any surrounding jurisdiction. The North US Highway 1 corridor near the I-95 interchange is a mixture of properties located within Ormond Beach and unincorporated Volusia County.

CONCLUSION: Staff supports the land use amendment from Volusia County “Commercial” to Ormond Beach “Tourist Commercial”. Since the existing parcel is developed as a hotel/motel, this small-scale land use map amendment is an administrative amendment required to assign a City Future Land Use Map designation to the subject parcel. Staff believes that the Ormond Beach “Tourist Commercial” land use category is appropriate for the following reasons:

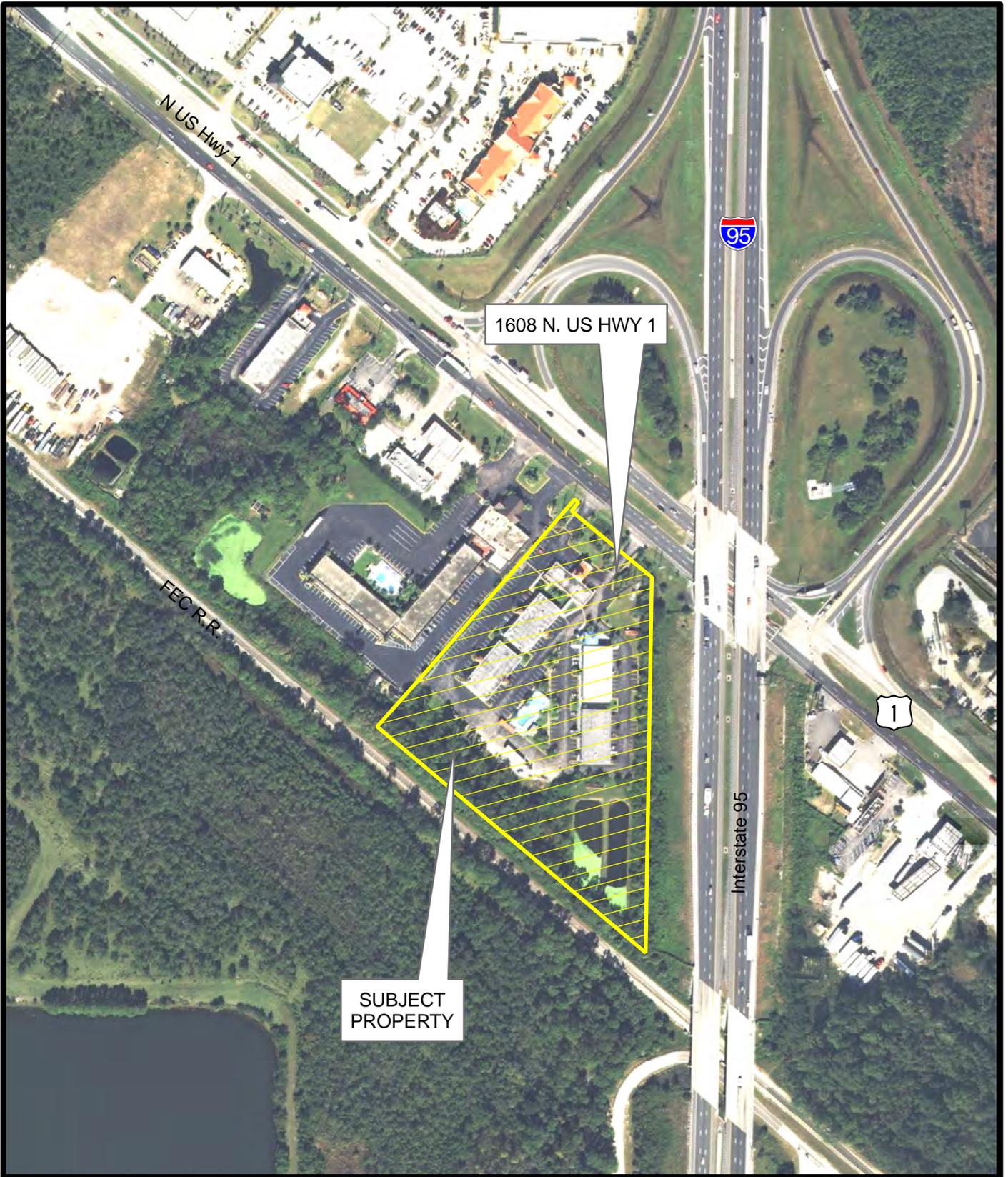
1. The amendment meets the Goals, Objectives, and Policies of the City’s comprehensive plan;
2. The amendment meets the criteria established in the City’s Comprehensive Plan and Florida Statute;
3. The proposed land use is an appropriate use of land; and
4. There is adequate infrastructure to serve the proposed land use. Since the site is already developed, there will be no change to impacts on facilities and services as a result of the administrative change in land use from county “Commercial” to Ormond Beach “Tourist Commercial”.
5. The proposed land use will not impact surrounding jurisdictions.

RECOMMENDATION: Staff recommends that the Planning Board recommend **APPROVAL** of Case # LUPA 12-101 – a Small Scale Future Land Use Map Amendment to change the land use for ±1.15 acres from the existing land use designation of Volusia County “Commercial” to City of Ormond Beach “Tourist Commercial” for 1622 North US Highway 1.

Attachments Exhibit 1: Location Aerial and Photo
 Exhibit 2: Future Land Use Maps
 Exhibit 3: Legal Description and Sketch
 Exhibit 4: Volusia County Schools Letter

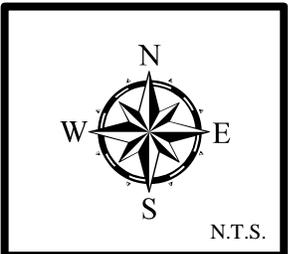
EXHIBIT 1

Location Aerial and Photo



AERIAL MAP
1608 N. US HWY 1 (3136-01-64-0170)

The City of Ormond Beach G.I.S. Deaprtment
Prepared By: Steve Johnson 11/11/11



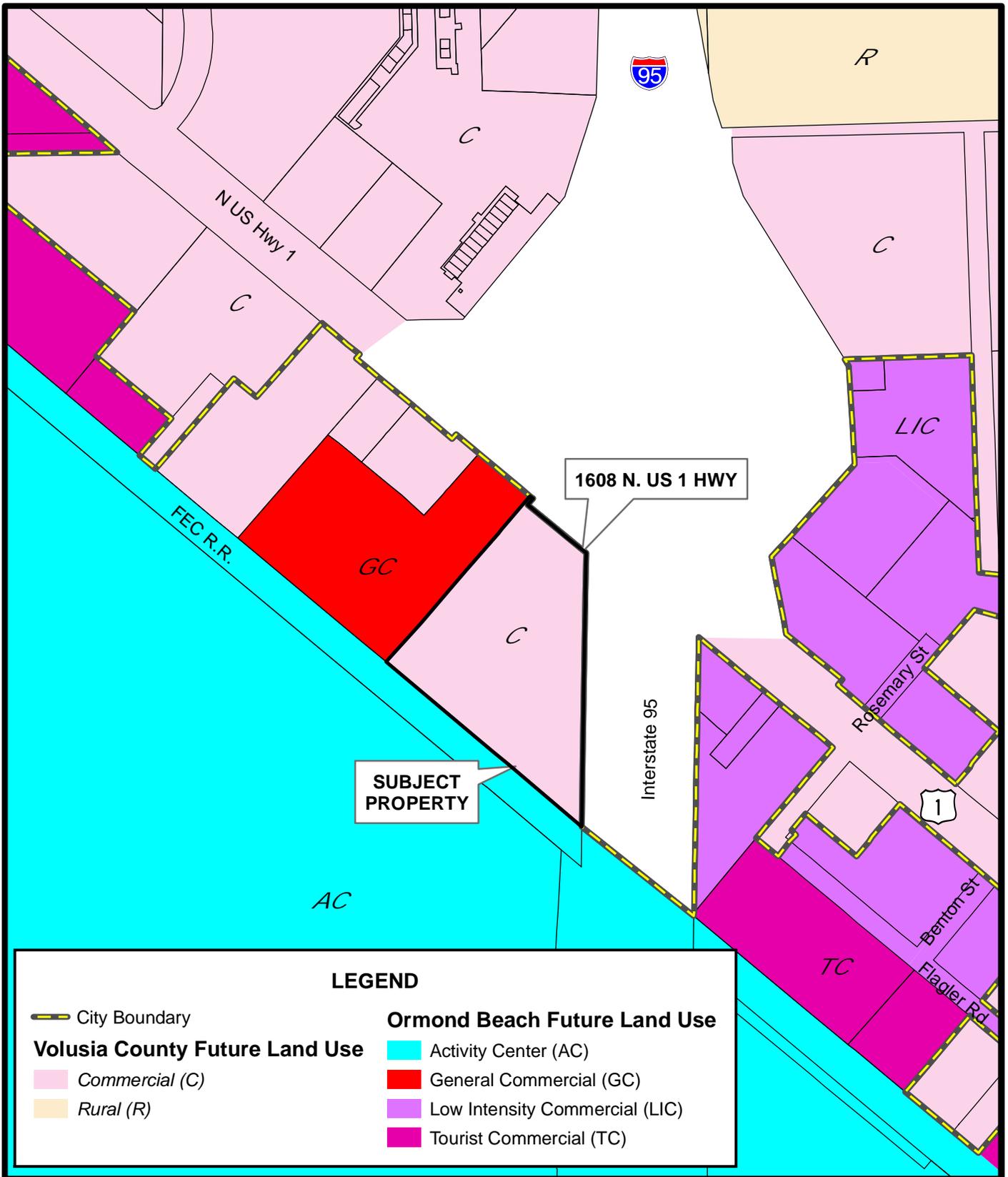


Days Inn

Scottik Inn
3.5
INN

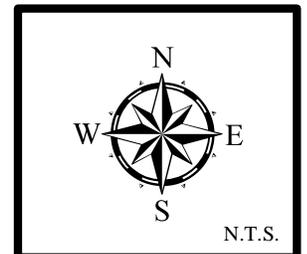
EXHIBIT 2

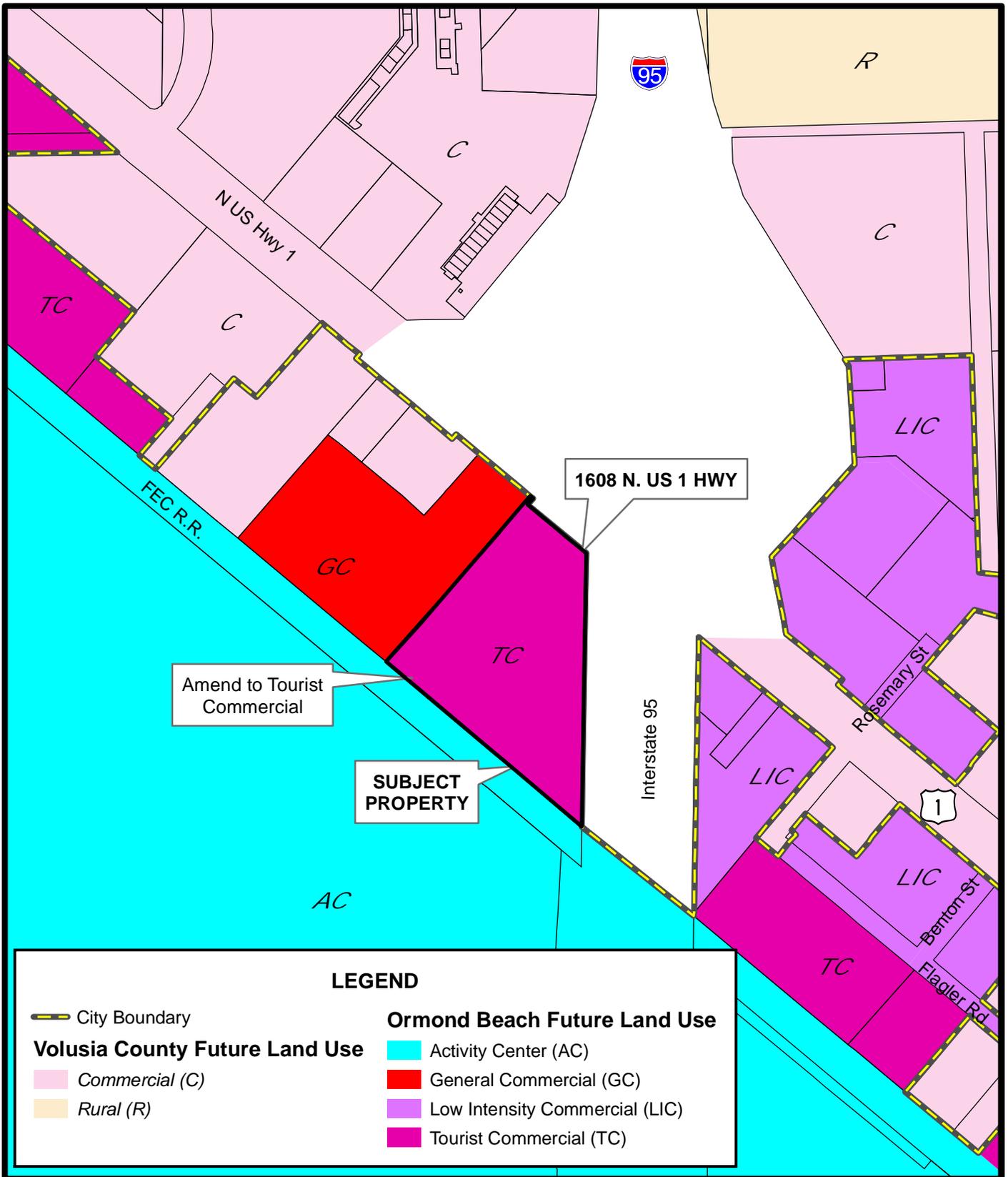
Future Land Use Maps



CURRENT FUTURE LAND USE MAP
1608 N. US 1 HWY
PID 3136-01-64-0170

Prepared By: The City of Ormond Beach
 G.I.S. Department 1/18/2013





PROPOSED FUTURE LAND USE MAP
1608 N. US 1 HWY
PID 3136-01-64-0170

Prepared By: The City of Ormond Beach
 G.I.S. Department 1/18/2013

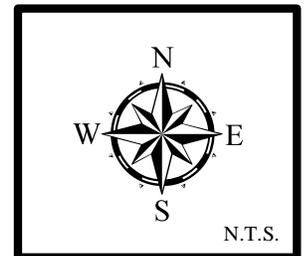


EXHIBIT 3

Legal Description and Sketch

LEGAL DESCRIPTION

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AS A POINT OF COMMENCEMENT BEGIN AT THE INTERSECTION OF THE SOUTHEASTERLY LINE OF LOT 1, AND SAID BLOCK 64, OF SAID NATIONAL GARDENS, WITH THE SOUTHERLY LINE OF U.S. HIGHWAY No.1 (A 160 FOOT RIGHT-OF-WAY AS NOW OCCUPIED AND ESTABLISHED); THENCE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 235.00 FEET; THENCE S40°04'40"W A DISTANCE OF 32.00 FEET; THENCE S49°55'20"E A DISTANCE OF 550.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF US HIGHWAY NO.1, A DISTANCE OF 231.19 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY OF SAID INTERSTATE 95, (AS NOW OCCUPIED AND ESTABLISHED); THENCE S01°04'25"W ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 799.34 FEET TO POINT OF INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF THE FLORIDA EAST COAST RAILWAY, (A 100 FOOT RIGHT-OF-WAY AS NOW OCCUPIED AND ESTABLISHED); THENCE N49°55'20"W ALONG SAID NORTHERLY LINE A DISTANCE OF 734.23 FEET; THENCE N40°04'40"E, AND PARALLEL WITH THE NORTHWESTERLY LINE OF SAID BLOCK 64 AND 67 A DISTANCE OF 621.20 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 299,844 SQ. FT. OR 6.88 ACRES MORE OR LESS.

