



**A G E N D A**  
**ORMOND BEACH PLANNING BOARD**  
**Regular Meeting**

**January 10, 2013**

**7:00 PM**

**City Commission Chambers**  
22 South Beach Street  
Ormond Beach, FL

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

**I. ROLL CALL**

**II. ADMINISTRATIVE ITEMS**

- A. Election of Chairperson and Vice Chairperson
- B. Adoption of 2013 Rules and Procedures
- C. Adoption of 2013 Planning Board Calendar

**III. INVOCATION**

**IV. PLEDGE OF ALLEGIANCE**

**V. NOTICE REGARDING ADJOURNMENT**

THE PLANNING BOARD WILL NOT HEAR NEW ITEMS AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

**VI. APPROVAL OF THE MINUTES: November 9, 2012.**

**VII. PLANNING DIRECTOR'S REPORT**

**VIII. PUBLIC HEARINGS**

**A. PBD 13-4: 460 South Atlantic Avenue, Sunoco, Planned Business Development Rezoning**

This is a request by Bill Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc. for a rezoning from B-7 (Highway Tourist Commercial) to (PBD) Planned Business Development at 460 South Atlantic Avenue. The application seeks to demolish the existing convenience store and eight fueling stations and re-construct a 2,455 square foot Sunoco convenience store with six fueling positions and associated site improvements.

**IX. OTHER BUSINESS**

**X. MEMBER COMMENTS**

**XI. ADJOURNMENT**

# CITY OF ORMOND BEACH

FLORIDA

PLANNING

MEMORANDUM

**TO:** Planning Board Members

**FROM:** Steven Spraker, AICP, Senior Planner

**DATE:** January 3, 2013

**SUBJECT:** Planning Board Administrative Items

This is the first meeting of the Planning Board for the year 2013. There are two administrative items on the agenda including the election of the chairperson/vice-chairperson, adoption of the 2013 Calendar, and the rules of procedures. Section 1-15.B.3 of the Land Development Code states at the first meeting of the Board each year, the secretary shall call the meeting to order and shall then call for nominations for chairperson. There have been no changes made to the 2012 Rules of Procedure.

If there are any questions, I can be contacted at 676.3341 or by e-mail at [Steven.Spraker@ormondbeach.org](mailto:Steven.Spraker@ormondbeach.org). Thank you.

# 2013 Planning Board Public Hearing Schedule

Deadline for Submittal to SPRC	SPRC Meeting: Projects are Determined on/ off Agenda	15 Sets of Site Plans for PB	PB Mail Notification and NJ advertisement by staff	Post Property (by applicant) 14 Days Prior to Meeting	Final Staff Reports and Agenda sent to PB	Planning Board Meeting Date	Packet to City Attorney's Office	City Commission – 1 <sup>st</sup> Reading	City Commission - 2nd Reading
11/27/12	12/11/12	12/20/12	12/26/12	12/27/12	12/31/12	January 10, 2013	01/23/13	02/19/13	03/05/13
01/01/13	01/15/13	1/24/13	01/30/13	01/31/13	02/04/13	February 14, 2013	02/20/13	03/19/13	04/02/13
01/29/13	02/12/13	2/21/13	02/27/13	02/28/13	03/04/13	March 14, 2013	03/20/13	04/16/13	05/07/13
02/26/13	03/12/13	3/21/13	03/27/13	03/28/13	04/01/13	April 11, 2013	04/24/13	05/21/13	06/04/13
03/26/13	04/09/13	4/18/13	04/24/13	04/25/13	04/29/13	May 9, 2013	05/22/13	06/18/13	07/02/13
04/30/13	05/14/13	5/23/13	05/29/13	05/30/13	06/03/13	June 13, 2013	07/03/13	07/30/13	08/20/13
05/28/13	06/11/13	6/20/13	06/26/13	06/27/13	07/01/13	July 11, 2013	07/24/13	08/20/13	09/03/13
06/25/13	07/09/13	7/18/13	07/24/13	07/25/13	07/29/13	August 8, 2013	08/21/13	09/17/13	10/01/13
07/30/13	08/13/13	8/22/13	08/28/13	08/29/13	09/02/13	September 12, 2013	09/18/13	10/15/13	11/05/13
08/27/13	09/10/13	9/19/13	09/25/13	09/26/13	09/30/13	October 10, 2013	10/30/13	11/19/13	12/03/13
10/01/13	10/15/13	10/24/13	10/30/13	10/31/13	11/04/13	November 14, 2013	11/20/13	12/17/13	01/07/13
10/29/13	11/12/13	11/21/13	11/27/13	11/28/13	12/02/13	December 12, 2013	12/18/13	01/21/13	02/04/14

**RULES OF PROCEDURE  
OF THE  
PLANNING BOARD  
FOR THE  
CITY OF ORMOND BEACH**

The Planning Board of the City of Ormond Beach, Florida shall be governed by the terms of the Charter, the Code of Ordinances, and the Land Development Code of the City of Ormond Beach, and the Rules of Procedure set forth herein and adopted by the Board.

**SECTION 1. OFFICERS, MEMBERS AND DUTIES**

1.1 Chairman. A Chairman shall be elected by the Board, in accordance with Subsection 1-15:B3 of the Land Development Code. The Chairman shall decide upon all points of order and procedure subject to these rules, unless otherwise directed by a majority of the Board in session at the time. The Chairman shall appoint any subcommittee found necessary to investigate matters before the Board. The Chairman shall sign all minutes of the Board and all pertinent correspondence.

1.2 Vice-Chairman. A Vice-Chairman shall be elected by the Board, in accordance with Section 1-15:B3 of the Land Development Code. The Vice-Chairman shall serve as Acting Chairman in the absence of the Chairman and, at such times, shall have the same powers and duties as the Chairman.

1.3 Secretary. The Secretary shall be the Director of Planning or the designee of the said Director. The Secretary shall keep all records, shall conduct all correspondence of the Board, shall cause to be given the required legal notice of each public hearing and shall generally take charge of the clerical work of the Board. The Secretary shall take, or cause to be taken, the minutes of every meeting of the Board. These shall show the record of all important facts pertaining to each meeting and hearing, every resolution acted upon by the Board, and all votes of members of the Board upon any resolution or upon the final determination of any questions, in dictating the names of members absent or failing to vote. The Secretary shall endeavor to present the final copy of the minutes to the Chairman for signature not later than five (5) days before the next regular meeting. The Secretary shall keep all records open to the public at all times during normal business hours (8:00 AM-5:00 PM), but shall in no event relinquish the original of any record to any person, unless such authority is granted by the Chairman of the Board.

1.4 Members. As required by the Land Development Code Subsection 1-15:B1, members of the Board shall be appointed by the City Commission. Terms and conditions of appointment shall be governed by Article I, inclusive. Members shall provide the Secretary with their current home address and home and/or office telephone number, unless such information is made confidential by law. Such information shall be kept current by the members. In the event that a member of the Board shall be unable to attend a regularly scheduled meeting, the member shall notify the Secretary of the member's expected absence no later than five (5) days before that meeting. The five (5)

days notice of absence shall not apply to emergency absences beyond the member's control, nor to special meetings described in Subsection 2.2 below.

1.5 Viewing. The Board members shall make every effort to view any site being considered for recommendation. The Secretary shall provide each member with a map showing the subject site.

1.6 Schedule of Meetings. Pursuant to Subsection 4-03:C of the Land Development Code, the Board members shall approve a yearly calendar of meetings at its inaugural meeting each year. This schedule of meetings will establish timeframes for application submittal and SPRC review.

## **SECTION 2. MEETINGS**

2.1 Regular Meetings. Regular meetings of the Planning Board shall be held generally on the second Thursday of each month, at 7:00 PM, in the City Hall Commission Chambers. If the Chambers are not available, an alternate location shall be noted on the agenda and in all related advertising and noticing. The time and place of the regular monthly meeting may be changed by affirmative vote of a majority of the Board.

2.2 Special Meetings. Special meetings of the Board may be called at any time by the Chairman, or at the direction of any three (3) members of the Board. At least seventy-two (72) hours advance notice of the time and place of special meetings shall be given by the Secretary or Chairman to each member of the Board.

2.3 Cancellation of Meetings. Whenever there is no business for the Board, or whenever so many members notify the Secretary of inability to attend that a quorum will not be available, the Chairman may dispense with the regular meeting by instructing the Secretary to give written or oral notice to all members not less than twenty-four (24) hours prior to the time set for the meeting.

2.4 Quorum. A quorum shall consist of four (4) members for the transaction of business.

2.5 Conduct of Meeting. All meetings shall be open to the public. The order of business at regular meetings shall be as follows:

- a. Roll Call
- b. Invocation
- c. Pledge of Allegiance
- d. Notice Relative to Adjournment
- e. Approval of the Minutes
- f. Planning Director's Report
- g. Public Hearings
- h. Other Business and Discussion Items
- i. Member Comments
- j. Adjournment

2.6 Continued Meetings. The Board may continue a regular or special meeting if all business cannot be disposed of on the day set, and no further public notice shall be necessary for resuming such a meeting if the time and place of its resumption is stated at the time of continuance and is not thereafter changed.

2.7 Adjournment. New items will not be heard by the Board after 10:00 PM unless authorized by a majority vote of the Board members present. Items which have not been heard before 10:00 PM may be continued to a date and time certain, or to the next regular meeting, as determined by affirmative vote of the majority of the Board members present.

### **SECTION 3. VOTING**

3.1 Vote. The affirmative vote of a majority of the members present and legally entitled to vote at any meeting shall be necessary to make any recommendation on any matter coming before the Board. The Chairman shall have one (1) vote on all issues voted upon by the Board.

3.2 Voting Conflict of Interest. No member of the Board shall participate in any matter which would inure to the member's special private gain or loss, which the member knows would inure to the special private gain or loss of any principal by whom the member is retained, or to the parent organization or subsidiary of a corporate principal by which the member is retained; or which the member knows would inure to the special private gain or loss of a relative or business associate of the member without first disclosing the nature of the member's interest in the matter.

Such disclosure, indicating the nature of the conflict, shall be made in a written memorandum filed with the Secretary prior to the meeting in which consideration of the matter will take place, and shall be incorporated in the minutes. Any such memorandum shall become a public record upon filing, shall immediately be provided to the other members of the Board, and shall be read publicly at the next meeting held subsequent to the filing of this written memorandum.

In the event that disclosure has not been made prior to the meeting, or that any conflict is unknown prior to the meeting, the disclosure shall be made orally at the meeting when it becomes known that a conflict exists. A written memorandum disclosing the nature of the conflict shall then be filed within fifteen (15) days after the oral disclosure with the Secretary and shall be incorporated into the minutes of the meeting at which the oral disclosure was made. Any such memorandum shall become a public record upon filing, shall immediately be provided to the other members of the Board, and shall be read publicly at the next meeting held subsequent to the filing of this written memorandum.

Any member of the Board who, after written notice and public hearing, is found to have violated the provisions listed above, shall have the member's membership on the Board immediately terminated.

3.3 Abstention. All members of the Board shall vote in favor of, or in opposition to, all matters coming before the Board for vote, and such vote shall be recorded in the official records of the Board. However, no member shall vote upon any matter which would inure to the member's special private gain or loss; which the member knows would inure to the special private gain or loss of any principal by whom the member is retained or to the parent organization or subsidiary of a corporate principal by which the member is retained, other than an agency as defined in Florida Statutes, Section 112.312(2); or which the member knows would inure to the special private gain or loss of a relative or business associate of the member. Any member so required to abstain shall, prior to the vote being taken, publicly state to the assembly the nature of the member's interest in the matter from which the member is abstaining from voting and, within fifteen (15) days after the vote occurs, disclose the nature of the member's interest as a public record in a memorandum filed with the Secretary, who shall incorporate the memorandum in the minutes.

3.4 Policy. It shall be the policy of the Board to provide sufficient findings of fact in making a recommendation for denial, approval or approval with conditions. All findings of fact shall be based on the applicable standards and regulations contained in the Land Development Code, the information provided by the applicant, Planning staff's review of the application and appropriate information or evidence and testimony presented at the public hearing.

#### **SECTION 4. ATTENDANCE**

Attendance of the Planning Board members shall be subject to the standards contained in the Code of Ordinances, Chapter 2 Administration, Article VI Boards, Commissions, Committees and Other Agencies, Division 1. Generally, Section 2-202, Attendance of Members, as amended.