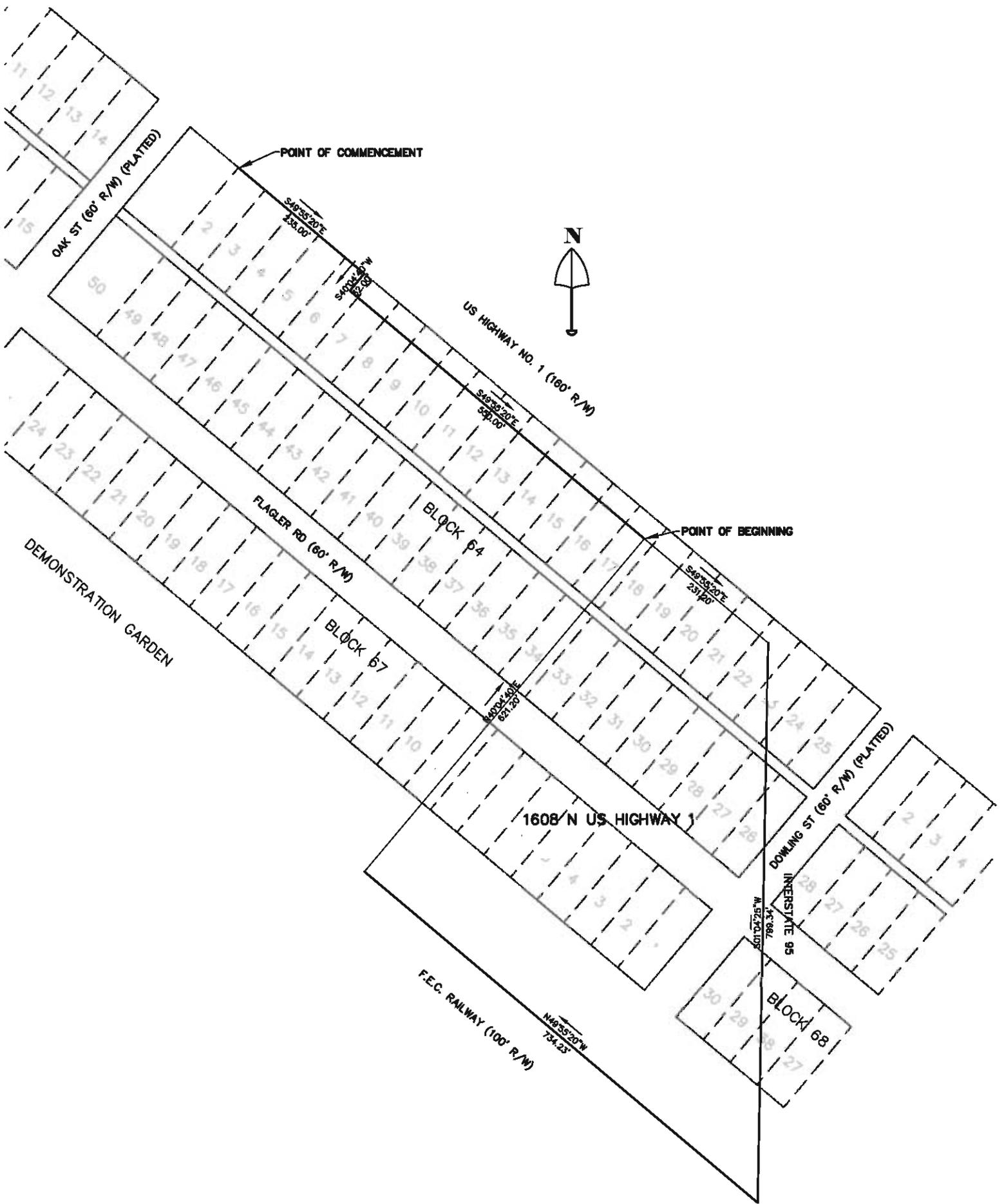
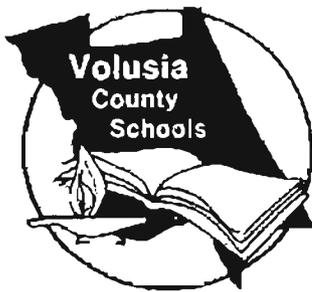


EXHIBIT 4

Volusia County Schools Letter



Dr. Margaret A. Smith
Superintendent of Schools

FACILITIES SERVICES

3750 Olson Drive, Daytona Beach, Florida 32124
PHONE: 386/947-8786 FAX: 386/506-5056

School Board of Volusia County

Dr. Al Williams, Chairman
Ms. Judy Conte, Vice-Chairman
Mr. Stan Schmidt
Ms. Candace Lankford
Mrs. Diane Smith

November 14, 2012

Ms. Lauren Kornel
Senior Planner
City of Ormond Beach
22 S. Beach Street, #104
Ormond Beach, FL 32174

RE: Land Use Amendment – 1608 N. US Hwy 1

Dear Ms. Kornel:

District staff has reviewed the proposed land use amendment information for the 6.88-acre property located at 1608 North US Hwy 1 in the Ormond Beach area.

The current land use designation for the subject property is Volusia County Commercial and currently supports a 65-room motel. The proposed land use designation is Ormond Beach Tourist Commercial. This land use designation could permit up to thirty two (32) units per acre. District staff does acknowledge that the subject property is developed and no new land uses are proposed with this map amendment.

Staff understands that this amendment is essentially 'housekeeping' and therefore has no objection to the proposed land use amendment.

Thank you for the opportunity to review and comment on this land use change. If you should have questions or require additional information, please do not hesitate to contact me at (386) 947-8786 extension 50805

Sincerely,


Helen LaValley
Planning Specialist

C. Saralee L. Morrissey, Director (via email)
File

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 1, 2013

SUBJECT: 1608 North US Highway 1- Days Inn/Scottish Inns:
Amendment to Official Zoning Map

APPLICANT: City Initiated

NUMBER: RZ12-100

PROJECT PLANNER: S. Lauren Kornel, AICP, Senior Planner

INTRODUCTION: This is a city initiated request to amend the City's Official Zoning Map for a ±6.88-acre parcel of land from the existing zoning classification of Volusia County B-6 (Highway Interchange Commercial) to City of Ormond Beach B-7 (Highway Tourist Commercial) at 1608 North US Highway 1, Days Inn/Scottish Inns.

BACKGROUND: The property located at 1608 North US Highway 1 is owned by Shantoshi, Inc., which operates a 65-room motel. The property was developed under Volusia County review in the mid 1970's and connected to City water in 1998. The property was annexed on December 18, 2012, with Ordinance 2012-41. The annexation occurred based on connection to City utilities.

The City is presently processing a separate land use amendment from Volusia County "Commercial" to Ormond Beach "Tourist Commercial". The proposed rezoning from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Tourist Commercial) is contingent upon adopting the land use change. As previously stated, the subject property is already developed and there is no site development or alterations proposed for the subject property associated with this re-zoning. Subsequent to Planning Board review, the rezoning will be reviewed by the City Commission for final action.

ANALYSIS: The existing Volusia County zoning classification for the subject property is B-6 (Highway Tourist Commercial). The Volusia County Land Development Code states the purpose and intent for the B-6 zoning is as follows:

"The purpose and intent of the B-6 Highway [Interchange] Commercial Classification is to provide a specialized classification for hotels, motels and tourist-related retail facilities near major highway interchanges."

Below is a list of the permitted (staff approval) and Special Exception (County Council approval) uses for the existing zoning district.

Volusia County Permitted B-6 (Highway Interchange Commercial) Uses

Automobile rental agencies	Cultural arts center	Houses of worship	Public schools
Automotive service stations, types A, B, C	Essential utility services	Laundry and dry-cleaning establishments	Publicly owned park and recreational areas
Bars, accessory to hotels & restaurants	Exempt excavations	Libraries	Publicly owned or regulated water supply wells
Barber and beauty shops	Exempt landfills	Newsstands	Restaurants, types A and B
Car washes	Fire stations	Mobile recreational vehicle shelter sales and services	Retail specialty shops
Communication towers not exceeding 70 in height	Government sponsored civic centers	Museums	Theaters
Convenience stores with more than eight vehicular service positions	Home occupations, class A	Nightclubs	Tire sales
Convenience stores, with or without fuel dispensers	Hotels/motels	Outdoor entertainment event	

Volusia County Special Exception B-6 (Highway Interchange Commercial) Uses

Communication towers exceeding 70 feet	Flea Markets	Public uses not listed as a permitted principal use	Only one single-family dwelling for the owner/manager of an existing permitted use
Cemeteries	Mobile recreational vehicle and shelter parks	Public utility users and structures	Truck stops and storage
Curb markets	Outdoor entertainment and recreational uses and structures	Railroad yards, siding and terminals	
Excavations only for stormwater retention ponds for which a permit is required	Professional or trade schools related to permitted uses	Schools, parochial or private	

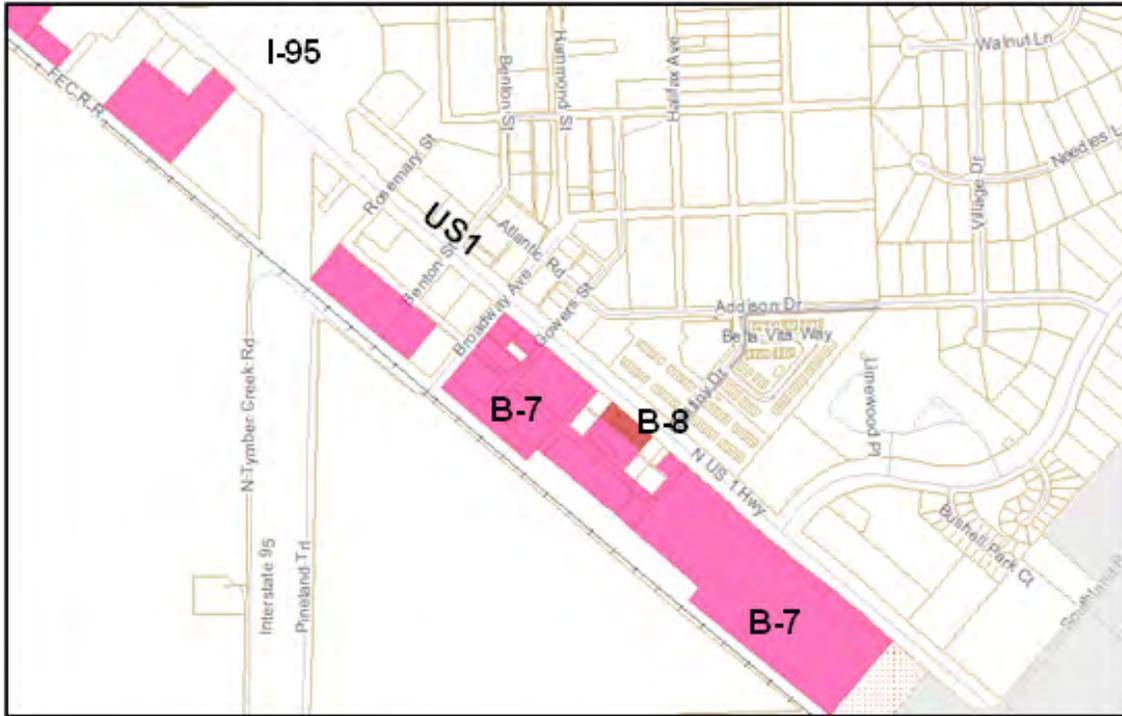
The subject property is undergoing a land use amendment to assign a City Future Land Use designation of "Tourist Commercial". During staff's analysis the following points were considered:

1. The area of the subject property is located in the general area of the intersection of Interstate 95 and US Highway 1. Uses in this area include motel, gas station,

nightclub, restaurant, convenience store, and other commercial uses, including office and retail.

2. South of the intersection of Interstate 95 and US Highway 1, the B-7 (Highway Tourist Commercial) zoning classification extends approximately 4,500 linear feet.

Ormond Beach Zoning Map



3. The goal of the zoning classification is to provide the most similar classification assigned by Volusia County. In accordance with the City’s Comprehensive Plan the city “Tourist Commercial” land use designation was applied to the subject property. In choosing an appropriate zoning district, Table 2.2 under Chapter 2, Article I – Establishment of Zoning Districts and Official Zoning Map, Section 2.02 of the City’s Land Development Code was referenced.

Comprehensive Plan Future Land Use Map Designation	Corresponding Compatible Zoning District
Tourist Commercial	Oceanfront Tourist Commercial (B-6) Highway Tourist Commercial (B-7) Planning Residential Development (PRD) Planned Business Development (PBD)

Chapter 2, Article I Zoning Districts, Section 2.02 Future Land Use Map Designations and Zoning Districts, Table 2.2

Under the “Tourist Commercial” land use designation, there are four corresponding and compatible zoning districts including Oceanfront Tourist Commercial (B-6), Highway Tourist Commercial (B-7), Planned Residential Development (PRD), and Planned Business Development (PBD). The PRD and PBD zoning districts were eliminated since those districts are planned development designations and do not apply to the annexation of the subject

property. Since the subject property is not located beachside, the B-7 zoning district is not applicable. Given the location of the subject property near an interchange where tourist facilities and tourist related activities are located, the B-6 zoning district was identified as corresponding and compatible with the “Tourist Commercial” land use designation.

Zoning Adjacent Land Use:

Adjacent land uses and zoning are as follows:

Land Use Designations and Zoning Classifications of Surrounding Property

	Current Land Uses	Future Land Use Designation	Zoning Classification
North	Best Value Inn	Ormond Beach "General Commercial"	Ormond Beach B-7 (Highway Interchange Commercial)
South	I-95 Interchange	N/A	N/A
East	I-95 Interchange	N/A	N/A
West	Vacant	Ormond Beach "Activity Center"	Volusia County A-2

CONCLUSION/CRITERIA FOR APPROVAL: Section 1-18 D.3. of the Land Development Code states that the Planning Board shall review non-planned development rezonings based on the Development Order criteria in Section 1-18.E. of the Land Development Code which are analyzed below:

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare, or quality of life.**

No specific development is proposed and the request is based on a need to assign a City zoning classification to the property as the result of annexation. The zoning map amendment is contingent on a City land use being assigned and will not adversely affect public health, safety, welfare, or the quality of life.

- 2. The proposed development is consistent with the Comprehensive Plan.**

There is a separate land use map amendment that proposes to assign a City “Tourist Commercial” designation to the property. Policy 5.1.1. of the Future Land Use Element states that properties annexed into the City of Ormond Beach shall be assigned similar land uses that they had in Volusia County. The subject property is already developed with a 65-room motel in operation and no additional improvements are proposed. The requested B-7 zoning district is consistent with the “Tourist Commercial” land use designation.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The property has an existing building and site improvements. There is no construction proposed and criterion is not applicable.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

This proposed zoning map amendment is not anticipated to have a significant impact on adjacent properties and the existing hotel/motel will continue to operate as it historically has.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 8. The proposed development provides for the safety of occupants and visitors.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

10. The testimony provided at public hearings.

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet.

Staff supports the rezoning from Volusia County B-6 to Ormond Beach B-7. Since the subject parcel is developed as a hotel/motel, this rezoning is administrative and required to assign a zoning classification to the parcel. In accordance with Section 1-18.E.3 of the Land Development Code which states that the City Commission shall consider rezonings based on the consistency with the Comprehensive Plan, the rezoning is consistent based upon the following points:

- The impacts on facilities and services will not change as a result of the requested zoning amendment from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).
- The proposed City zoning classification of B-7 is most consistent with the Volusia County zoning classification of B-6 and provides similar types of uses.
- The administrative request is consistent with the compatibility matrix outlined in the Land Development Code for the Future Land Use Plan Map designation of "Tourist Commercial".

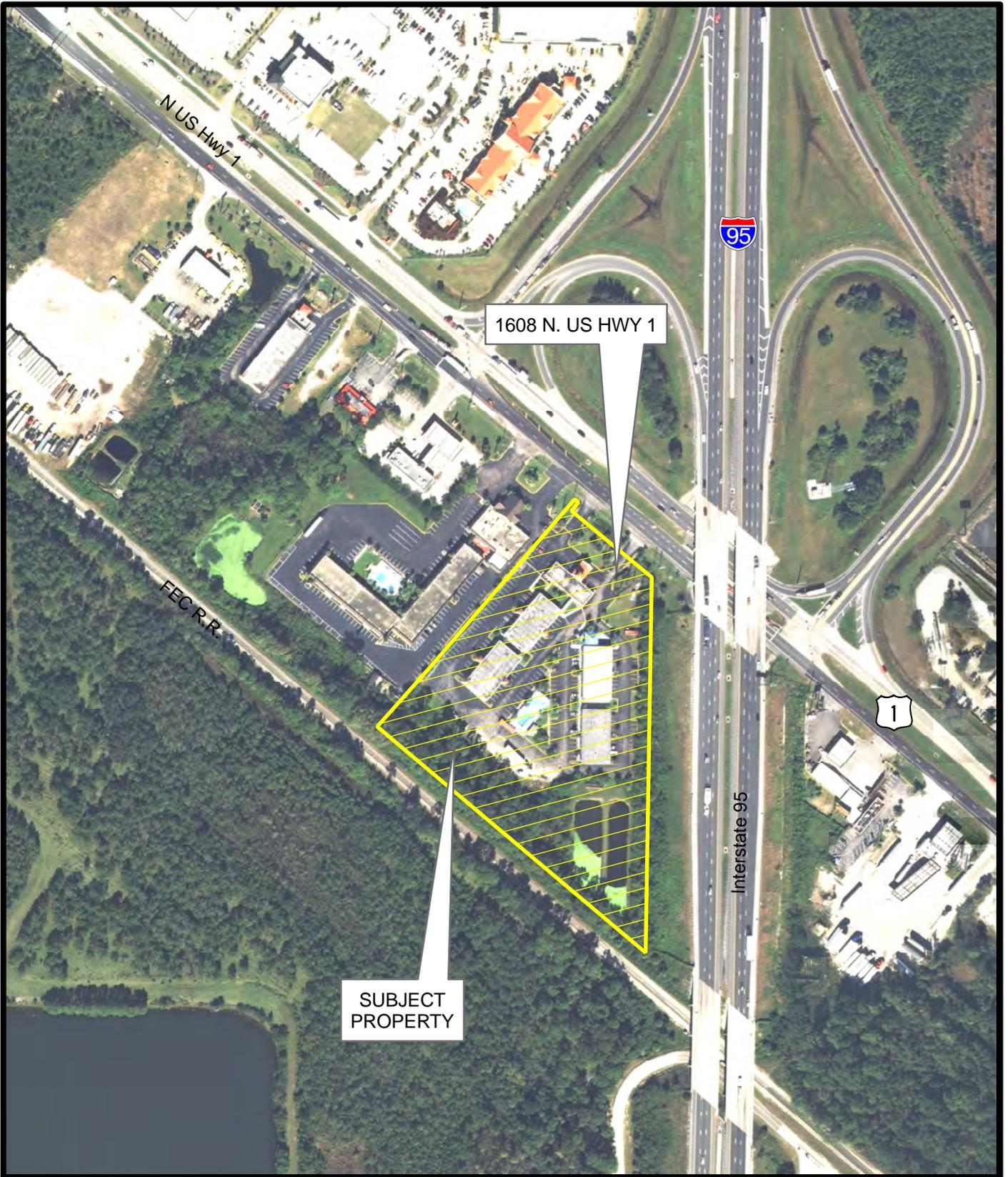
RECOMMENDATION: Staff recommends that the Planning Board recommend **APPROVAL** to the City Commission of the administrative request to amend the Official Zoning Map to change the zoning classification of 1608 North US Highway 1, as described in the attached legal description, from Volusia County B-6 (Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).

Attachments

- Exhibit 1: Location Aerial, Photo, Zoning Map
- Exhibit 2: Legal Description and Sketch
- Exhibit 3: B-7 Zoning District

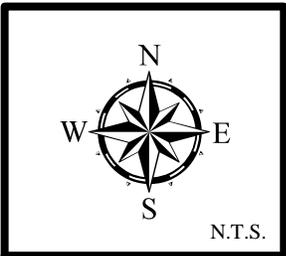
EXHIBIT 1

Location Aerial, Photo and Zoning Map



AERIAL MAP
1608 N. US HWY 1 (3136-01-64-0170)

The City of Ormond Beach G.I.S. Deaprtment
Prepared By: Steve Johnson 11/11/11

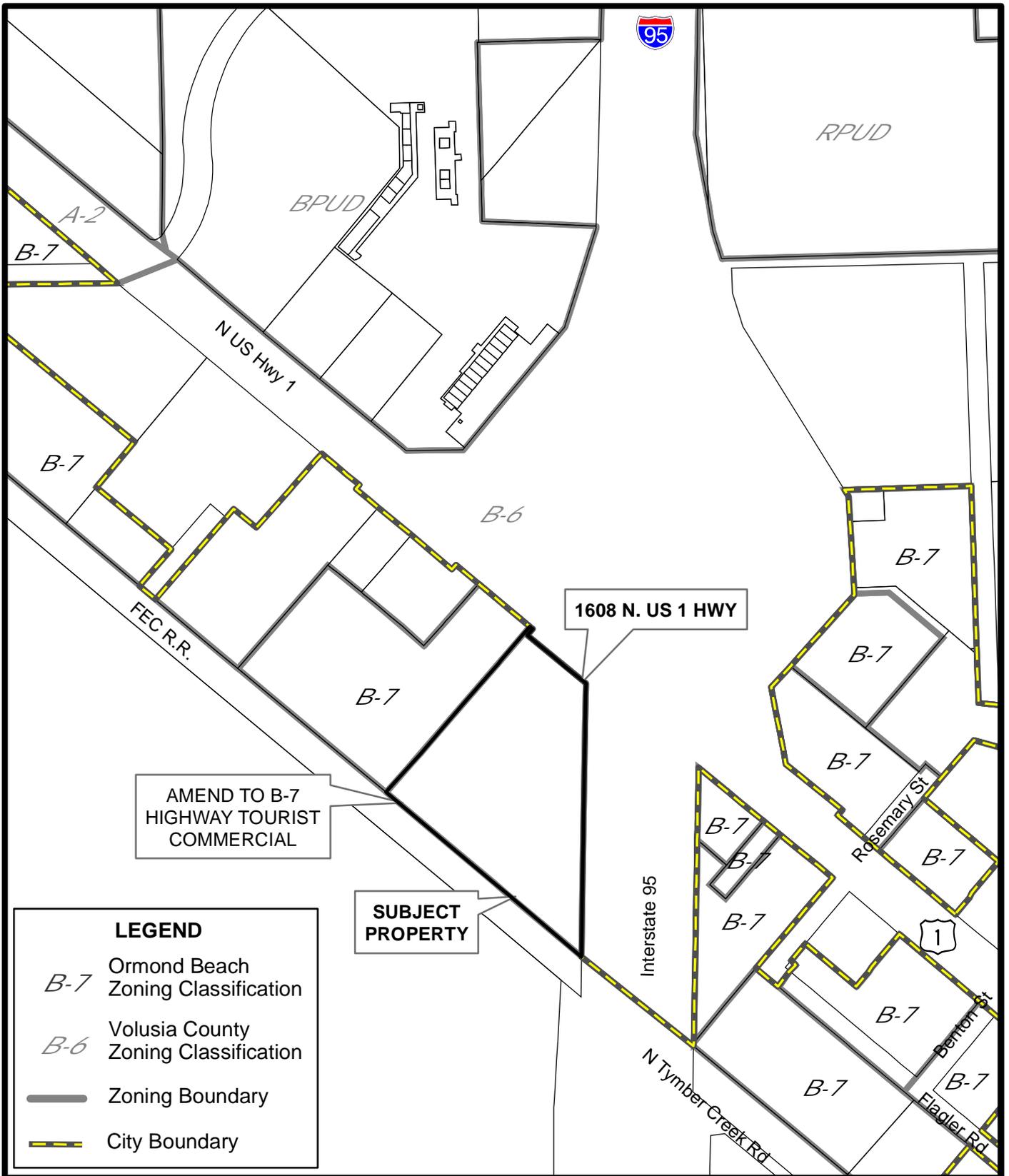


Days Inn

Scottish
Express

28.85





LEGEND

- B-7* Ormond Beach Zoning Classification
- B-6* Volusia County Zoning Classification
- Zoning Boundary
- - - City Boundary

AMEND TO B-7
HIGHWAY TOURIST
COMMERCIAL

SUBJECT
PROPERTY

1608 N. US 1 HWY



ZONING MAP
1608 N. US 1 HWY
PID 3136-01-64-0170

The City of Ormond Beach G.I.S. Department
 Prepared By: Steve Johnson 1/16/2013

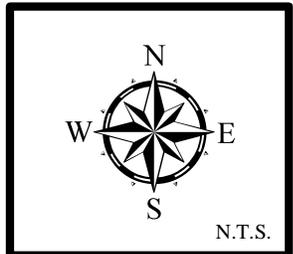


EXHIBIT 2

Legal Description and Sketch

LEGAL DESCRIPTION

PART OF BLOCK 64 AND 67, EXCEPT A PORTION OF SAID BLOCK 64 IN THE RIGHT-OF-WAY OF US HIGHWAY NO.1 AND US INTERSTATE NO.95, ALSO PART OF BLOCK 68, AND PART OF FLAGLER ROAD, DOWLING STREET, AND A 15 FOOT ALLEY (ALL NOW VACATED), LYING WESTERLY OF THE RIGHT-OF-WAY OF SAID US INTERSTATE 95 ALL IN REVISED PLAT OF NATIONAL GARDENS, AS RECORDED IN MAP BOOK 10, PAGES 250-253, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

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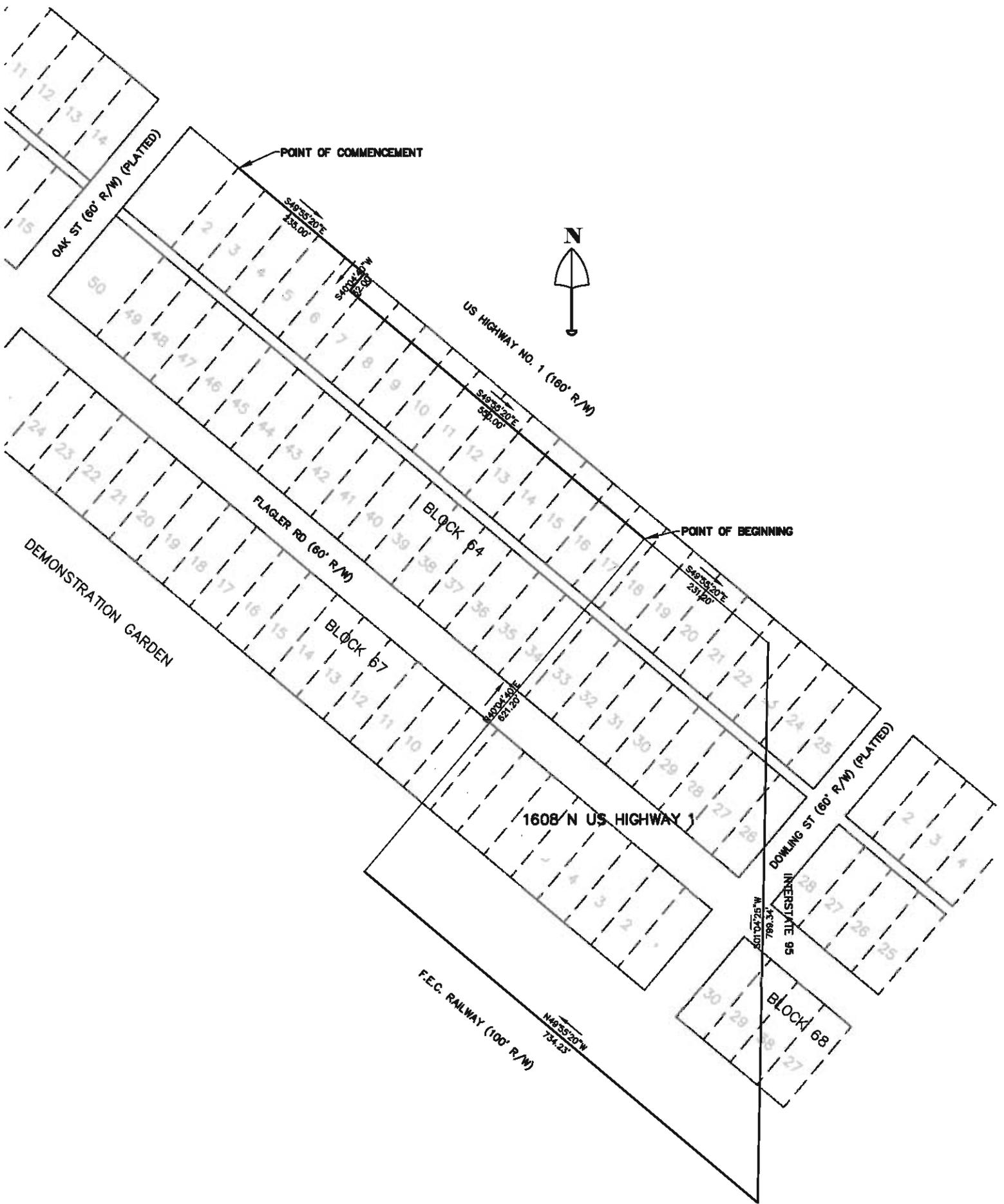


EXHIBIT 3

B-7 Zoning District

SECTION 2-28: B-7: HIGHWAY TOURIST COMMERCIAL Zoning District

A. PURPOSE: The purpose of the Highway Tourist Commercial (B-7) zoning district is to provide for a variety of tourist facilities and tourist-related support activities in an attractive setting which will promote pedestrian activity and reinforce positive visitor experience. This district is designed for use within or in close proximity to other districts within which major Transient Lodging development has occurred or is permitted.

B. DIMENSIONAL STANDARDS

1.	2.	3.	4.	5.	6.	7.	8.	9. Setbacks				
								a.	b.	c.	d.	e.
Type	Density	Maximum Building Height	Maximum Building Coverage	Maximum Impervious Lot Coverage	Minimum Lot Size	Minimum Lot Width	Minimum Lot Depth	Front	Rear	Side	Street Side/Corner	Waterbody
Non-Residential Uses	36 (Transient Lodging)	50'	40%	75%	20,000 SF	100'	N/A	20'	30' if abutting residential district; 5' additional combined side yard required for each story over 2	10' 20' when abutting a multi-family district; 25' when abutting a single-family district; 5' of additional combined yard area required for each story over 2	20'	30'
Multi-Family	10	50'	40%	75%	20,000 SF	100'	N/A	20'	30' if abutting residential district	10' when abutting a multi-family district; 25' when abutting a single-family district	20'	30'

C. PERMITTED USES

- Adult Day Care Center
- Assisted Living Facility
- Business/Professional Services
- Business Services
- Clubs and Fraternal Organization
- Convenience Store, Type "A"
- Financial Institutions
- Nursing Home
- Personal Services
- Retail Sales and Services
- School of Art
- Schools, Public
- Transient Lodging
- Veterinarian

D. CONDITIONAL USES

- Bar
- Community Residential Home
- Convenience Store, Type "B"
- Convenience Store, Type "C"
- Dwelling, Multi-Family
- Family Day Care Home
- Golf Course, contoured
- Hospital
- House of Worship
- Nightclub
- Parking Lot
- Parking Garage
- Parks and Recreation Facilities, Private
- Parks and Recreation Facilities, Public
- Public Facilities
- Public Utilities
- Recreation Facilities, Indoor
- Restaurant, Type "A"
- Restaurant, Type "B"
- Restaurant, Type "C"
- School, Private
- Shopping Center
- Telecommunication Tower, Camouflaged
- Theater
- Wind Energy System

E. SPECIAL EXCEPTION USES

- Automatic Amusement Center
- Nightclub
- Outdoor Activity
- Outdoor Storage
- Recreation Facilities, Outdoor
- Telecommunication Tower
- Vehicle Rental

F. OTHER STANDARDS

- All development must comply with the following requirements:
- Wellands (Chapter 3, Article II)
 - Special corridors and buffer requirements (Chapter 3, Article I)
 - See Conditional and Special Exception regulations (Chapter 2, Article IV)
 - Multi-family dwelling units shall have the following minimum square footage per bedroom:

1 Bedroom = 600 SF	3 Bedroom = 900 SF
2 Bedroom = 750 SF	Each Additional Bedroom = 150 SF

G. PERMITTED ACCESSORY USES: Accessory uses customarily associated with, dependent on, and incidental to their permitted principal uses, provided that such uses conform to the regulations set forth in Chapter 2, Article III.

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 1, 2013

SUBJECT: 1622 North US Highway 1 (Exxon/Burger King) – Small-Scale Land Use Map Amendment

APPLICANT: City Initiated

NUMBER: LUPA 12-101

PROJECT PLANNER: S. Laureen Kornel, AICP, Senior Planner

INTRODUCTION: This is a City initiated request, to change the existing Future Land Use designation of a ±1.15-acre parcel from Volusia County “Commercial” to Ormond Beach “Tourist Commercial” located at 1622 North US Highway 1 as the result of an annexation on January 8, 2013.

BACKGROUND: The property located at 1622 North US Highway 1, Exxon/Burger King, is owned by Aayush Corporation which operates twelve fuel pumps, a convenience store and a drive-in fast food restaurant. The property was developed under Volusia County review in the late 1990’s and connected to City water in 1998. The property was annexed on January 8, 2013, with Ordinance 2012-42 based on the 1991 US Highway 1 Interlocal Utility Service Area Agreement (Resolution No. 91-131), connection to City of Ormond Beach Utilities in 1998 and contiguity with the City boundary. Since the subject property is now located within incorporated Ormond Beach, the City is required by policy to assign a similar land use and zoning in terms of density and intensity as in the County. Until a City land use designation and zoning classification are adopted, the property maintains its County land use and zoning classifications.

The subject property currently has a County Future Land Use Map designation of Volusia County “Commercial” and fronts the west side of US Highway 1. The property is located roughly 425 linear feet north of the Interstate 95 and US Highway 1 interchange. The property is currently developed with twelve fuel pumps, a convenience store and a drive-in fast food restaurant and there are currently no plans for further site development. The expected zoning classification will be B-7 (Highway Tourist Commercial) and will follow upon the completion of the administrative land use change from Volusia County “Commercial” to Ormond Beach “Tourist Commercial”. The proposed land use amendment schedule of the subject property is as follows:

Action/Board	Date
Planning Board	February 14, 2013
Transmit to Volusia County Growth Management Commission and adjoining jurisdictions	February 15, 2013
City Commission 1 st Reading	March 19, 2013
City Commission 2 nd Reading	April 2, 2013
Transmit to Florida Department of Economic Opportunity	April 3, 2013

ANALYSIS: The proposed land use amendment seeks to change the land use designation of the subject property from unincorporated Volusia County “Commercial” to City of Ormond Beach “Tourist Commercial” to assign a land use to the subject property as a result of annexation to allow development of the site for the uses allowed in the B-7 zoning district. Staff has reviewed the application to amend the land use as follows:

1. Whether the land use meets the criteria established in the City’s Comprehensive Plan and Florida Statute.

City’s Comprehensive Plan:

Objective 1.2 of the Future Land Use Element of the Comprehensive Plan states that the City needs to ensure that there are adequate amounts of lands to meet the commercial land use needs of the community. The existing development pattern in this area is the “Tourist /Commercial” land use designation. In addition, Policy 5.1.1 under Goal 5. Annexation of the Future Land Use Element, states that the City shall assign a similar land use to annexed properties.

Florida Statute: In accordance with Chapter 163.3187(1)(a)(b)(c), Florida Statutes, any local government comprehensive plan amendments directly related to proposed small-scale development activities may be approved without regard to statutory limits on the frequency of consideration of amendments to the local comprehensive plan. A small-scale development amendment may be adopted only under the following conditions:

1. A small scale development amendment may be adopted under the following conditions.

a. The proposed amendment involves a use of 10 acres or fewer and:

The subject property is ±1.15 acres (less than 10 acres).

b. The cumulative annual effect of the acreage for all small scale development amendments adopted by the local government does not exceed a maximum of 120 acres in a calendar year.

The proposed small-scale amendment complies with this requirement and will be the sixth amendment for the current year 2013. The following table illustrates previous small scale future land use amendments for 2013:

Case #	Address	±Acreage
LUPA 13-011	1428 North US Highway 1	0.53
LUPA 13-009	1438 North US Highway1	0.15
LUPA 13-007	1438 North US Highway1	0.72
LUPA 12-116	1433, 1435, 1437, and 1439 North US Highway 1	3.97
*LUPA 12-099	1608 N US Highway 1	6.88
		12.25 acres

*Not yet adopted

c. The proposed amendment does not involve a text change to the goals, policies, and objectives of the local government’s comprehensive plan, but only proposes a land use change to the future land use map for a site-specific small scale development activity. However, text changes that relate directly to, and are adopted simultaneously with, the small scale future land use map amendment shall be permissible under this section.