#### **SECTION 5. RESIDENCY REQUIREMENTS**

All Board members must be residents of the City of Ormond Beach. A member who, after appointment or selection to the Board, ceases to be a resident of the city shall promptly tender a resignation, which shall be effective immediately upon its tender. Failure to resign shall result in the person's membership on the Board being terminated by the City Commission. A member who locates his permanent residence outside of the zone from which he was appointed shall also be required to tender a resignation from the Board. Failure to tender the resignation, with continuous residency outside the zone from which he was appointed for more than sixty (60) days, shall be presumed to constitute residency outside the zone and the membership shall be terminated by the City Commission. Upon request of the person involved and upon a showing of good cause, the City Commission may extend such time.

#### **SECTION 6. APPLICATIONS**

All applications for Board action shall be complete and filed in the manner provided for in the Land Development Code.

## **SECTION 7. CONDUCT OF HEARINGS**

The applicant may appear in person or by agent or by attorney at the hearing. The order of procedure for each hearing shall be as follows:

7.1 The Chairman, the Chairman's designee, shall present a summary explanation of the application;

7.2 The staff shall present its analysis and recommendations regarding the application;

7.3 The applicant or the applicant's agent shall be afforded the opportunity to speak in behalf of the application;

7.4 Any Board member, with permission of the Chairman, may request additional staff input or question the application or his agent;

7.5 The Chairman shall direct persons wishing to speak in favor of, or in opposition to, the application shall be allowed to do so after signing in and stating their name and address - such presentation shall be made at the podium. The Chairman shall ensure that there is sufficient time allocated to the staff, applicant and public to provide comments and to address questions, comments and recommendations raised by the Planning Board members in their discussion of the application;

7.6 In order to allow the meeting to proceed in an orderly fashion, the Board, by motion, may limit the time allowed for remarks concerning a specific agenda item to a maximum of thirty (30) minutes for City staff, the designated representative of the applicant and the designated representative of any organized group and to five (5) minutes for members of organizations and other individual speakers. Additional time shall be allowed to respond to questions from the Board. The Chairman may also direct speakers to limit their comments to issues which have not been previously stated;

7.7 Arguments between the parties shall not be permitted - all remarks shall be addressed to the Chair;

7.8 Where there is no opposition to an application, the Chairman, by consensus of the Board and upon confirmation that all Board members have read the staff report, may waive the staff analysis (Section 7.2);

7.9 Members shall at all times speak directly into the microphones to facilitate the recording of the meetings; and

7.10 Copies of any and all letters, exhibits, or any information not otherwise provided prior to the meeting are required to be presented to the recording secretary for inclusion in the Board minutes.

## **SECTION 8. DECISIONS**

8.1 Time. Decisions by the Board shall be made in the form of a motion upon completion of the hearing.

8.2 Notification. The Secretary shall send a copy of the Board's recommendations to the City Commission and to the applicant within fifteen (15) days of the date of decision by the Board. A copy of the Board's recommendation shall be inserted in the applicant's file.

## **SECTION 9. AGENDA**

Each matter shall be placed upon the agenda of the Board by the Secretary. The order shall be set by the Chairman with emphasis placed on anticipated audience interest. There may be a cut-off date established by the Board after which no further matters shall be added to the agenda. The agenda of matters to be heard shall be mailed or delivered to each member of the Board at least five (5) days before the regular meeting.

## **SECTION 10. RECONSIDERATION**

Once a motion has been adopted, the Board may reconsider that matter at the same meeting, provided a motion to reconsider is made by a member who voted with the prevailing side.

## **SECTION 11. AMENDMENTS**

These Rules of Procedures may be amended or modified by an affirmative vote of not less than four (4) members of the Board, provided that such amendment be presented in writing at a regular meeting and action taken thereon at a subsequent regular meeting.

## **SECTION 12. MOTIONS**

Every motion shall require an affirmative vote of the majority of the Board members present and voting. Prior to polling the board, the Chairman shall announce the movant and the second.

## **SECTION 13. ROBERT'S RULES OF ORDER**

Any point of procedure not otherwise addressed by these Rules shall be governed by the current edition of Robert's Rules of Order, Newly Revised.

**PRESENTED IN WRITING** at a regular meeting of the Board on January 10, 2013.

**M I N U T E S**  
**ORMOND BEACH PLANNING BOARD**  
**Regular Meeting**

November 9, 2012

7:00 PM

**City Commission Chambers**

22 South Beach Street  
Ormond Beach, FL 32174

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

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**I. ROLL CALL**

Members Present

Al Jorczak  
Harold Briley  
Pat Behnke  
Rita Press  
Doug Thomas  
Doug Wigley  
Lewis Heaster

Staff Present

Richard Goss, AICP, Planning Director  
Lauren Kornel, AICP, Senior Planner  
Becky Weedo, AICP, Senior Planner  
Meggan Znorowski, Recording Technician

**II. INVOCATION**

Mr. Wigley led the invocation.

**III. PLEDGE OF ALLEGIANCE**

**IV. NOTICE REGARDING ADJOURNMENT**

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**V. APPROVAL OF MEETING MINUTES: August 9, 2012**

**Ms. Behnke moved to approve the minutes as submitted. Mr. Briley seconded the motion. Vote was called, and the motion unanimously approved.**

**VI. PLANNING DIRECTOR'S REPORT**

None.

**VII. PUBLIC HEARINGS**

**A. LDC 13-005: Water Survival Instruction Land Development Code Amendment.**

Mr. Thomas stated he asked Meggan Znorowski, Recording Technician to provide copies of the draft minutes from the joint workshop with the City Commission, and Ms. Znorowski graciously provided them. Mr. Thomas added the Board could utilize them to refresh their memory.

Mr. Richard Goss, Planning Director, City of Ormond Beach, stated this item initially was raised during the summer when the Board was reviewing other home occupations amendments, which the Commission approved allowing swimming instruction, but carved out a provision with regards to water survival instruction which would be a conditional use for which the City Commission directed staff to draft the criteria. Mr. Goss stated on October 1, 2012, a joint work session was held by the City Commission and Planning Board, and what is before the Board now is a result of that work session. Mr. Goss explained the three parts to this amendment: a definition of what water survival instruction is, the addition of water survival instruction as a conditional use to 13 zoning districts, and the criteria for the conditional use. Mr. Goss explained the requirements such as proof of general liability insurance, certification, and business tax receipt.