The proposed amendment is solely to the Future Land Use Map and does not propose any text amendments to the City’s Comprehensive Plan.

d. The property that is the subject of the proposed amendment is not located within an area of critical state concern, unless the project subject to the proposed amendment involves the construction of affordable housing units meeting the criteria of s. [420.0004\(3\)](#), and is located within an area of critical state concern designated by s. [380.0552](#) or by the Administration Commission pursuant to s. [380.05\(1\)](#).

The site location is not located within an area of state critical concern, and this criterion does not apply.

2. Whether the land use is an appropriate use of the land.

Land Use: The adjacent land uses and zoning are as follows:

Land Use and Zoning Designations of Adjacent Property			
	Current Land Uses	Future Land Use Designation	Zoning
North	Dairy Queen	Volusia County "Commercial"	Volusia County B-6 (Highway Interchange Commercial)
South	Best Value Inn	Ormond Beach "General Commercial"	Ormond Beach B-7 (Highway Tourist Commercial)
East	US Highway 1 south bound ramp	N/A	N/A
West	Best Value Inn	Ormond Beach "General Commercial"	Ormond Beach B-7 (Highway Tourist Commercial)

The future land use designation presently assigned to the subject property is Volusia County "Commercial". The directive text of Volusia County's Comprehensive Plan states the following for the "Commercial" land use category:

"Commercial (C) - This designation accommodates the full range of sales and service activities. These uses may occur in self-contained centers, multi-story structures, campus parks, municipal central business districts, or along arterial highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and design will depend on locational factors, particularly compatibility with adjacent uses, availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be located to protect adjacent residential use from such impacts as noise or traffic. In wellfield protection areas uses are prohibited that involve the use, handling, storage, generation or disposal of hazardous or toxic material or waste or petroleum products. Intensity shall be no more than a fifty-five percent Floor Area Ratio (0.55 FAR) consistent with the applicable underlying zoning classification standards and land development regulations.

Commercial development in newly developing areas is designated in nodes at major thoroughfare intersections. Primarily new development should be designed to utilize the shopping center concept and not designed to encourage strip style commercial development. The various types of shopping centers are described in Chapter 20, Definitions under Shopping Centers.

However, the Plan recognizes existing strip commercial development along many arterial roadways may remain. These areas are identified on the Future Land Use Map and if the designation is shown on only one side of a roadway, this specifically provides that particular side is intended for commercial use and is not to suggest that the opposite side is also included. Future extension of the strip commercial beyond that shown on the Plan Map shall require a Plan amendment.

Existing commercial uses not indicated on the Future Land Use Map may be consistent with the Plan if they comply with Number 16 of the Interpretation Section.”

The request is for an amendment to the City “Tourist Commercial” land use category. The directive text of the City’s Comprehensive Plan states the following for “Tourist Commercial” category:

“Purpose: A multi-use land use category to provide uses along the Atlantic Ocean, SR A1A and highway interchanges, that include transit availability, retail services, tourist attractions, restaurants, multi-family and lodging to visitors to the City. For projects that propose a mixture of residential and non-residential uses, the minimum FAR should be 0.2.

Density: Maximum: 32 units per acre.

Maximum FAR: 1.5.”

The proposed future land use designation is compatible with adjacent land uses to the subject property in terms of Volusia County density and intensity standards. At this time, the Planning Department does not have any proposals regarding any further development of the property. The directive text of the City’s Comprehensive Plan explains that commercial development in Ormond Beach has occurred along the major arterials and that this trend should be continued.

3. Whether there is adequate infrastructure to serve the proposed land use.

Infrastructure: Impact analysis examines the maximum expected impacts of the current designation versus the requested designation based on a preliminary development scenario. This analysis is not meant to replace or contradict the findings of a Concurrency Management Review. However, the relative differences between designations can provide useful information in the long-range planning process. This analysis is based on ±1.15 developed acres to be assigned the City “Tourist Commercial” land use.

Transportation: Based on the ITE rate of categories 853 and 934 (ITE Trip Generation Manual, 9th Edition), a 12-pump fuel station with a convenience store and drive-in fast food restaurant is estimated to generate 2,245 daily trips. Since the site is already developed and designated Volusia County “Commercial”, a change in Future Land Use to Ormond Beach “Tourist Commercial” will not generate an increase in new trips at this time.

Water & Sewer: The subject property is located in the utility service area of the City of Ormond Beach and will not generate in increase in demand. While the existing water pressure is low, the City plans to install a booster pump at Nova Road and US Highway 1.

Stormwater Management: The site is developed and was constructed prior to current stormwater regulations. Any new development would require stormwater review.

Solid Waste: This property is served by the City of Ormond Beach.

Schools: The site is developed as a 12-pump fuel station with a convenience store and drive-in fast food restaurant and there will be no impacts to schools as a result of the subject land use amendment.

Other Services: City police and fire protection services serve this area. The parcel is located within an approximate 4-5 minute response time from emergency facilities.

4. Whether the proposed map amendment impacts surrounding jurisdictions.

The developed property is not located next to another City and there are new impacts expected to any surrounding jurisdiction. The North US Highway 1 corridor near the I-95 interchange is a mixture of properties located within Ormond Beach and unincorporated Volusia County.

CONCLUSION: Staff supports the land use amendment from Volusia County “Commercial” to Ormond Beach “Tourist Commercial”. Since the existing parcel is developed as a 12-pump fuel station with a convenience store and drive-in fast food restaurant, this small-scale future land use map amendment is an administrative amendment required to assign a City Future Land Use Map designation to the subject parcel. Staff believes that the Ormond Beach “Tourist Commercial” land use category is appropriate for the following reasons:

1. The amendment meets the Goals, Objectives, and Policies of the City’s comprehensive plan;
2. The amendment meets the criteria established in the City’s Comprehensive Plan and Florida Statute;
3. The proposed land use is an appropriate use of land; and
4. There is adequate infrastructure to serve the proposed land use. Since the site is already developed, there will be no change to impacts on facilities and services as a result of the administrative change in land use from county “Commercial” to Ormond Beach “Tourist Commercial”.
5. The proposed land use will not impact surrounding jurisdictions.

RECOMMENDATION: Staff recommends that the Planning Board recommend **APPROVAL** of Case # LUPA 12-101 – a Small Scale Future Land Use Map Amendment to change the land use for ±1.15 acres from the existing land use designation of Volusia County “Commercial” to City of Ormond Beach “Tourist Commercial” for 1622 North US Highway 1.

Attachments Exhibit 1: Location Aerial and Photo
 Exhibit 2: Future Land Use Maps
 Exhibit 3: Legal Description and Sketch
 Exhibit 4: Volusia County Schools Letter

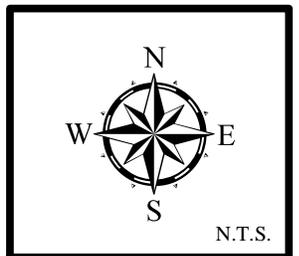
EXHIBIT 1

Location Aerial and Photo



AERIAL MAP
1622 N. US HWY 1 (3136-01-64-0020)

The City of Ormond Beach G.I.S. Deaprtment
Prepared By: Eric Dickens 11/15/11





EXXON

EXXON

Regular 3.29
Plus 3.49
Diesel 3.59

BURGER KING

Food Mart

AT&T LOTTO

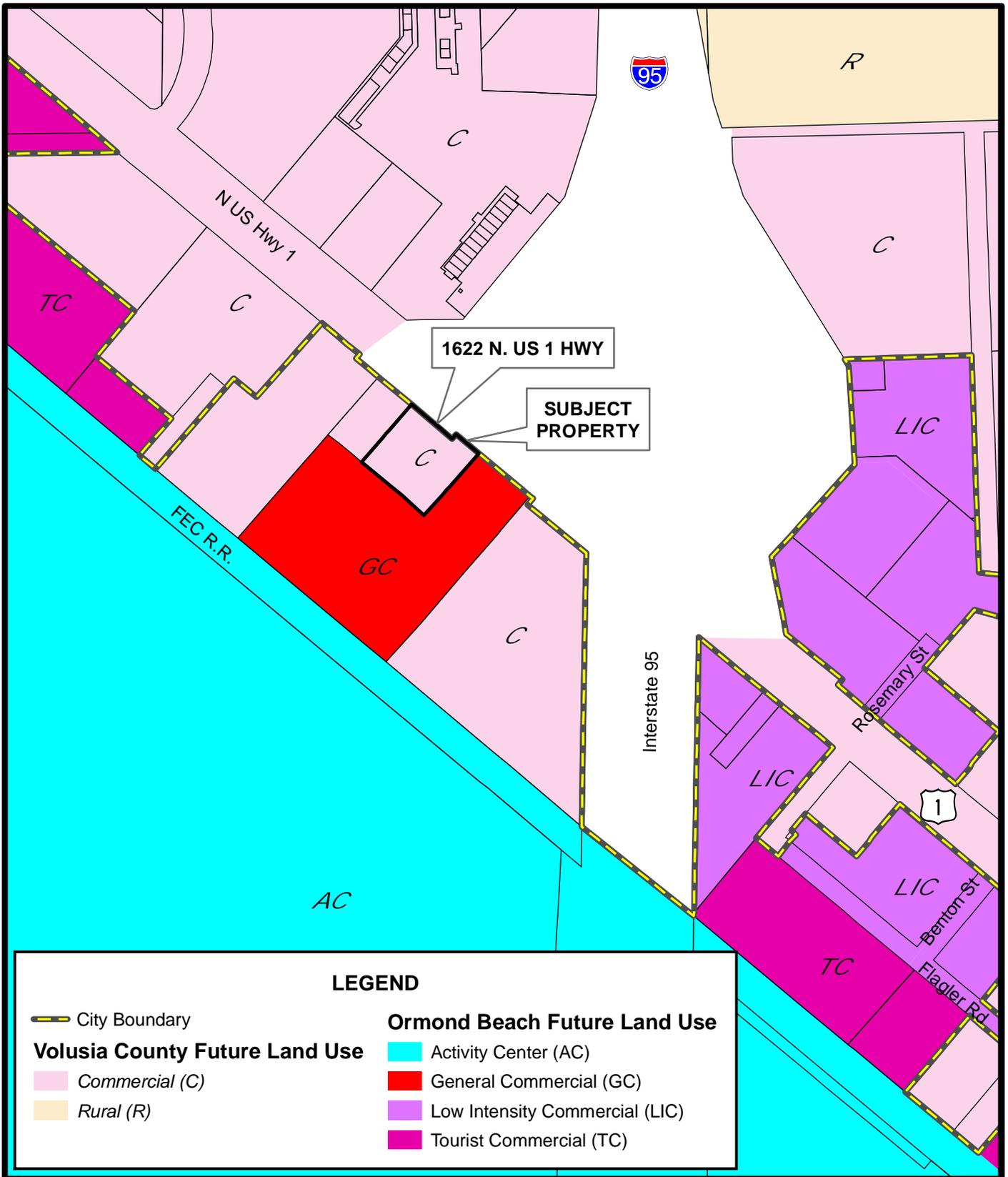
Burger King logo

544



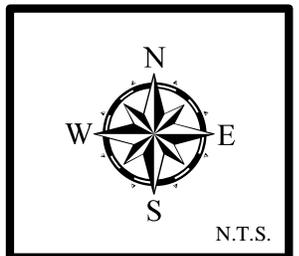
EXHIBIT 2

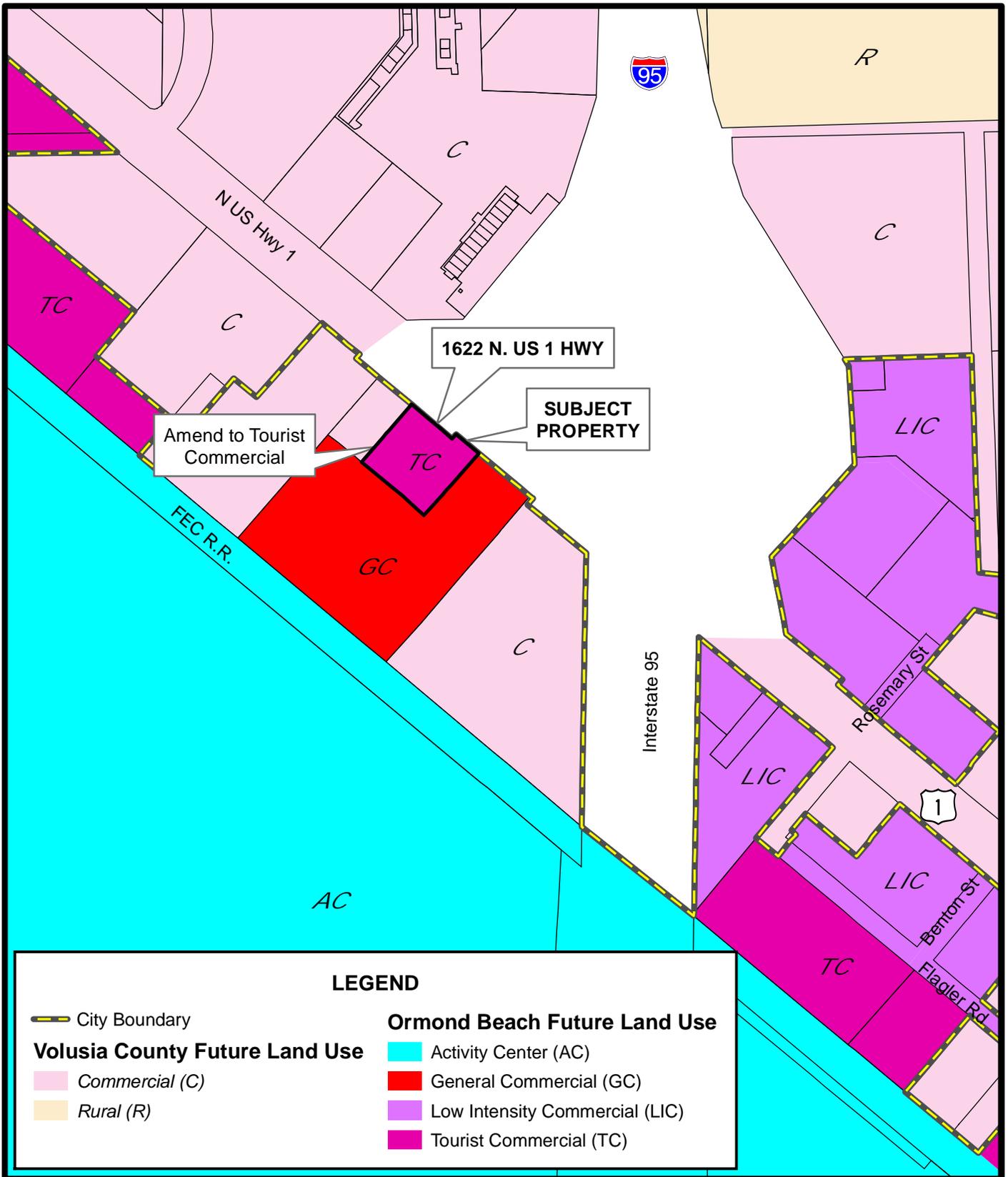
Future Land Use Maps



CURRENT FUTURE LAND USE MAP
1622 N. US 1 HWY
PID 3136-01-64-0020

Prepared By: The City of Ormond Beach
 G.I.S. Department 1/18/2013





PROPOSED FUTURE LAND USE MAP
1622 N. US 1 HWY
PID 3136-01-64-0020

Prepared By: The City of Ormond Beach
 G.I.S. Department 1/18/2013

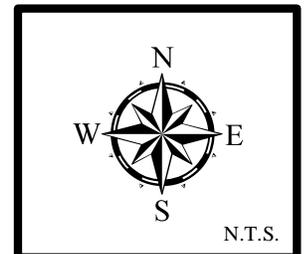


EXHIBIT 3

Legal Description and Sketch

LEGAL DESCRIPTION

PART OF BLOCK 64 (INCLUDING THAT PORTION OF A VACATED 15 FOOT ALLEY IN BLOCK 64), OF THE REVISED PLAT OF NATIONAL GARDENS, AS RECORDED IN MAP BOOK 10, PAGES 250-253, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

AS A POINT OF COMMENCEMENT BEGIN AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF LOT 1, BLOCK 64, OF SAID NATIONAL GARDENS, WITH THE SOUTHERLY LINE OF U.S. HIGHWAY No.1 (A 160 FOOT RIGHT-OF-WAY AS NOW OCCUPIED AND ESTABLISHED); THENCE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 235.00 FEET; THENCE S40°04'40"W A DISTANCE OF 32.00 FEET; THENCE S49°55'20"E A DISTANCE OF 100.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF US HIGHWAY NO.1, A DISTANCE OF 250.00 FEET; THENCE DEPARTING SAID SOUTHERLY LINE, RUN S40°04'40"W A DISTANCE OF 200.00 FEET; THENCE N49°55'20"W A DISTANCE OF 250.00 FEET; THENCE N40°04'40"E A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 50,000 SQ. FT. OR 1.15 ACRES MORE OR LESS.

POINT OF COMMENCEMENT



US HIGHWAY NO. 1 (160' R/W)

S49°55'20"E
235.00'

S40°04'40"W
52.00'

S49°55'20"E
100.00'

POINT OF BEGINNING

S49°55'20"E
250.00'

N40°04'40"E
200.00'

1622 N US HIGHWAY 1

N49°55'20"W
250.00'

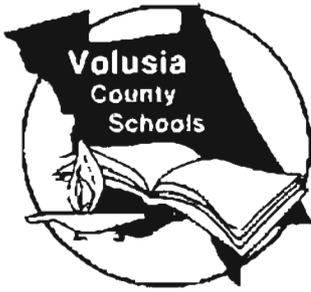
S40°04'40"W
200.00'

BLØCK 164

FLAGLER RD (60' R/W)

EXHIBIT 4

Volusia County Schools Letter Dated 01.25.13



Dr. Margaret A. Smith
Superintendent of Schools

FACILITIES SERVICES

3750 Olson Drive, Daytona Beach, Florida 32124
PHONE: 386/947-8786 FAX: 386/506-5056

School Board of Volusia County

Mrs. Diane Smith, Chairman
Ms. Candace Lankford, Vice-Chairman
Mr. Stan Schmidt
Mrs. Linda Costello
Ms. Ida Wright-Duncan

January 25, 2013

Ms. Lauren Kornel
Senior Planner
City of Ormond Beach
22 S. Beach Street, #104
Ormond Beach, FL 32174

RE: Land Use Amendment – 1622 and 1626 N. US Hwy 1

Dear Ms. Kornel:

District staff has reviewed the proposed land use amendment information for the properties located at 1622 and 1626 North US Hwy 1 in the Ormond Beach area.

The current land use designation for the subject properties is Volusia County Commercial and both support existing nonresidential uses. The proposed land use designation for both properties is Ormond Beach Tourist Commercial. This land use designation could permit up to thirty-two (32) units per acre. However, district staff does acknowledge that the proposed land use amendments do not propose new or additional land uses for the subject properties.

Staff understands that this amendment is essentially 'housekeeping' and therefore has no objection to the proposed land use amendments.

Thank you for the opportunity to review and comment on these small-scale land use changes. If you should have questions or require additional information, please do not hesitate to contact me at (386) 947-8786 extension 50805.

Sincerely,

A handwritten signature in blue ink, appearing to read "Helen LaValley".

Helen LaValley
Planning Specialist

C: City File

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 1, 2013

SUBJECT: 1622 North US Highway 1- Exxon/Burger King:
Amendment to Official Zoning Map

APPLICANT: City Initiated

NUMBER: RZ12-102

PROJECT PLANNER: S. Lauren Kornel, AICP, Senior Planner

INTRODUCTION: This is a city initiated request to amend the City's Official Zoning Map for a ±1.15-acre parcel of land from the existing zoning classification of Volusia County B-6 (Highway Interchange Commercial) to City of Ormond Beach B-7 (Highway Tourist Commercial) at 1622 North US Highway 1, Exxon/Burger King.

BACKGROUND: The property located at 1622 North US Highway 1 is owned by Aayush Corporation, Inc. which operates twelve fuel pumps, a convenience store and a drive-in fast food restaurant. The property was developed under Volusia County review in the late 1990's and connected to City water in 1998. The property was annexed on January 8, 2013, with Ordinance 2012-42. The annexation occurred based on the 1991 US Highway 1 Interlocal Utility Service Area Agreement (Resolution No. 91-131), connection to City of Ormond Beach Utilities in 1998 and contiguity with the City boundary.

The City is presently processing a separate land use amendment from Volusia County "Commercial" to Ormond Beach "Tourist Commercial". The proposed rezoning from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Tourist Commercial) is contingent upon adopting the land use change. As previously stated, the subject property is already developed and there is no site development or alterations proposed for the subject property associated with this re-zoning. Subsequent to Planning Board review, the rezoning will be reviewed by the City Commission for final action.

ANALYSIS: The existing Volusia County zoning classification for the subject property is B-6 (Highway Tourist Commercial). The Volusia County Land Development Code states the purpose and intent for the B-6 zoning is as follows:

"The purpose and intent of the B-6 Highway [Interchange] Commercial Classification is to provide a specialized classification for hotels, motels and tourist-related retail facilities near major highway interchanges."

Below is a list of the permitted (staff approval) and Special Exception (County Council approval) uses for the existing zoning district.

Volusia County Permitted B-6 (Highway Interchange Commercial) Uses

Automobile rental agencies	Cultural arts center	Houses of worship	Public schools
Automotive service stations, types A, B, C	Essential utility services	Laundry and dry-cleaning establishments	Publicly owned park and recreational areas
Bars, accessory to hotels & restaurants	Exempt excavations	Libraries	Publicly owned or regulated water supply wells
Barber and beauty shops	Exempt landfills	Newsstands	Restaurants, types A and B
Car washes	Fire stations	Mobile recreational vehicle shelter sales and services	Retail specialty shops
Communication towers not exceeding 70 in height	Government sponsored civic centers	Museums	Theaters
Convenience stores with more than eight vehicular service positions	Home occupations, class A	Nightclubs	Tire sales
Convenience stores, with or without fuel dispensers	Hotels/motels	Outdoor entertainment event	

Volusia County Special Exception B-6 (Highway Interchange Commercial) Uses

Communication towers exceeding 70 feet	Flea Markets	Public uses not listed as a permitted principal use	Only one single-family dwelling for the owner/manager of an existing permitted use
Cemeteries	Mobile recreational vehicle and shelter parks	Public utility users and structures	Truck stops and storage
Curb markets	Outdoor entertainment and recreational uses and structures	Railroad yards, siding and terminals	
Excavations only for stormwater retention ponds for which a permit is required	Professional or trade schools related to permitted uses	Schools, parochial or private	

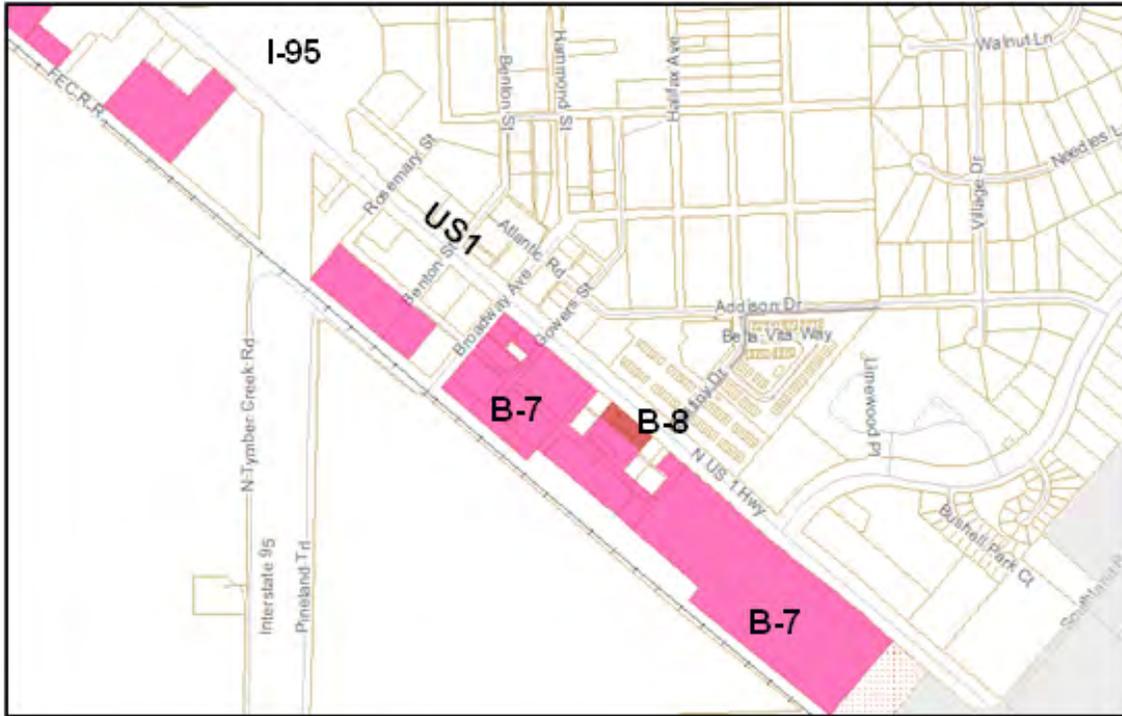
The subject property is undergoing a land use amendment to assign a City Future Land Use designation of "Tourist Commercial". During staff's analysis the following points were considered:

1. The area of the subject property is located in the general area of the intersection of Interstate 95 and US Highway 1. Uses in this area include motel, gas station,

nightclub, restaurant, convenience store, and other commercial uses, including office and retail.

2. South of the intersection of Interstate 95 and US Highway 1, the B-7 (Highway Tourist Commercial) zoning classification extends approximately 4,500 linear feet.

Ormond Beach Zoning Map



3. The goal of the zoning classification is to provide the most similar classification assigned by Volusia County. In accordance with the City’s Comprehensive Plan the city “Tourist Commercial” land use designation was applied to the subject property. In choosing an appropriate zoning district, Table 2.2 under Chapter 2, Article I – Establishment of Zoning Districts and Official Zoning Map, Section 2.02 of the City’s Land Development Code was referenced.

Comprehensive Plan Future Land Use Map Designation	Corresponding Compatible Zoning District
Tourist Commercial	Oceanfront Tourist Commercial (B-6) Highway Tourist Commercial (B-7) Planning Residential Development (PRD) Planned Business Development (PBD)

Chapter 2, Article I Zoning Districts, Section 2.02 Future Land Use Map Designations and Zoning Districts, Table 2.2

Under the “Tourist Commercial” land use designation, there are four corresponding and compatible zoning districts including Oceanfront Tourist Commercial (B-6), Highway Tourist Commercial (B-7), Planned Residential Development (PRD), and Planned Business Development (PBD). The PRD and PBD zoning districts were eliminated since those districts are planned development designations and do not apply to the annexation of the subject

property. Since the subject property is not located beachside, the B-7 zoning district is not applicable. Given the location of the subject property near an interchange where tourist facilities and tourist related activities are located, the B-6 zoning district was identified as corresponding and compatible with the “Tourist Commercial” land use designation.

Zoning Adjacent Land Use:

Adjacent land uses and zoning are as follows:

Land Use Designations and Zoning Classifications of Surrounding Property

	Current Land Uses	Future Land Use Designation	Zoning Classification
North	Dairy Queen	Volusia County “Commercial”	Volusia County B-6 (Highway Interchange Commercial)
South	Best Value Inn	Ormond Beach “General Commercial”	Ormond Beach B-7 (Highway Tourist Commercial)
East	US Highway 1 south bound ramp	N/A	N/A
West	Best Value Inn	Ormond Beach “Activity Center”	Ormond Beach B-7 (Highway Tourist Commercial)

CONCLUSION/CRITERIA FOR APPROVAL: Section 1-18 D.3. of the Land Development Code states that the Planning Board shall review non-planned development rezonings based on the Development Order criteria in Section 1-18.E. of the Land Development Code which are analyzed below:

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare, or quality of life.**

No specific development is proposed and the request is based on a need to assign a City zoning classification to the property as the result of annexation. The zoning map amendment is contingent on a City land use being assigned and will not adversely affect public health, safety, welfare, or the quality of life.

- 2. The proposed development is consistent with the Comprehensive Plan.**

There is a separate land use map amendment that proposes to assign a City “Tourist Commercial” designation to the property. Policy 5.1.1. of the Future Land Use Element states that properties annexed into the City of Ormond Beach shall be

assigned similar land uses that they had in Volusia County. The subject property is already developed with a twelve fuel pump gas station, a convenience store and a drive-in fast food restaurant and no additional improvements are proposed. The requested B-7 zoning district is consistent with the "Tourist Commercial" land use designation.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The property has an existing building and site improvements. There is no construction proposed and criterion is not applicable.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

This proposed zoning map amendment is not anticipated to have a significant impact on adjacent properties and the existing gas station, convenience store and drive through restaurant will continue to operate as it historically has.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 8. The proposed development provides for the safety of occupants and visitors.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

10. The testimony provided at public hearings.

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet.

Staff supports the rezoning from Volusia County B-6 to Ormond Beach B-7. Since the subject parcel is developed as a gas station, convenience store and drive-in fast food restaurant, this rezoning is administrative and required to assign a zoning classification to the parcel. In accordance with Section 1-18.E.3 of the Land Development Code which states that the City Commission shall consider rezonings based on the consistency with the Comprehensive Plan, the rezoning is consistent based upon the following points:

- The impacts on facilities and services will not change as a result of the requested zoning amendment from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).
- The proposed City zoning classification of B-7 is most consistent with the Volusia County zoning classification of B-6 and provides similar types of uses.
- The administrative request is consistent with the compatibility matrix outlined in the Land Development Code for the Future Land Use Plan Map designation of "Tourist Commercial".

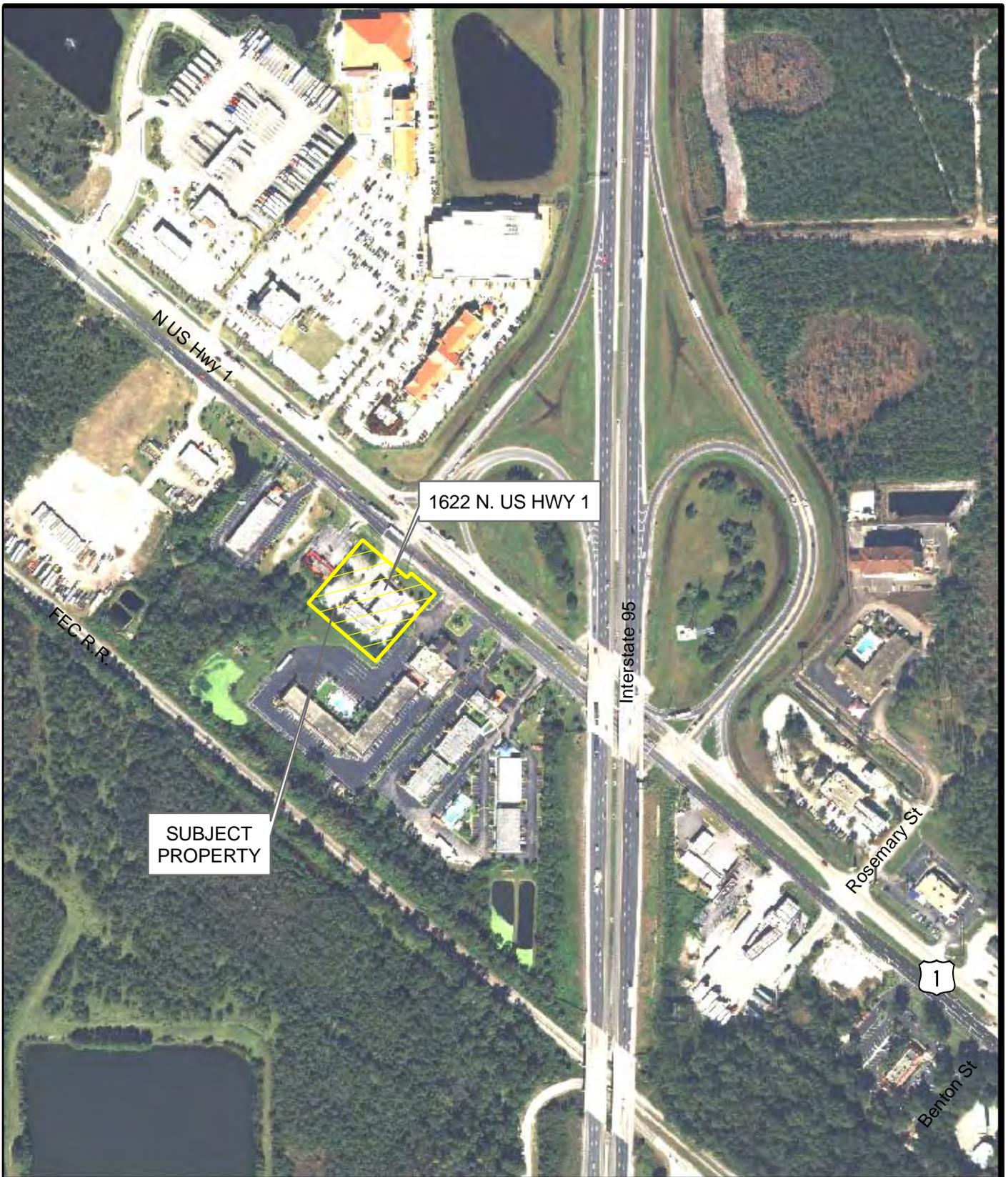
RECOMMENDATION: Staff recommends that the Planning Board recommend **APPROVAL** to the City Commission of the administrative request to amend the Official Zoning Map to change the zoning classification of 1622 North US Highway 1, as described in the attached legal description, from Volusia County B-6 (Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).