Mr. Briley stated staff has addressed the concerns that arose from the joint meeting with the City Commission.

Ms. Press inquired if there is a handle on how many home based businesses are within the City, and how does a business tax receipt work.

Mr. Goss responded yes, and NID constantly finds people who are working in their homes without a business tax receipt (BTR) based upon complaints. Mr. Goss explained BTRs work by the applicant coming and completing the application, some of which require zoning approval, and then the conditions are attached to the BTR which would be kept on file with the certification and proof of insurance. Mr. Goss stated the fee is dependent upon the type of business.

Ms. Press asked if there are any subdivisions which would meet the 20,000 square feet minimum lot size for water survival instruction.

Mr. Goss replied that there would not be many 20,000 square foot lots in most of the subdivisions approved as PRDs unless someone bought 2 lots and combined them, but staff attempted to keep this out of the small lots and keep it to the larger lot because based upon the testimony there is noise, and the noise is not typical of swimming instruction.

Me. Press stated she felt 15 minutes in between students was too little, and suggested 30 minutes.

Mr. Heaster stated when he read #5 regarding the maximum number of students and the time in between because if you have young children, you want one child to start right after the other finishes. Mr. Heaster expressed he felt this item was overbearing and difficult to follow. Mr. Heaster commented that there is already a provision permitting only one child in the pool at a time as well as only parking in the driveway.

Mr. Thomas stated he could see both sides of this issue.

Mr. Jorczak stated it was his understanding that there was only one individual doing water survival instruction in the City.

Mr. Goss responded only one person he is aware of.

Mr. Jorczak asked if this is a big issue in terms of the number of people that are trying to do this.

Mr. Goss replied it will only be an issue if another is found.

Mr. Jorczak stated he views this as a set of restrictions which minimizes the capability of this occurring in the City.

Mr. Goss responded that with water survival instruction there shouldn't be more than 1 child in the pool because with more than 1 child there are safety issues, and the 15 minute break was to eliminate the stacking of cars.

Mr. Goss stated he would be happy to provide any comments the Board may have to the City Commission.

Mr. Jorczak commented from a practical perspective with the insurance, certifications, and business tax receipt, this is designed to limit the number of water survival instructors.

Mr. Goss responded that there is a lot of money in this; this type of instruction makes a lot of money.

Ms. Behnke added approximately \$700 a student. Ms. Behnke stated that when teaching survival it should be one on one, not two or three children at the same time. Ms. Behnke commented that 15 minutes in between is plenty of time because the instructor isn't going to dry the child off, the parent is. Ms. Behnke

added that this item is well written and meets the requirements that were made by the community.

Mr. Thomas stated, with regards to an indoor pool that is in your house, that should not be the City's business; there are noise regulations and the like. Mr. Thomas stated the City should not be placing regulations on an indoor pool.

Mr. Goss responded that you need a BTR to do any type of business within your house, so it applies to an indoor pool.

**Mr. Briley moved to approve LDC 13-005 as presented. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.**

**B. MM 13-013: Capital Improvements Element (CIE) Annual Update.**

Ms. Laureen Kornel, Senior Planner, City of Ormond Beach, stated this is an update to the City's Comprehensive Plan; the 2011 legislation still requires that the schedules are updated annually, but the schedules are not required to be submitted to the Department of Economic Opportunity as a comprehensive plan amendment. Ms. Kornel explained that the purpose of the amendment is to identify the capital improvements needed to implement the Comprehensive Plan to ensure the City's meeting its Level of Service (LOS) standards. Ms. Kornel stated no goals, objectives, or policies have been changed as a result of the annual update, and the only LOS not being met is solid waste which is the same as last year. Ms. Kornel noted that Tables E and F have not been included with the agenda item as that data has not been received from VOTRAN, and once that data is received those tables will be updated and reviewed by the City Commission. Ms. Kornel stated staff is recommending approval.

Mr. Jorczak inquired as to the status of the mobility fee and its impact on the capital improvement budget.

Mr. Goss replied it will have an impact because it was originally thought that the mobility fee would be in lieu of the Volusia County Impact Fee and the Board was concerned that both would be charged. Now, after 3 years Volusia County doesn't want to do it due to issues at the Speedway which would be replicated in Daytona Beach if the County gave it to the City of Ormond Beach. Mr. Goss explained there are direct benefits to keep the Transportation Concurrency Exception Areas (TCEA) for SR 40 and US HWY 1 because development used to be turned down along those corridors, and with the TCEA that doesn't have to be done. Also, the City's local road impact fee, which is in addition to the County road impact fee and is citywide, would be converted for the 3 corridors to a mobility fee. Mr. Goss explained for the majority of the uses, there are significant reductions from the road impact fee to the mobility fee which becomes an incentive for redevelopment along those corridors. Mr. Goss stated outside those corridors just the road impact fees would apply. Mr. Goss continued that in order to do the fee, the original developed projects have to be cut back; now that the fee has been determined, the projects have to be adjusted to match those fees so that the mobility fee is not

higher than the road impact fee. Mr. Goss advised the Board that they will have the mobility fee before them at the next meeting.

Mr. Jorzak asked if it will impact resurfacing projects.

Mr. Goss replied no, it shouldn't impact resurfacing that much, but impact fee money should not be used for resurfacing. Mr. Goss explained impact fees are used for new roads and to be the City's match to the TPO for projects received from FDOT.

Ms. Press asked if staff could provide a schedule for resurfacing at the next meeting.

Mr. Goss answered that he would obtain the Paving Index from Engineering and provide it to the Board.

Ms. Press stated she read in the paper that the new County Chair was hoping to reduce the gas tax.

Mr. Briley added that Volusia County is at the highest it can tax.

Mr. Goss responded that the gas tax has been pledged to the impact fee bonds.

Mr. Briley stated the problem is that the gas tax does not fluctuate with the price of gasoline.

Mr. Goss added that collections are down.

Mr. Briley stated that the gas tax is what funds the infrastructure.

Mr. Heaster asked if there was a timeframe for the sanitary sewer build out.