Attachments

- Exhibit 1: Location Aerial, Photo and Zoning Map
- Exhibit 2: Legal Description and Sketch
- Exhibit 3: Section 2-28 of the LDC, B-7 zoning district

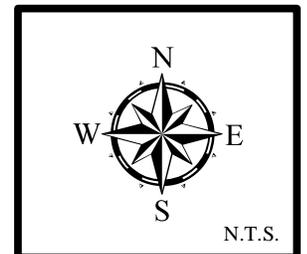
EXHIBIT 1

Location Aerial, Photo and Zoning Map



AERIAL MAP
1622 N. US HWY 1 (3136-01-64-0020)

The City of Ormond Beach G.I.S. Deaprtment
Prepared By: Eric Dickens 11/15/11



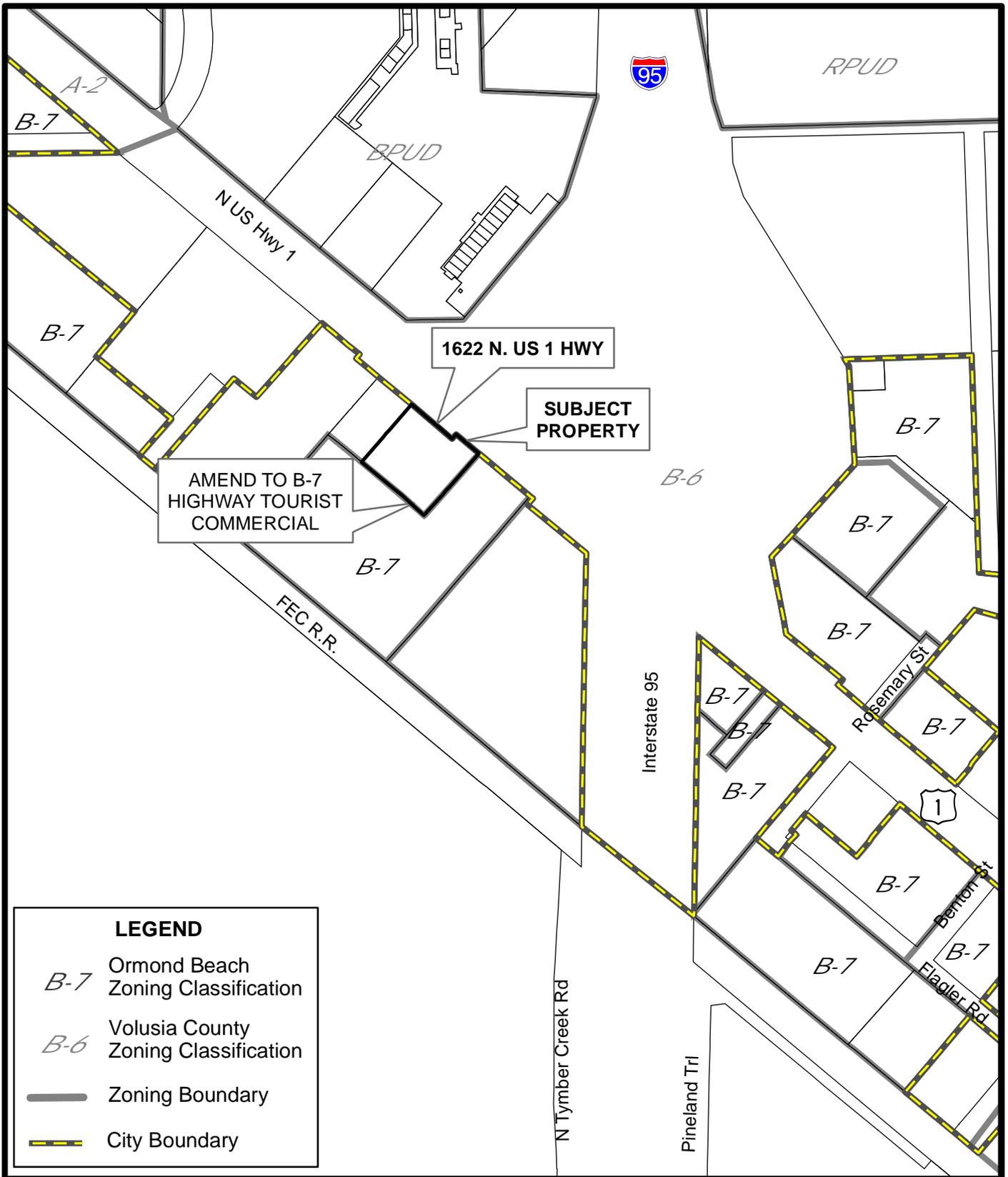


1822

PRIVATE PROPERTY
NO TRESPASSING
WE WILL BE ENFORCING THIS

EXXON
329¢
349¢
35¢

BURGER KING



ZONING MAP
1622 N. US 1 HWY
PID 3136-01-64-0020

The City of Ormond Beach G.I.S. Department
 Prepared By: Steve Johnson 1/18/2013

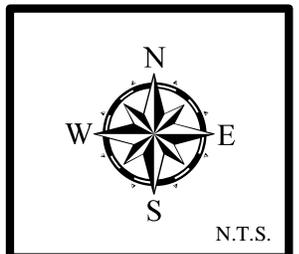


EXHIBIT 2

Legal Description and Sketch

LEGAL DESCRIPTION

PART OF BLOCK 64 (INCLUDING THAT PORTION OF A VACATED 15 FOOT ALLEY IN BLOCK 64), OF THE REVISED PLAT OF NATIONAL GARDENS, AS RECORDED IN MAP BOOK 10, PAGES 250-253, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

AS A POINT OF COMMENCEMENT BEGIN AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF LOT 1, BLOCK 64, OF SAID NATIONAL GARDENS, WITH THE SOUTHERLY LINE OF U.S. HIGHWAY No.1 (A 160 FOOT RIGHT-OF-WAY AS NOW OCCUPIED AND ESTABLISHED); THENCE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 235.00 FEET; THENCE S40°04'40"W A DISTANCE OF 32.00 FEET; THENCE S49°55'20"E A DISTANCE OF 100.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF US HIGHWAY NO.1, A DISTANCE OF 250.00 FEET; THENCE DEPARTING SAID SOUTHERLY LINE, RUN S40°04'40"W A DISTANCE OF 200.00 FEET; THENCE N49°55'20"W A DISTANCE OF 250.00 FEET; THENCE N40°04'40"E A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 50,000 SQ. FT. OR 1.15 ACRES MORE OR LESS.

POINT OF COMMENCEMENT



US HIGHWAY NO. 1 (160' R/W)

S49°55'20"E
235.00'

S40°04'40"W
52.00'

S49°55'20"E
100.00'

POINT OF BEGINNING

S49°55'20"E
250.00'

N40°04'40"E
200.00'

1622 N US HIGHWAY 1

N49°55'20"W
250.00'

S40°04'40"W
200.00'

BLØCK 164

FLAGLER RD (60' R/W)

EXHIBIT 3

B-7 Zoning District

SECTION 2-28: B-7: HIGHWAY TOURIST COMMERCIAL Zoning District

A. PURPOSE: The purpose of the Highway Tourist Commercial (B-7) zoning district is to provide for a variety of tourist facilities and tourist-related support activities in an attractive setting which will promote pedestrian activity and reinforce positive visitor experience. This district is designed for use within or in close proximity to other districts within which major Transient Lodging development has occurred or is permitted.

B. DIMENSIONAL STANDARDS

1.	2.	3.	9.					Setbacks				
			4.	5.	6.	7.	8.	a.	b.	c.	d.	e.
Type	Density	Maximum Building Height	Maximum Building Coverage	Maximum Impervious Lot Coverage	Minimum Lot Size	Minimum Lot Width	Minimum Lot Depth	Front	Rear	Side	Street Side/Corner	Waterbody
Non-Residential Uses	36 (Transient Lodging)	50'	40%	75%	20,000 SF	100'	N/A	20'	30' if abutting residential district; 5' additional combined side yard required for each story over 2	10' 20' when abutting a multi-family district; 25' when abutting a single-family district; 5' of additional combined yard area required for each story over 2	20'	30'
Multi-Family	10	50'	40%	75%	20,000 SF	100'	N/A	20'	30' if abutting residential district	10' when abutting a multi-family district; 25' when abutting a single-family district	20'	30'

C. PERMITTED USES

- Adult Day Care Center
- Assisted Living Facility
- Business/Professional Services
- Business Services
- Clubs and Fraternal Organization
- Convenience Store, Type "A"
- Financial Institutions
- Nursing Home
- Personal Services
- Retail Sales and Services
- School of Art
- Schools, Public
- Transient Lodging
- Veterinarian

D. CONDITIONAL USES

- Bar
- Community Residential Home
- Convenience Store, Type "B"
- Convenience Store, Type "C"
- Dwelling, Multi-Family
- Family Day Care Home
- Golf Course, contoured
- Hospital
- House of Worship
- Nightclub
- Parking Lot
- Parking Garage
- Parks and Recreation Facilities, Private
- Parks and Recreation Facilities, Public
- Public Facilities
- Public Utilities
- Recreation Facilities, Indoor
- Restaurant, Type "A"
- Restaurant, Type "B"
- Restaurant, Type "C"
- School, Private
- Shopping Center
- Telecommunication Tower, Camouflaged
- Theater
- Wind Energy System

E. SPECIAL EXCEPTION USES

- Automatic Amusement Center
- Nightclub
- Outdoor Activity
- Outdoor Storage
- Recreation Facilities, Outdoor
- Telecommunication Tower
- Vehicle Rental

F. OTHER STANDARDS

- All development must comply with the following requirements:
- Wellands (Chapter 3, Article II)
 - Special corridors and buffer requirements (Chapter 3, Article I)
 - See Conditional and Special Exception regulations (Chapter 2, Article IV)
 - Multi-family dwelling units shall have the following minimum square footage per bedroom:

1 Bedroom = 600 SF	3 Bedroom = 900 SF
2 Bedroom = 750 SF	Each Additional Bedroom = 150 SF

G. PERMITTED ACCESSORY USES: Accessory uses customarily associated with, dependent on, and incidental to their permitted principal uses, provided that such uses conform to the regulations set forth in Chapter 2, Article III.

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 1, 2013

SUBJECT: 1626 North US Highway 1 (Dairy Queen) – Small-Scale
Land Use Map Amendment

APPLICANT: City Initiated

NUMBER: LUPA 12-103

PROJECT PLANNER: S. Lauren Kornel, AICP, Senior Planner

INTRODUCTION: This is a City initiated request, to change the existing Future Land Use designation of a ±0.46-acre parcel from Volusia County “Commercial” to Ormond Beach “Tourist Commercial” located at 1626 North US Highway 1 as the result of an annexation on January 8, 2013.

BACKGROUND: The property located at 1626 North US Highway 1, is owned by Jon J. Welsch who operates a Dairy Queen fast food restaurant. The property was developed under Volusia County review in the late 1960’s and connected to City water in 1998. The property was annexed on January 8, 2013, with Ordinance 2012-43 based on the 1991 US Highway 1 Interlocal Utility Service Area Agreement (Resolution No. 91-131), connection to City of Ormond Beach Utilities in 1998 and contiguity with the City boundary. Since the subject property is now located within the City of Ormond Beach, the City is required by policy to assign a similar land use and zoning in terms of density and intensity as in the County. Until a City future land use designation and zoning classification are adopted, the property maintains its County land use and zoning classifications.

The subject property currently has a County Future Land Use Map designation of Volusia County “Commercial” and fronts the west side of US Highway 1. The property is located roughly ±693 linear feet north of the Interstate 95 and US Highway 1 interchange. The property is currently developed with a fast food restaurant, and there are currently no plans for further site development. The expected zoning classification will be B-7 (Highway Tourist Commercial) and will follow upon the completion of the administrative land use change from Volusia County “Commercial” to Ormond Beach “Tourist Commercial”. The proposed land use amendment schedule of the subject property is as follows:

Action/Board	Date
Planning Board	February 14, 2013
Transmit to Volusia County Growth Management Commission and adjoining jurisdictions	February 15, 2013
City Commission 1 st Reading	March 6, 2013
City Commission 2 nd Reading	March 15, 2013
Transmit to Florida Department of Economic Opportunity	March 16, 2013

ANALYSIS: The proposed land use amendment seeks to change the land use designation of the subject property from unincorporated Volusia County “Commercial” to City of Ormond Beach “Tourist Commercial” to assign a land use to the subject property as a result of annexation to allow development of the site for the uses allowed in the B-7 zoning district. Staff has reviewed the application to amend the land use as follows:

1. Whether the land use meets the criteria established in the City’s Comprehensive Plan and Florida Statute.

City’s Comprehensive Plan:

Objective 1.2 of the Future Land Use Element of the Comprehensive Plan states that the City needs to ensure that there are adequate amounts of lands to meet the commercial land use needs of the community. The existing development pattern in this area is the “Tourist /Commercial” land use designation. In addition, Policy 5.1.1 under Goal 5. Annexation of the Future Land Use Element, states that the City shall assign a similar land use to annexed properties.

Florida Statute: In accordance with Chapter 163.3187(1)(a)(b)(c), Florida Statutes, any local government comprehensive plan amendments directly related to proposed small-scale development activities may be approved without regard to statutory limits on the frequency of consideration of amendments to the local comprehensive plan. A small-scale development amendment may be adopted only under the following conditions:

1. A small scale development amendment may be adopted under the following conditions.

a. The proposed amendment involves a use of 10 acres or fewer and:

The subject property is ±0.46 acres (less than 10 acres).

- b. The cumulative annual effect of the acreage for all small scale development amendments adopted by the local government does not exceed a maximum of 120 acres in a calendar year.**

The proposed small-scale amendment complies with this requirement and will be the seventh amendment for the current year 2013. The following table illustrates previous small scale future land use amendments for 2013:

Case #	Address	±Acreage
LUPA 13-011	1428 North US Highway 1	0.53
LUPA 13-009	1438 North US Highway1	0.15
LUPA 13-007	1438 North US Highway1	0.72
LUPA 12-116	1433, 1435, 1437, and 1439 North US Highway 1	3.97
*LUPA 12-099	1608 N US Highway 1	6.88
*LUPA 12-101	1622 N US Highway 1	1.15
		13.40 acres

*Not yet adopted

- c. The proposed amendment does not involve a text change to the goals, policies, and objectives of the local government’s comprehensive plan, but only proposes a land use change to the future land use map for a site-specific small scale development activity. However, text changes that relate directly to, and are adopted simultaneously with, the small scale future land use map amendment shall be permissible under this section.**

The proposed amendment is solely to the Future Land Use Map and does not propose any text amendments to the City’s Comprehensive Plan.

- d. The property that is the subject of the proposed amendment is not located within an area of critical state concern, unless the project subject to the proposed amendment involves the construction of affordable housing units meeting the criteria of s. [420.0004\(3\)](#), and is located within an area of critical state concern designated by s. [380.0552](#) or by the Administration Commission pursuant to s. [380.05\(1\)](#).**

The site location is not located within an area of state critical concern, and this criterion does not apply.

2. Whether the land use is an appropriate use of the land.

Land Use: The adjacent land uses and zoning are as follows:

Land Use and Zoning Designations of Adjacent Property			
	Current Land Uses	Future Land Use Designation	Zoning
North	Super 8 hotel/motel	Ormond Beach "Tourist Commercial"	Ormond Beach B-7 (Highway Tourist Commercial)
South	Exxon Gas Station and Burger King Fast Food Restaurant	Volusia County "Commercial"	Volusia County B-6 (Highway Interchange Commercial)
East	North US Highway 1 south bound ramp	N/A	N/A
West	Best Value Inn	Ormond Beach "General Commercial"	Ormond Beach B-7 (Highway Tourist Commercial)

The future land use designation presently assigned to the subject property is Volusia County "Commercial". The directive text of Volusia County's Comprehensive Plan states the following for the "Commercial" land use category:

"Commercial (C) - This designation accommodates the full range of sales and service activities. These uses may occur in self-contained centers, multi-story structures, campus parks, municipal central business districts, or along arterial highways. In reviewing zoning requests or site plans, the specific intensity and range of uses, and design will depend on locational factors, particularly compatibility with adjacent uses, availability of highway capacity, ease of access and availability of other public services and facilities. Uses should be located to protect adjacent residential use from such impacts as noise or traffic. In wellfield protection areas uses are prohibited that involve the use, handling, storage, generation or disposal of hazardous or toxic material or waste or petroleum products. Intensity shall be no more than a fifty-five percent Floor Area Ratio (0.55 FAR) consistent with the applicable underlying zoning classification standards and land development regulations.

Commercial development in newly developing areas is designated in nodes at major thoroughfare intersections. Primarily new development should be designed to utilize the shopping center concept and not designed to encourage strip style commercial development. The various types of shopping centers are described in Chapter 20, Definitions under Shopping Centers.

However, the Plan recognizes existing strip commercial development along many arterial roadways may remain. These areas are identified on the Future Land Use Map and if the designation is shown on only one side of a roadway, this specifically provides that particular side is intended for commercial use and is not to suggest that the opposite side is also included. Future extension of the strip commercial beyond that shown on the Plan Map shall require a Plan amendment.

Existing commercial uses not indicated on the Future Land Use Map may be consistent with the Plan if they comply with Number 16 of the Interpretation Section.”

The request is for an amendment to the City “Tourist Commercial” land use category. The directive text of the City’s Comprehensive Plan states the following for “Tourist Commercial” category:

“Purpose: A multi-use land use category to provide uses along the Atlantic Ocean, SR A1A and highway interchanges, that include transit availability, retail services, tourist attractions, restaurants, multi-family and lodging to visitors to the City. For projects that propose a mixture of residential and non-residential uses, the minimum FAR should be 0.2.

Density: Maximum: 32 units per acre.

Maximum FAR: 1.5.”

The proposed future land use designation is compatible with adjacent land uses in terms of Volusia County density and intensity standards. At this time, the Planning Department does not have any proposals regarding any further development of the property. The directive text of the City’s Comprehensive Plan explains that commercial development in Ormond Beach has occurred along the major arterials and that this trend should be continued.

3. Whether there is adequate infrastructure to serve the proposed land use.

Infrastructure: Impact analysis examines the maximum expected impacts of the current designation versus the requested designation based on a preliminary development scenario. This analysis is not meant to replace or contradict the findings of a Concurrency Management Review. However, the relative differences between designations can provide useful information in the long-range planning process. This analysis is based on ±0.46 developed acres to be assigned the City “Tourist Commercial” land use.

Transportation: Based on the ITE rate of category 933 (ITE Trip Generation Manual, 9th Edition), a fast food restaurant is estimated to generate 1,489 daily trips. Since the site is already developed and designated Volusia County “Commercial”, a change in Future Land Use to Ormond Beach “Tourist Commercial” will not generate an increase in new trips at this time.

Water & Sewer: The subject property is located in the utility service area of the City of Ormond Beach and will not generate in increase in demand. While the existing water pressure is low, the City plans to install a booster pump at Nova Road and US Highway 1.

Stormwater Management: The site is developed and was constructed prior to current stormwater regulations. Any new development would require stormwater review.

Solid Waste: This property is served by the City of Ormond Beach.

Schools: The site is developed as a fast food restaurant and there will be no impacts to schools as a result of the subject land use amendment.