Mr. Goss replied that the City has planned for expansion as the city grows. Specifically, the City doesn't know when build out will occur for Ormond Crossings.

**Mr. Briley moved to approve MM 13-013 as presented. Ms. Press seconded the motion. Vote was called, and the motion unanimously approved.**

**C. LUPA 13-011: 1428 North US Highway 1- Small Scale Land Use Map Amendment.**

Ms. Becky Weedo, Senior Planner, City of Ormond Beach stated the next three items LUPA 13-011, 13-009, and 13-007 are administrative small scale Comprehensive Plan Land Use Map amendments as a result of recent annexations, and if it pleases the Board, the three will be presented together with a vote on each individually for the record.

The Board had no objections.

Ms. Weedo explained since the properties are now annexed, they are required to have a similar City future land use assigned; the properties are currently Volusia County Commercial, and the most similar City future land use designation for this area is Low Intensity Commercial. Ms. Weedo explained the orientation, location, and properties of the subject parcels. Ms. Weedo stated staff is recommending approval.

**Mr. Briley moved to approve LUPA 13-011 as presented. Mr. Jorczak seconded the motion. Vote was called, and the motion unanimously approved.**

**D. LUPA 13-009-1438 North US Highway 1- Small Scale Land Use Map Amendment**

**Mr. Jorczak moved to approve LUPA 13-009 as presented. Ms. Behnke seconded the motion. Vote was called, and the motion unanimously approved.**

**E. LUPA 13-007-1444 North US Highway 1- Small Scale Land Use Map Amendment**

**Mr. Jorczak moved to approve LUPA 13-007 as presented. Ms. Press seconded the motion. Vote was called, and the motion unanimously approved.**

**F. RZ 13-012: 1428 North US Highway 1- Zoning Map Amendment**

Ms. Becky Weedo, Senior Planner, City of Ormond Beach stated the next three items RZ 13-012, 13-010, and 13-008 are administrative small scale zoning map amendments as a result of recent annexations, and if it pleases the Board, the three will be presented together with a vote on each individually for the record.

The Board had no objections.

Ms. Weedo explained the properties are required to have a similar City zoning classification assigned; the properties are currently Volusia County B-4 General Commercial, and the most similar City zoning classification is B-8. Ms. Weedo explained the orientation, location, and properties of the subject parcels. Ms. Weedo stated staff is recommending approval.

**Mr. Jorczak moved to approve RZ 13-012 as presented. Mr. Briley seconded the motion. Vote was called, and the motion unanimously approved.**

**G. RZ 13-010: 1438 North US Highway 1- Zoning Map Amendment**

**Mr. Jorczak moved to approve RZ 13-010 as presented. Ms. Press seconded the motion. Vote was called, and the motion unanimously approved.**

**H. RZ 13-008: 1444 North US Highway 1- Zoning Map Amendment**

**Mr. Jorczak moved to approve RZ 13-008 as presented. Mr. Briley seconded the motion. Vote was called, and the motion unanimously approved.**

**VIII. OTHER BUSINESS**

None.

**IX. MEMBER COMMENTS**

Mr. Thomas congratulated Mr. Wigley on the t-ball fields being named in his honor.

Mr. Heaster congratulated James Stowers on reelection for City Commission, and looks forward to continuing to work with him.

Mr. Wigley wished everyone a happy Veteran's Day.

Mr. Briley echoed Mr. Thomas, Mr. Heaster, and Mr. Wigley's comments.

Mr. Thomas congratulated Mr. Stowers and stated the City Commission that has been in place the last 2 years has been an outstanding one which has worked very well together and he is looking forward to the same relationship.

**X. ADJOURNMENT**

The meeting was adjourned at 7:48 p.m.

Respectfully submitted,

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Ric Goss, AICP, Planning Director

ATTEST:

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Doug Thomas, Chair

*Minutes transcribed by Meggan Znorowski.*

# STAFF REPORT

## City of Ormond Beach Department of Planning

**DATE:** January 3, 2013

**SUBJECT:** 460 South Atlantic Avenue Rezoning

**APPLICANT:** Bill Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc.

**NUMBER:** 13-04

**PROJECT PLANNER:** Steven Spraker, AICP, Senior Planner

### **INTRODUCTION:**

This is a request by Bill Norris, C & R General Contractors, Inc. on behalf of Sunoco, Inc. for a rezoning from B-7 (Highway Tourist Commercial) to (PBD) Planned Business Development at 460 South Atlantic Avenue. The application seeks to demolish the existing convenience store and eight fueling stations and re-construct a 2,455 square foot Sunoco convenience store with six fueling positions and associated site improvements.

### **BACKGROUND:**

The subject property is designated as "Tourist Commercial" on the City's Future Land Use Map (FLUM), and is classified as B-7 (Highway Tourist Commercial) on the City's Official Zoning Map. Site maps and pictures are included in EXHIBIT A. The adjacent FLUM designations and zoning classifications are illustrated in the following table:

	<b>Current Land Uses</b>	<b>Future Land Use Designation</b>	<b>Zoning</b>
<b>North</b>	Volusia County off beach parking lot	"Tourist Commercial"	B-7 (Highway Tourist Commercial)
<b>South</b>	Maverick remote parking lot	"Tourist Commercial"	B-7 (Highway Tourist Commercial)
<b>East</b>	Transient Lodging	"Tourist Commercial"	B-6 (Oceanfront Tourist Commercial)
<b>West</b>	Vacant land	"Medium Density Residential"	R-3 (Single-Family Medium Density Residential)

Site aerial and picture:



**PROJECT DESCRIPTION:**

The property at 460 South Atlantic Avenue has been a convenience store with fueling pumps since the 1960's. The property currently has two vehicle repair bays and eight fueling stations. The Volusia County Property Appraiser's website shows the existing building was constructed in 1966. The property has been vacant since approximately 2007.

The application submitted is for the redevelopment of the site into a 2,455 square foot

building with six fueling stations. All existing on-site improvements shall be demolished and the building, canopy, and site improvements is planned for new construction. The subject property is small (150' by 150') and site redevelopment has been an issue in terms of ability to reconstruct a reasonable size convenience store and associated improvements.