Other Services: City police and fire protection services serve this area. The parcel is located within an approximate 4-5 minute response time from emergency facilities.

4. Whether the proposed map amendment impacts surrounding jurisdictions.

The developed property is not located next to another City and there are no new impacts expected to any surrounding jurisdiction. The North US Highway 1 corridor near the I-95 interchange is a mixture of properties located within Ormond Beach and unincorporated Volusia County.

CONCLUSION: Staff supports the land use amendment from Volusia County “Commercial” to Ormond Beach “Tourist Commercial”. Since the existing parcel is developed as a fast food restaurant, this small-scale land use map amendment is an administrative amendment required to assign a City Future Land Use Map designation to the subject parcel. Staff believes that the Ormond Beach “Tourist Commercial” land use category is appropriate for the following reasons:

1. The amendment meets the Goals, Objectives, and Policies of the City’s comprehensive plan;
2. The amendment meets the criteria established in the City’s Comprehensive Plan and Florida Statute;
3. The proposed land use is an appropriate use of land; and
4. There is adequate infrastructure to serve the proposed land use. Since the site is already developed, there will be no change to impacts on facilities and services as a result of the administrative change in land use from county “Commercial” to Ormond Beach “Tourist Commercial”.
5. The proposed land use will not impact surrounding jurisdictions.

RECOMMENDATION: Staff recommends that the Planning Board recommend **APPROVAL** of Case # LUPA 12-103 – a Future Land Use map amendment to change the land use for ±0.46 acres from the existing land use designation of Volusia County “Commercial” to City of Ormond Beach “Tourist Commercial” for 1626 North US Highway 1.

- Attachments
- Exhibit 1: Location Aerial and Photo
 - Exhibit 2: Future Land Use Maps
 - Exhibit 3: Legal Description and Sketch
 - Exhibit 4: Volusia County Schools Letter

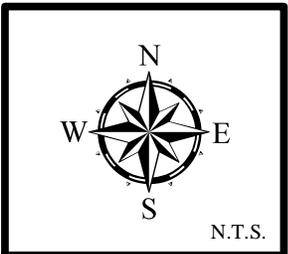
EXHIBIT 1

Location Aerial and Photo



AERIAL MAP
1626 N. US HWY 1 (3136-01-64-0022)

The City of Ormond Beach G.I.S. Deaprtment
Prepared By: Eric Dickens 11/15/11



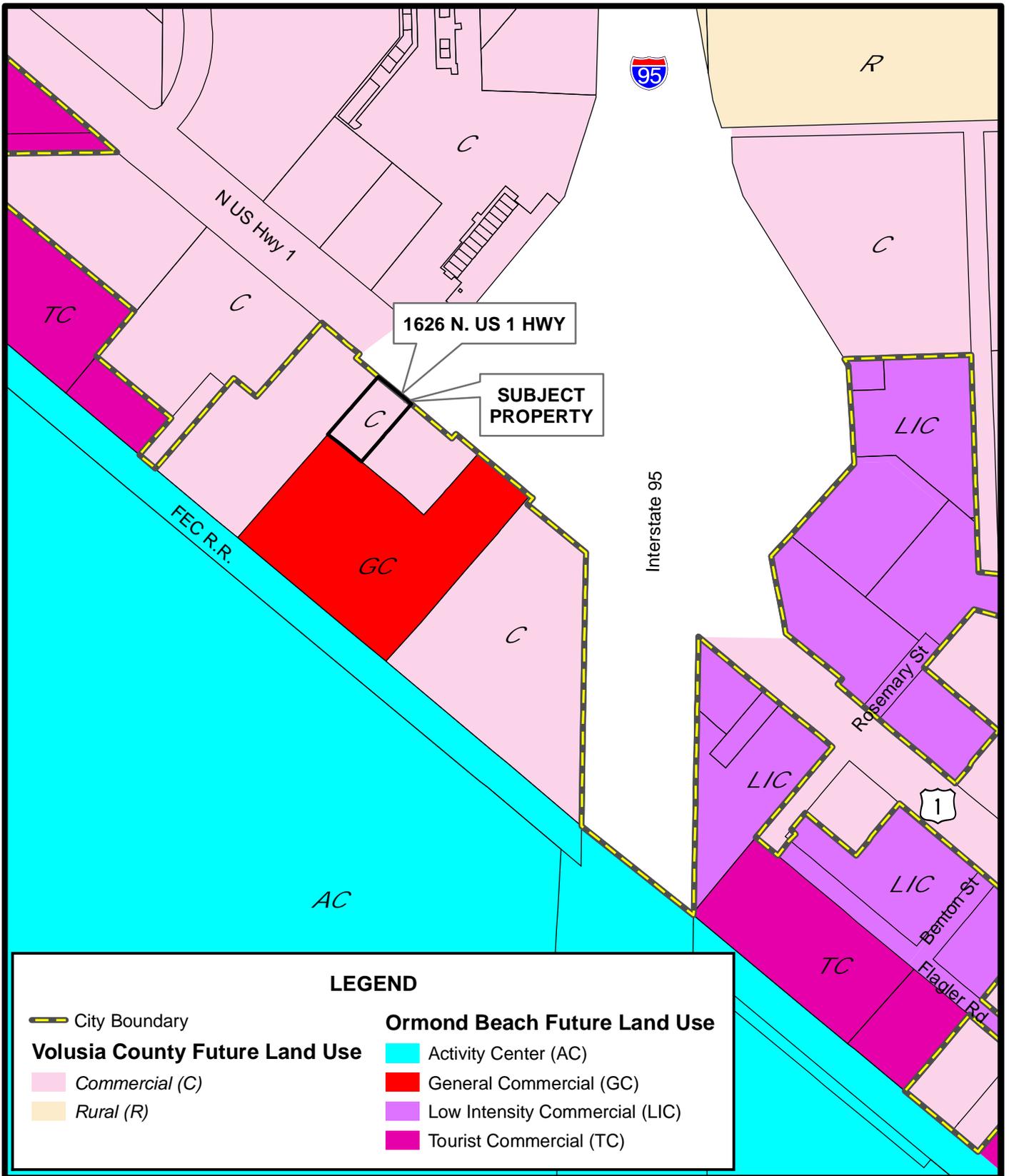


Dairy Queen

1626

EXHIBIT 2

Future Land Use Maps



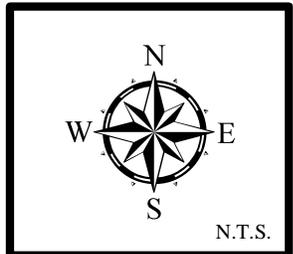
LEGEND

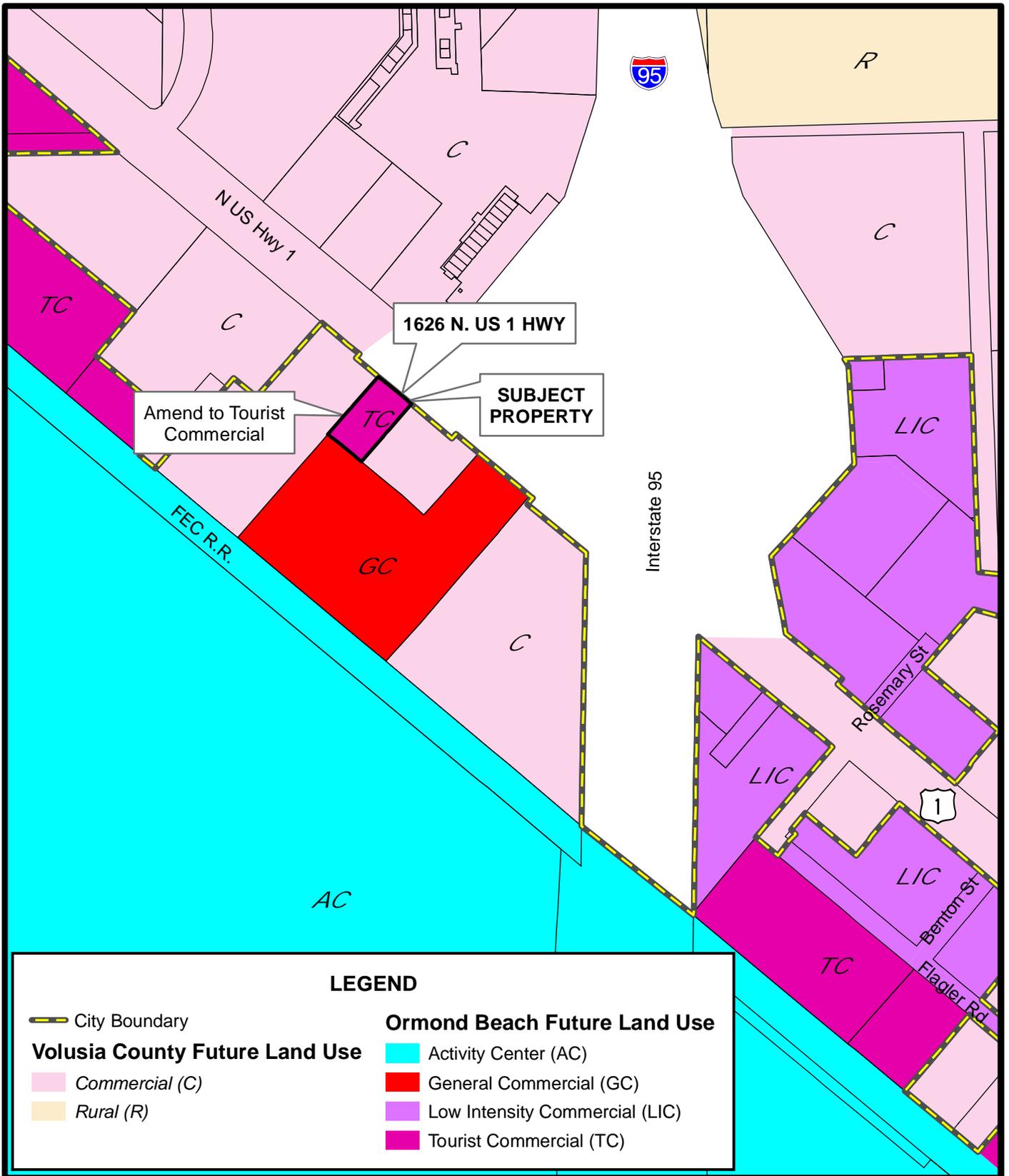
City Boundary	Ormond Beach Future Land Use
Volusia County Future Land Use	Activity Center (AC)
Commercial (C)	General Commercial (GC)
Rural (R)	Low Intensity Commercial (LIC)
	Tourist Commercial (TC)



CURRENT FUTURE LAND USE MAP
1626 N. US 1 HWY
PID 3136-01-64-0022

Prepared By: The City of Ormond Beach
 G.I.S. Department 1/18/2013





LEGEND

 City Boundary	Ormond Beach Future Land Use
Volusia County Future Land Use	 Activity Center (AC)
 Commercial (C)	 General Commercial (GC)
 Rural (R)	 Low Intensity Commercial (LIC)
	 Tourist Commercial (TC)



PROPOSED FUTURE LAND USE MAP
1626 N. US 1 HWY
PID 3136-01-64-0022

Prepared By: The City of Ormond Beach
 G.I.S. Department 1/18/2013

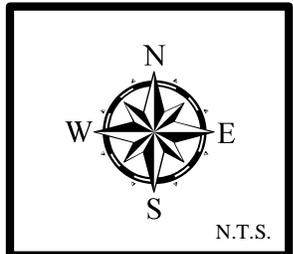


EXHIBIT 3

Legal Description and Sketch

LEGAL DESCRIPTION

PART OF BLOCK 64, INCLUDING THAT PORTION OF A 15 FOOT ALLEY (NOW VACATED), EXCEPTING A PORTION OF SAID BLOCK 64 IN THE RIGHT-OF-WAY OF N U.S. HIGHWAY NO.1, ALL IN THE REVISED PLAT OF NATIONAL GARDENS, AS RECORDED IN MAP BOOK 10, PAGES 250-253, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

AS A POINT OF COMMENCEMENT BEGIN AT THE INTERSECTION OF THE EASTERLY LINE OF LOT 1, BLOCK 64, OF SAID NATIONAL GARDENS, WITH THE SOUTHERLY LINE OF U.S. HIGHWAY No.1 (A 160 FOOT RIGHT-OF-WAY AS OCCUPIED AND ESTABLISHED); THENCE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 235.00 FEET; THENCE S40°04'40"W A DISTANCE OF 32.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID SOUTHERLY RIGHT-OF-WAY S49°55'20"E A DISTANCE OF 100.00 FEET; THENCE DEPARTING SAID SOUTHERLY LINE RUN S40°04'40"W PARALLEL TO THE NORTHWESTERLY LINE OF SAID BLOCK 64, 200.00 FEET; THENCE N49°55'20"W, PARALLEL TO SAID US HIGHWAY NO.1, 100.00 FEET; THENCE N40°04'40"E PARALLEL TO THE AFORESAID NORTHWESTERLY LINE OF BLOCK 64, 200.00 FEET TO THE POINT OF BEGINNING

SAID PARCEL CONTAINING 20,000 SQ. FT. OR 0.46 ACRES MORE OR LESS.

EXHIBIT 4

Volusia County Schools Letter Dated 01.25.13



Dr. Margaret A. Smith
Superintendent of Schools

FACILITIES SERVICES

3750 Olson Drive, Daytona Beach, Florida 32124
PHONE: 386/947-8786 FAX: 386/506-5056

School Board of Volusia County

Mrs. Diane Smith, Chairman
Ms. Candace Lankford, Vice-Chairman
Mr. Stan Schmidt
Mrs. Linda Costello
Ms. Ida Wright-Duncan

January 25, 2013

Ms. Lauren Kornel
Senior Planner
City of Ormond Beach
22 S. Beach Street, #104
Ormond Beach, FL 32174

RE: Land Use Amendment – 1622 and 1626 N. US Hwy 1

Dear Ms. Kornel:

District staff has reviewed the proposed land use amendment information for the properties located at 1622 and 1626 North US Hwy 1 in the Ormond Beach area.

The current land use designation for the subject properties is Volusia County Commercial and both support existing nonresidential uses. The proposed land use designation for both properties is Ormond Beach Tourist Commercial. This land use designation could permit up to thirty-two (32) units per acre. However, district staff does acknowledge that the proposed land use amendments do not propose new or additional land uses for the subject properties.

Staff understands that this amendment is essentially 'housekeeping' and therefore has no objection to the proposed land use amendments.

Thank you for the opportunity to review and comment on these small-scale land use changes. If you should have questions or require additional information, please do not hesitate to contact me at (386) 947-8786 extension 50805.

Sincerely,

Helen LaValley
Planning Specialist

C: City File

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: February 1, 2013

SUBJECT: 1626 North US Highway 1- Dairy Queen: Amendment to Official Zoning Map

APPLICANT: City Initiated

NUMBER: RZ12-104

PROJECT PLANNER: S. Lauren Kornel, AICP, Senior Planner

INTRODUCTION: This is a city initiated request to amend the City's Official Zoning Map for a ±0.46-acre parcel of land from the existing zoning classification of Volusia County B-6 (Highway Interchange Commercial) to City of Ormond Beach B-7 (Highway Tourist Commercial) at 1626 North US Highway 1, Dairy Queen (see Exhibit 1).

BACKGROUND: The property located at 1626 North US Highway 1 is owned by John J. Welsch who operates a fast food restaurant. The property was developed under Volusia County review in the late 1960's and connected to City water in 1998. The property was annexed on January 8, 2013, with Ordinance 2012-43. The annexation occurred based on the 1991 US Highway 1 Interlocal Utility Service Area Agreement (Resolution No. 91-131), connection to City of Ormond Beach Utilities in 1998 and contiguity with the City boundary.

The City is presently processing a separate land use amendment from Volusia County "Commercial" to Ormond Beach "Tourist Commercial". The proposed rezoning from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Tourist Commercial) is contingent upon adopting the land use change. As previously stated, the subject property is already developed and there is no site development or alterations proposed for the subject property associated with this re-zoning. Subsequent to Planning Board review, the rezoning will be reviewed by the City Commission for final action.

ANALYSIS: The existing Volusia County zoning classification for the subject property is B-6 (Highway Tourist Commercial). The Volusia County Land Development Code states the purpose and intent for the B-6 zoning is as follows:

"The purpose and intent of the B-6 Highway [Interchange] Commercial Classification is to provide a specialized classification for hotels, motels and tourist-related retail facilities near major highway interchanges."

Below is a list of the permitted (staff approval) and Special Exception (County Council approval) uses for the existing zoning district.