A community meeting was conducted on September 4, 2012 and notice was mailed to all property owners within 600' of the site. At the meeting, the abutting property owner of the vacant lot was the sole attendee. The meeting focused on the site design and the buffer between the Sunoco site and the vacant single family residential lot. The individuals attending the community meeting did not raise any objections during the meeting.

The project has been submitted to the City's Site Plan Review Committee and the outstanding Request for Additional Information is included in EXHIBIT B. There are no outstanding comments that would significantly alter the layout of the site plan. The site plans are included in EXHIBIT D.

### **ANALYSIS:**

The subject property is blighted with older buildings, a frame of an old pole sign, and the majority of the site is paved. The property has limited redevelopment potential with a small lot size. According to Chapter 2, Article II, Section 2-36 of the Land Development Code the purpose of the Planned Business Development zoning district

“is to establish regulatory standards for controlling the location of comprehensively planned business centers accessible to arterial roadways. The PBD is intended to incorporate a flexible management policy which incorporates urban design amenities, including streetscape improvements, and fosters innovative master planning in the design and development of commercial centers. The PBD district provides a diversified mix of permitted, conditional, and special land uses and higher standards of land planning and site design than are available under conventional zoning categories.”

One goal of the Planned Business Development is to “provide for a coherent and visually attractive physical environment through the creation of focal points and vistas, as well as coordination and consistency of architectural styles, landscaping designs and other elements of the building environment.”

The applicant is seeking a rezoning to Planned Business Development to demolish the existing on-site improvements, construct a new convenience store with gas canopy and bring the site up to the Land Development Code to the maximum extent practical. The Planned Business Development zoning designation allows the applicant to request waivers to development standards. The rezoning would incorporate the uses and dimensional standards of the B-7 (Highway Tourist Commercial) zoning district. It is important to note that the proposed convenience store use is a conditional use and PBD is necessary based on the small lot size.

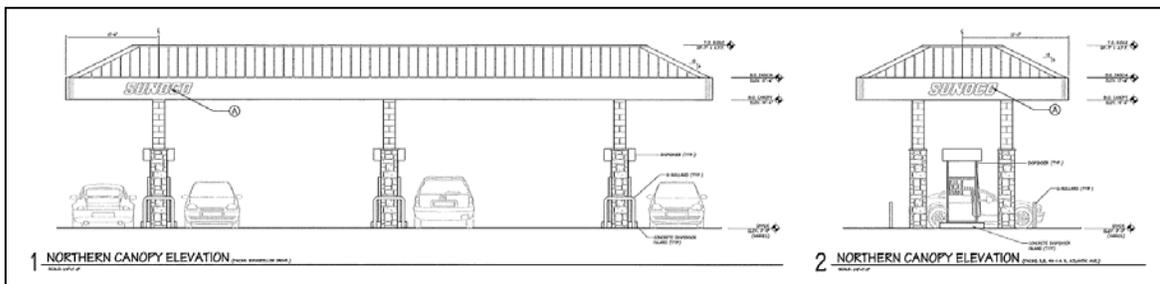
Below are the variances the applicant is seeking through the Planned Business Development rezoning:

**Planned Business Development Waivers**

1. **Building Setback encroachment.** Based on the limited lot size, the proposed building encroaches into the rear yard setback by 9’ abutting the Maverick remote parking area. The required setback is 20’ and the proposed design would require a 11’ variance. The proposed canopy and building meet or exceed all other building setbacks.
2. **Landscape buffer encroachment.** Based on the limited lot dimensions, the project encroaches to the required landscape buffers on the front, side corner, and side interior yards. The applicant has increased the amount of landscape material to the maximum amount possible in the proposed landscape area. Below is a chart of the required and proposed building setbacks.

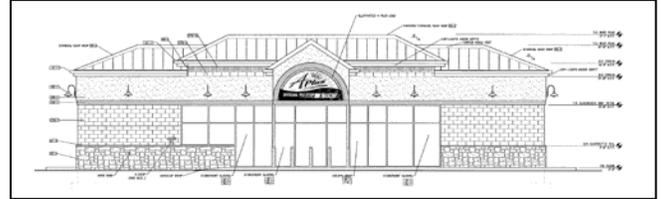
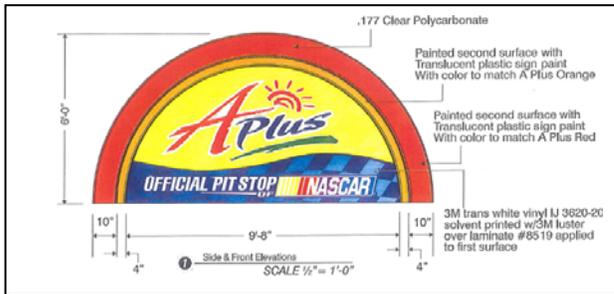
Yard	Required landscape buffer	Landscape buffer provided
Front (Rockefeller)	10’	Average 6’
Side Corner (SR A1A)	20’	Average 12’
Side Interior	30’	Average 7’
Rear	6’	Average 10’

3. **Wall waiver.** Section 2-50.N of the Land Development Code requires a masonry wall where a commercial use abuts a residential zoning district. The site survey indicates an FPL easement for overhead power lines along the western property boundary of the Sunoco site. FPL will not allow permanent structures, such as masonry walls, within their easement and the applicant has proposed a six foot PVC fence as an alternative.
4. **Signage on canopy.** Section 3-70.A.1.e of the Land Development Code prohibits signage on the gas canopy. The project requests a canopy sign of 21 square feet on the northern façade (facing Rockefeller Avenue) and the eastern façade (facing SR A1A). The total square footage of the two signs would be 42 square feet, as shown below.



5. **Wall Signage.** Section 3-48.E. of the Land Development Code provides that allowable square footage for wall signage based upon the linear frontage of the building. Based on the building frontage, the project would be permitted one wall sign of 31.5 square feet or two wall signs of 47.25 square feet. The application

is requesting one sign of 72 square feet. The proposed sign, shown below is a semi-circle and per the City's Land Development is required to be measured as box.



In the applicant's letter there is a discussion about the site signage. The site is permitted to have a pole/ground sign. The applicant has selected an eight foot monument style ground sign. Based on the pole and ground sign square footage, the project is permitted up to 60 square feet of sign copy area. The project proposes 55 square feet and no waivers are required.

**Public Benefits:**

Section 2-36.H.3 of the Land Development Code states the following:

Applications for a PBD rezoning shall provide a minimum of two of the listed public benefits listed below or propose alternative public benefits which are acceptable to the City Commission. For each variance requested, an additional two public benefit items shall be required

The application has provided a letter detailing how the project provides public benefits which is attached in EXHIBIT C. In summarizing the applicant's letter, the following are listed as public benefits:

- 1. Redevelopment of a blighted site.** There are multiple aspects to this public benefit that include the removal of the existing buildings, new construction, the impact of the site on surrounding properties, the ability of the site to serve nearby transient lodging facilities, and the introduction of landscaping to the property.
- 2. Architectural embellishments to the building and canopy.** Sunoco typically provides the horizon signage and has agreed to limit the canopy color to a single color. The canopy columns are wrapped in brick and split face block to enhance the visual appearance of the canopy.
- 3. Utilizing a monument sign instead of a pole sign.** The project is permitted to utilize a pole sign, but has instead proposed a monument sign. The sign base incorporates the brick utilized in the building and canopy.
- 4. Increased landscaping.** The landscape plan demonstrates that the applicant has provided as much landscaping that can be placed in the available buffer areas. Based on the oceanfront location, the types of trees are limited to Palm

trees. It is important to note that the current site lacks any significant landscape materials and this project will redevelop the site with landscaping.

- 5. Bus Shelter.** Staff has requested that the applicant provide a public bus shelter at the existing bus stop as an additional public benefit.

**CONCLUSION:**

In considering an application for a Planned Business Development, the Planning Board may recommend to approve, approve with conditions, or disapprove on the extent to which the development offers site amenities above that normally found for permitted uses in the district with regard to the following:

- a) Building form, architecture and appropriateness of materials with regard to long-term maintenance, relation to the surrounding neighborhood, and aesthetics. Architectural drawings shall be approved as part of the Development Order and adhered to in all development phases.**

The proposed building utilizes the Neo Eclectic architectural style and a summary of the architectural features is provided by the applicant in Exhibit C. The new building and canopy are a substantial improvement from the existing structures and shall improve the aesthetics along South Atlantic Avenue. Architectural drawings are included in EXHIBIT D.

- b) Landscaping and related site amenities.**

Based on the size of the subject property the application is seeking waivers of landscape buffer areas. The project has provided the maximum amount of landscape based upon the landscape areas of the site.

- c) Mitigation of off-site impacts.**

The site plan has been reviewed by the Site Plan Review Committee and it is staff's determination that the proposed project will not negatively impact surrounding properties.

- d) Overall lighting plan, particularly in relation to aesthetics and glare.**

Within EXHIBIT D there is a site lighting plan. The project shall be reviewed by Volusia County for compliance with the sea turtle regulations based on the site's location to the beach.

- e) Overall signage plan, particularly related to aesthetics and readability.**

The application provides a unified signage plan that incorporates architectural elements of the building and canopy construction. There are a total of three signs. The first is the proposed ground site sign that utilizes a brick base consistent with the building and canopy columns. The second sign is the wall sign. The third sign is the canopy signage.

**CRITERIA FOR APPROVAL:** There are certain criteria that must be evaluated before a Planned Business Development amendment can be approved. According to Chapter 1, Article I, Section 1-15.C.3 of the Land Development Code, the Planning Board shall consider the following when making its decision:

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

The proposed development conforms to the standards of the Land Development Code and is requesting site flexibility as permitted under the Planned Business Development process. The development is consistent with the development patterns in this corridor and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.

- 2. The proposed development is consistent with the Comprehensive Plan.**

The property is designated as "Tourist Commercial" on the City's Future Land Use Map (FLUM). The directive text of the Comprehensive Plan states,

"A multi-use land use category to provide uses along the Atlantic Ocean, SR A1A and highway interchanges, that include transit availability, retail services, tourist attractions, restaurants, multi-family and lodging to visitors to the City. "

The proposed redevelopment is consistent with multiple Comprehensive Plan policies. Some Future Land Use Element policies include:

**POLICY 1.2.4.**

Tourist oriented hotel/motel development and appropriate support facilities shall be located along A1A south of Granada Boulevard and near highway interchanges, and shall not be permitted to intrude into established residential areas north of Granada Boulevard nor established residential areas east of South Atlantic Avenue, further westward of A1A than is currently permitted south of Granada Boulevard.

**POLICY 1.2.5.**

The redevelopment and renewal of blighted commercial areas shall be encouraged.

**POLICY 1.2.7.**

Maintain the tourist commercial character of the A1A corridor, except as noted in Policies 1.1.4. and 1.2.4. Design guidelines should be established for all new development along the ocean so that, in the future, buildings will be homogeneous and compatible with surrounding constructions and will represent a common theme. Maintain oceanfront setbacks for properties located along the Atlantic Ocean. Oceanfront development should be airy and open with a minimum of interference with the ocean view and breeze.

The proposed development is consistent with the Comprehensive Plan.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to water bodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The subject property is currently a non-conforming developed site. There are no environmentally sensitive lands or natural resources. Additionally the property does not have any wetlands or protected animal species on-site

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The existing property is blighted and detracts from the value of properties in the South Atlantic Avenue corridor. The redevelopment is a significant investment and will assist to further strengthen the appearance of the SR A1A corridor. During the Site Plan Review Committee, City staff was concerned regarding the potential impact to the vacant residential lot to the west of the property. At the community meeting the property owners of the vacant lot did not raise any objections. It is the recommendation of the Site Plan Review Committee that the project will not substantially or permanently depreciate the value of surrounding properties.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

There are adequate public facilities to serve the proposed development, including water, wastewater, roads, public safety, and stormwater. Many of these facilities are existing and serve the current developed site.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

Based on the decrease of the two service bays and two fueling stations (from 8 to 6), the average daily trips will decrease from 1,348 to 977 or a net decrease of 371. The site has been designed to provide site access from Rockefeller Drive and South Atlantic Avenue. The project provides safe access and designed to promote pedestrian and bicycle safety.

**7. The proposed development is functional in the use of space and aesthetically acceptable.**

The proposed site plan is functional and provides building architecture that exceeds the adopted architectural regulations.