Volusia County Permitted B-6 (Highway Interchange Commercial) Uses

Automobile rental agencies	Cultural arts center	Houses of worship	Public schools
Automotive service stations, types A, B, C	Essential utility services	Laundry and dry-cleaning establishments	Publicly owned park and recreational areas
Bars, accessory to hotels & restaurants	Exempt excavations	Libraries	Publicly owned or regulated water supply wells
Barber and beauty shops	Exempt landfills	Newsstands	Restaurants, types A and B
Car washes	Fire stations	Mobile recreational vehicle shelter sales and services	Retail specialty shops
Communication towers not exceeding 70 in height	Government sponsored civic centers	Museums	Theaters
Convenience stores with more than eight vehicular service positions	Home occupations, class A	Nightclubs	Tire sales
Convenience stores, with or without fuel dispensers	Hotels/motels	Outdoor entertainment event	

Volusia County Special Exception B-6 (Highway Interchange Commercial) Uses

Communication towers exceeding 70 feet	Flea Markets	Public uses not listed as a permitted principal use	Only one single-family dwelling for the owner/manager of an existing permitted use
Cemeteries	Mobile recreational vehicle and shelter parks	Public utility users and structures	Truck stops and storage
Curb markets	Outdoor entertainment and recreational uses and structures	Railroad yards, siding and terminals	
Excavations only for stormwater retention ponds for which a permit is required	Professional or trade schools related to permitted uses	Schools, parochial or private	

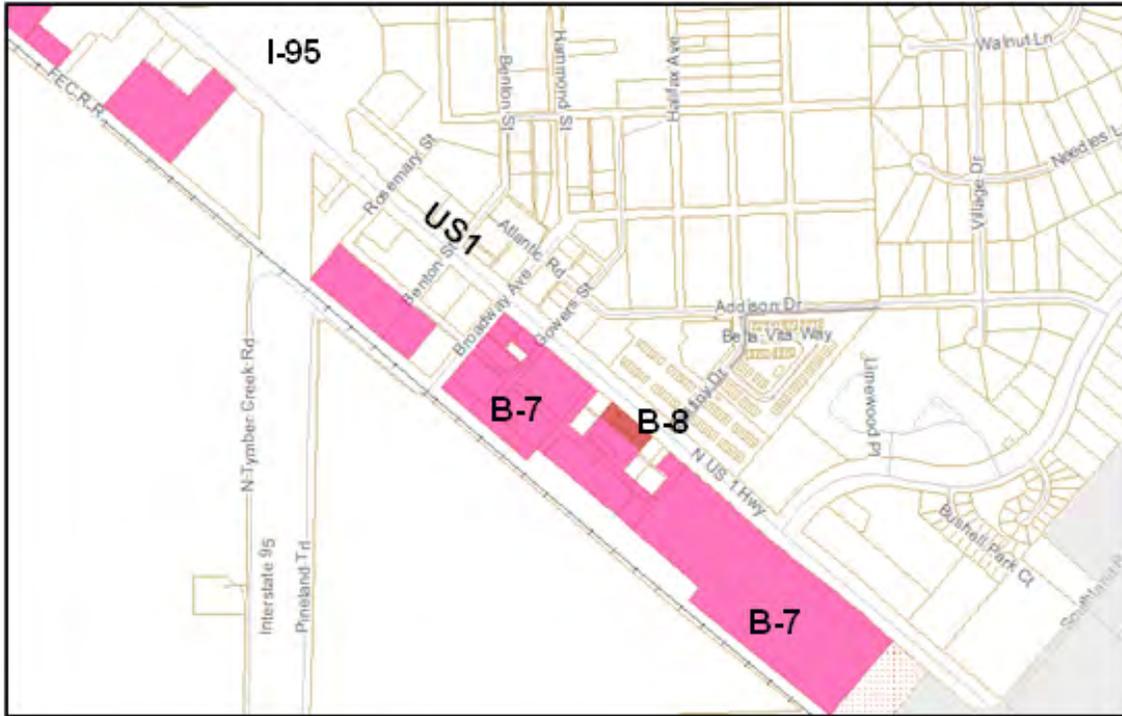
The subject property is undergoing a land use amendment to assign a City Future Land Use designation of "Tourist Commercial". During staff's analysis the following points were considered:

1. The area of the subject property is located in the general area of the intersection of Interstate 95 and US Highway 1. Uses in this area include motel, gas station,

nightclub, restaurant, convenience store, and other commercial uses, including office and retail.

2. South of the intersection of Interstate 95 and US Highway 1, the B-7 (Highway Tourist Commercial) zoning classification extends approximately 4,500 linear feet.

Ormond Beach Zoning Map



3. The goal of the zoning classification is to provide the most similar classification assigned by Volusia County. In accordance with the City’s Comprehensive Plan the city “Tourist Commercial” land use designation was applied to the subject property. In choosing an appropriate zoning district, Table 2.2 under Chapter 2, Article I – Establishment of Zoning Districts and Official Zoning Map, Section 2.02 of the City’s Land Development Code was referenced.

Comprehensive Plan Future Land Use Map Designation	Corresponding Compatible Zoning District
Tourist Commercial	Oceanfront Tourist Commercial (B-6) Highway Tourist Commercial (B-7) Planning Residential Development (PRD) Planned Business Development (PBD)

Chapter 2, Article I Zoning Districts, Section 2.02 Future Land Use Map Designations and Zoning Districts, Table 2.2

Under the “Tourist Commercial” land use designation, there are four corresponding and compatible zoning districts including Oceanfront Tourist Commercial (B-6), Highway Tourist Commercial (B-7), Planned Residential Development (PRD), and Planned Business Development (PBD). The PRD and PBD zoning districts were eliminated since those districts are planned development designations and do not apply to the annexation of the subject

property. Since the subject property is not located beachside, the B-7 zoning district is not applicable. Given the location of the subject property near an interchange where tourist facilities and tourist related activities are located, the B-6 zoning district was identified as corresponding and compatible with the “Tourist Commercial” land use designation.

Zoning Adjacent Land Use:

Adjacent land uses and zoning are as follows:

Land Use Designations and Zoning Classifications of Surrounding Property

	Current Land Uses	Future Land Use Designation	Zoning Classification
North	Super 8 hotel/motel	Ormond Beach "Tourist Commercial"	Ormond Beach B-7 (Highway Tourist Commercial)
South	Exxon Gas Station and Burger King Fast Food Restaurant	Volusia County "Commercial"	Volusia County B-6 (Highway Interchange Commercial)
East	North US Highway 1 south bound ramp	N/A	N/A
West	Best Value Inn	Ormond Beach "General Commercial"	Ormond Beach B-7 (Highway Tourist Commercial)

CONCLUSION/CRITERIA FOR APPROVAL: Section 1-18 D.3. of the Land Development Code states that the Planning Board shall review non-planned development rezonings based on the Development Order criteria in Section 1-18.E. of the Land Development Code which are analyzed below:

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare, or quality of life.**

No specific development is proposed and the request is based on a need to assign a City zoning classification to the property as the result of annexation. The zoning map amendment is contingent on a City land use being assigned and will not adversely affect public health, safety, welfare, or the quality of life.

- 2. The proposed development is consistent with the Comprehensive Plan.**

There is a separate land use map amendment that proposes to assign a City “Tourist Commercial” designation to the property. Policy 5.1.1. of the Future Land Use Element states that properties annexed into the City of Ormond Beach shall be

assigned similar land uses that they had in Volusia County. The subject property is already developed with fast food restaurant and no additional improvements are proposed. The requested B-7 zoning district is consistent with the "Tourist Commercial" land use designation.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The property has an existing building and site improvements. There is no construction proposed and criterion is not applicable.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

This proposed zoning map amendment is not anticipated to have a significant impact on adjacent properties and the existing fast food restaurant will continue to operate as it historically has.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 8. The proposed development provides for the safety of occupants and visitors.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

- 9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

The property has existing building and site improvements. There is no construction proposed and this criterion is not applicable.

10. The testimony provided at public hearings.

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet.

Staff supports the rezoning from Volusia County B-6 to Ormond Beach B-7. Since the subject parcel is developed as a fast food restaurant, this rezoning is administrative and required to assign a zoning classification to the parcel. In accordance with Section 1-18.E.3 of the Land Development Code which states that the City Commission shall consider rezonings based on the consistency with the Comprehensive Plan, the rezoning is consistent based upon the following points:

- The impacts on facilities and services will not change as a result of the requested zoning amendment from Volusia County B-6 (Highway Interchange Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).
- The proposed City zoning classification of B-7 is most consistent with the Volusia County zoning classification of B-6 and provides similar types of uses.
- The administrative request is consistent with the compatibility matrix outlined in the Land Development Code for the Future Land Use Plan Map designation of "Tourist Commercial".

RECOMMENDATION: Staff recommends that the Planning Board recommend **APPROVAL** to the City Commission of the administrative request to amend the Official Zoning Map to change the zoning classification of 1626 North US Highway 1, as described in the attached legal description, from Volusia County B-6 (Commercial) to Ormond Beach B-7 (Highway Tourist Commercial).

Attachments

- Exhibit 1: Location Aerial, Photo, Zoning Map
- Exhibit 2: Legal Description and Sketch
- Exhibit 3: Section 2-28 of the LDC, B-7 zoning district

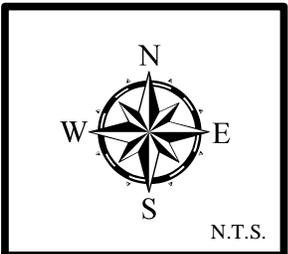
EXHIBIT 1

Location Aerial, Photo and Zoning Map



AERIAL MAP
1626 N. US HWY 1 (3136-01-64-0022)

The City of Ormond Beach G.I.S. Deaprtment
Prepared By: Eric Dickens 11/15/11





Dairy Queen

1626

EXHIBIT 2

Legal Description and Sketch

LEGAL DESCRIPTION

PART OF BLOCK 64, INCLUDING THAT PORTION OF A 15 FOOT ALLEY (NOW VACATED), EXCEPTING A PORTION OF SAID BLOCK 64 IN THE RIGHT-OF-WAY OF N U.S. HIGHWAY NO.1, ALL IN THE REVISED PLAT OF NATIONAL GARDENS, AS RECORDED IN MAP BOOK 10, PAGES 250-253, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

AS A POINT OF COMMENCEMENT BEGIN AT THE INTERSECTION OF THE EASTERLY LINE OF LOT 1, BLOCK 64, OF SAID NATIONAL GARDENS, WITH THE SOUTHERLY LINE OF U.S. HIGHWAY No.1 (A 160 FOOT RIGHT-OF-WAY AS OCCUPIED AND ESTABLISHED); THENCE S49°55'20"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 235.00 FEET; THENCE S40°04'40"W A DISTANCE OF 32.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID SOUTHERLY RIGHT-OF-WAY S49°55'20"E A DISTANCE OF 100.00 FEET; THENCE DEPARTING SAID SOUTHERLY LINE RUN S40°04'40"W PARALLEL TO THE NORTHWESTERLY LINE OF SAID BLOCK 64, 200.00 FEET; THENCE N49°55'20"W, PARALLEL TO SAID US HIGHWAY NO.1, 100.00 FEET; THENCE N40°04'40"E PARALLEL TO THE AFORESAID NORTHWESTERLY LINE OF BLOCK 64, 200.00 FEET TO THE POINT OF BEGINNING

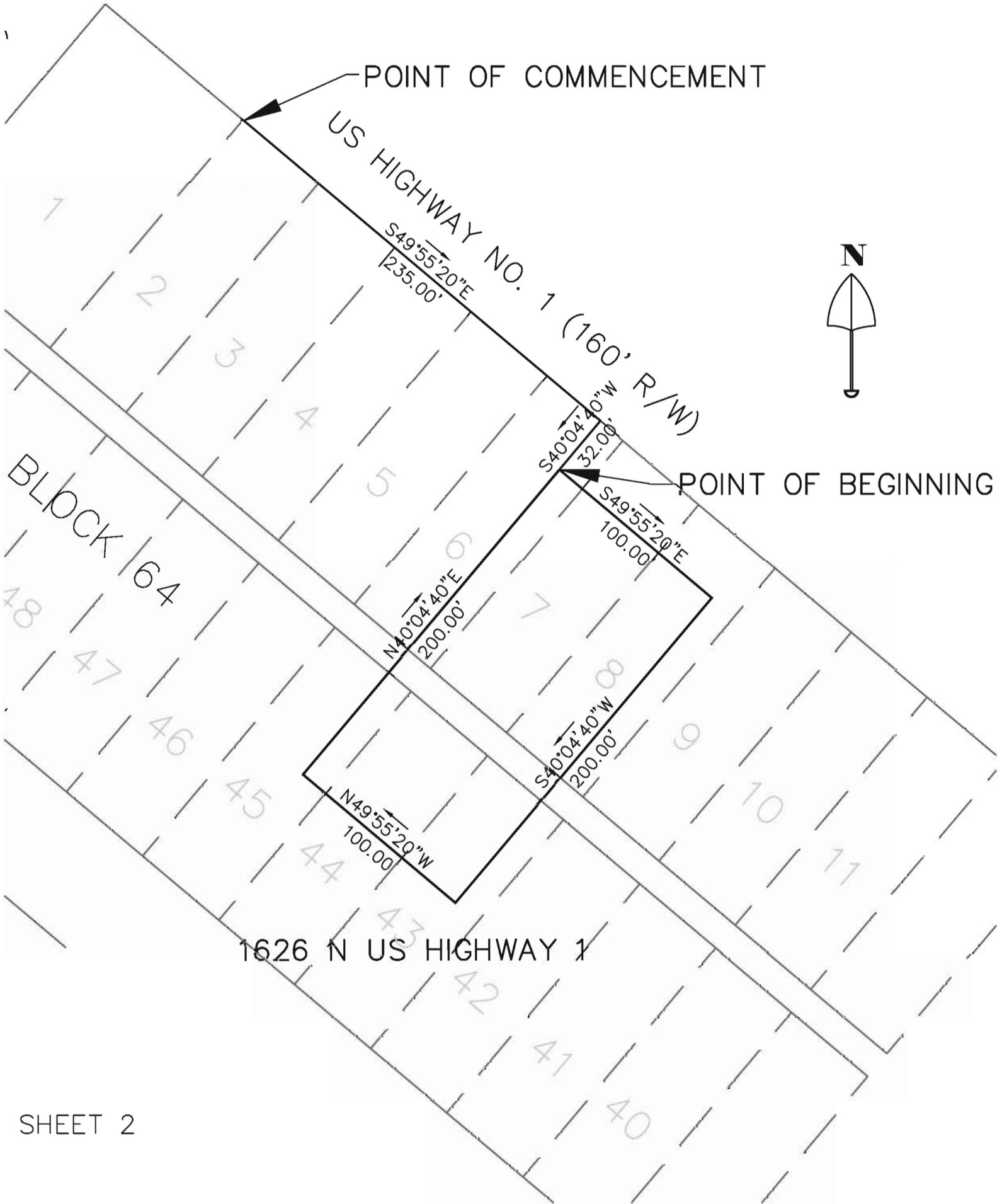
SAID PARCEL CONTAINING 20,000 SQ. FT. OR 0.46 ACRES MORE OR LESS.

POINT OF COMMENCEMENT

US HIGHWAY NO. 1 (160' R/W)



POINT OF BEGINNING



S49°55'20"E
235.00'

S40°04'40"W
32.00'

S49°55'20"E
100.00'

N40°04'40"E
200.00'

S40°04'40"W
200.00'

N49°55'20"W
100.00'

BLOCK 64

1626 N US HIGHWAY 1

EXHIBIT 3

B-7 Zoning District

SECTION 2-28: B-7: HIGHWAY TOURIST COMMERCIAL Zoning District

A. PURPOSE: The purpose of the Highway Tourist Commercial (B-7) zoning district is to provide for a variety of tourist facilities and tourist-related support activities in an attractive setting which will promote pedestrian activity and reinforce positive visitor experience. This district is designed for use within or in close proximity to other districts within which major Transient Lodging development has occurred or is permitted.

B. DIMENSIONAL STANDARDS

1.	2.	3.	4.	5.	6.	7.	8.	9. Setbacks				
								a.	b.	c.	d.	e.
Type	Density	Maximum Building Height	Maximum Building Coverage	Maximum Impervious Lot Coverage	Minimum Lot Size	Minimum Lot Width	Minimum Lot Depth	Front	Rear	Side	Street Side/Corner	Waterbody
Non-Residential Uses	36 (Transient Lodging)	50'	40%	75%	20,000 SF	100'	N/A	20'	30' if abutting residential district; 5' additional combined side yard required for each story over 2	10' 20' when abutting a multi-family district; 25' when abutting a single-family district; 5' of additional combined yard area required for each story over 2	20'	30'
Multi-Family	10	50'	40%	75%	20,000 SF	100'	N/A	20'	30' if abutting residential district	10' when abutting a multi-family district; 25' when abutting a single-family district	20'	30'

C. PERMITTED USES

- Adult Day Care Center
- Assisted Living Facility
- Business/Professional Services
- Business Services
- Clubs and Fraternal Organization
- Convenience Store, Type "A"
- Financial Institutions
- Nursing Home
- Personal Services
- Retail Sales and Services
- School of Art
- Schools, Public
- Transient Lodging
- Veterinarian

D. CONDITIONAL USES

- Bar
- Community Residential Home
- Convenience Store, Type "B"
- Convenience Store, Type "C"
- Dwelling, Multi-Family
- Family Day Care Home
- Golf Course, contoured
- Hospital
- House of Worship
- Nightclub
- Parking Lot
- Parking Garage
- Parks and Recreation Facilities, Private
- Parks and Recreation Facilities, Public
- Public Facilities
- Public Utilities
- Recreation Facilities, Indoor
- Restaurant, Type "A"
- Restaurant, Type "B"
- Restaurant, Type "C"
- School, Private
- Shopping Center
- Telecommunication Tower, Camouflaged
- Theater
- Wind Energy System

E. SPECIAL EXCEPTION USES

- Automatic Amusement Center
- Nightclub
- Outdoor Activity
- Outdoor Storage
- Recreation Facilities, Outdoor
- Telecommunication Tower
- Vehicle Rental

F. OTHER STANDARDS

- All development must comply with the following requirements:
- Wetlands (Chapter 3, Article II)
 - Special corridors and buffer requirements (Chapter 3, Article I)
 - See Conditional and Special Exception regulations (Chapter 2, Article IV)
 - Multi-family dwelling units shall have the following minimum square footage per bedroom:

1 Bedroom = 600 SF	3 Bedroom = 900 SF
2 Bedroom = 750 SF	Each Additional Bedroom = 150 SF

G. PERMITTED ACCESSORY USES: Accessory uses customarily associated with, dependent on, and incidental to their permitted principal uses, provided that such uses conform to the regulations set forth in Chapter 2, Article III.