**8. The proposed development provides for the safety of occupants and visitors.**

The proposed development provides for the safety of its occupants and visitors.

**9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

The building and material will not adversely impact the aesthetics of the area and is designed in the Neo Eclectic architectural style.

**10. The testimony provided at public hearings.**

This application has not been heard and no public testimony has been provided.

**RECOMMENDATION:**

The Planned Business Development zoning district is being sought based on the subject property's limited size and the need for waivers in order to redevelop a blighted property. The applicant has conducted a community meeting with no opposition and has worked with the Site Plan Review Committee to minimize waiver requests and maximize public benefits. The project is another opportunity to improve the South Atlantic Avenue corridor with the redevelopment of the site. The use is consistent and envisioned in the City's Comprehensive Plan and would serve residents and visitors of the City.

It is expected that the application will be reviewed by the City Commission on February 19, 2013 (1<sup>st</sup> reading) and March 5, 2013 (2<sup>nd</sup> reading). It is recommended that the Planning Board recommend **APPROVAL** of PBD 13-04 to allow the demolition of the existing convenience store and eight fueling stations and re-construct a 2,455 square feet Sunoco convenience store with six fueling positions and associated site improvements, incorporating the uses and dimensional standards of the B-7 (Highway Tourist Commercial) zoning district, subject to the outstanding comments from the Site Plan Review Committee:

**Exhibits:**

Exhibit A: Site maps and pictures

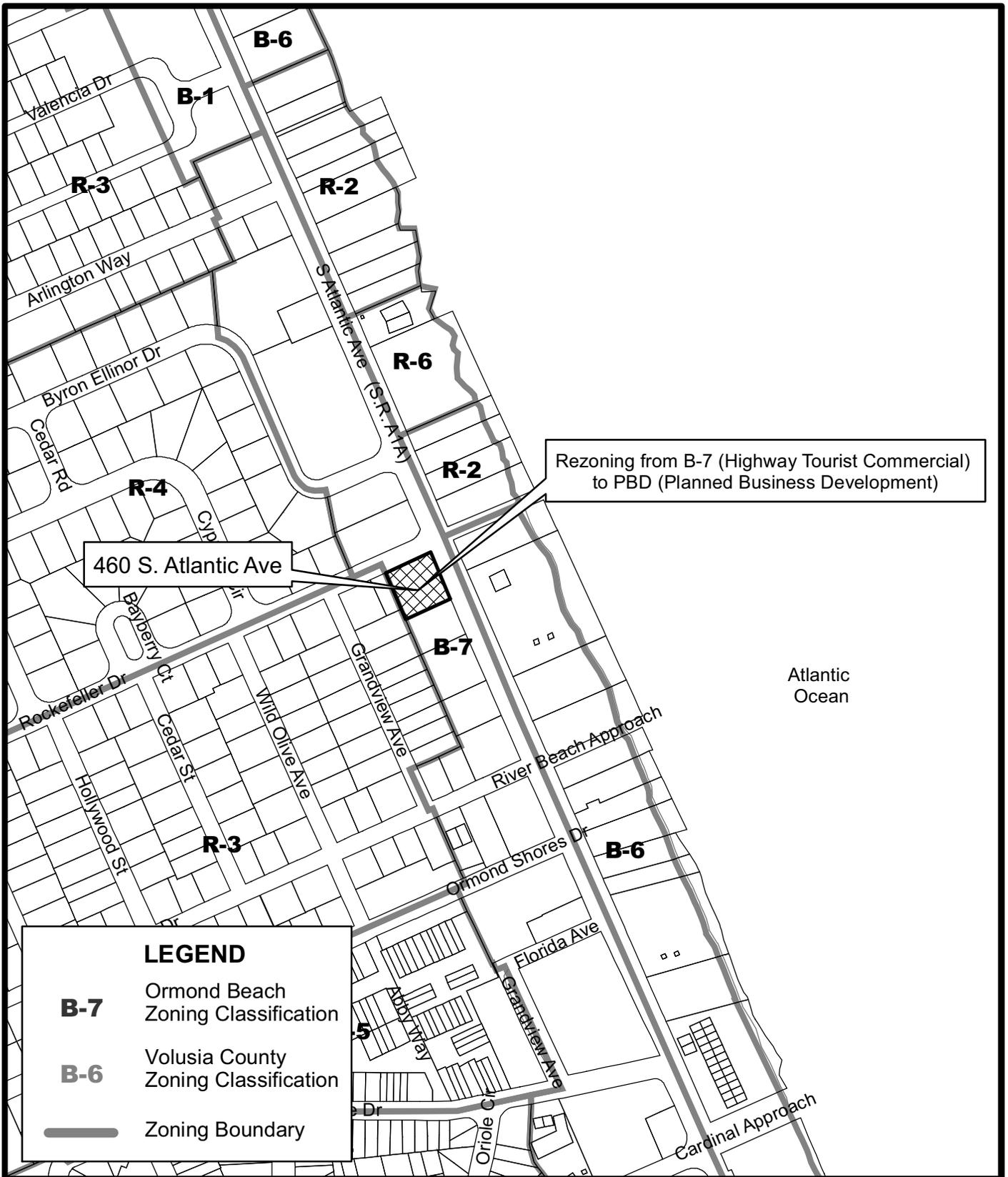
Exhibit B: Site Plan Review Committee Request for Additional Information

Exhibit C: Applicant provided letters

Exhibit D: Site plans

# Exhibit A

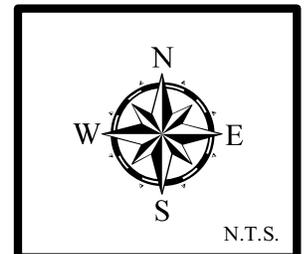
Site Maps and Pictures



**ZONING MAP**  
**460 South Atlantic Ave (4223-04-08-0010)**

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The City of Ormond Beach G.I.S. Deaprtment  
 Prepared By: Eric Dickens 12/26/2012



# Sunoco Site Aerial Map



-  Golf Courses
-  Address Points
-  Traffic Signals
-  Airport and Railroad
-  AIRPORT
-  RAILROAD
-  City Streets
-  DIRT
-  MAJOR
-  PAVED
-  Water Features
-  Property Lines

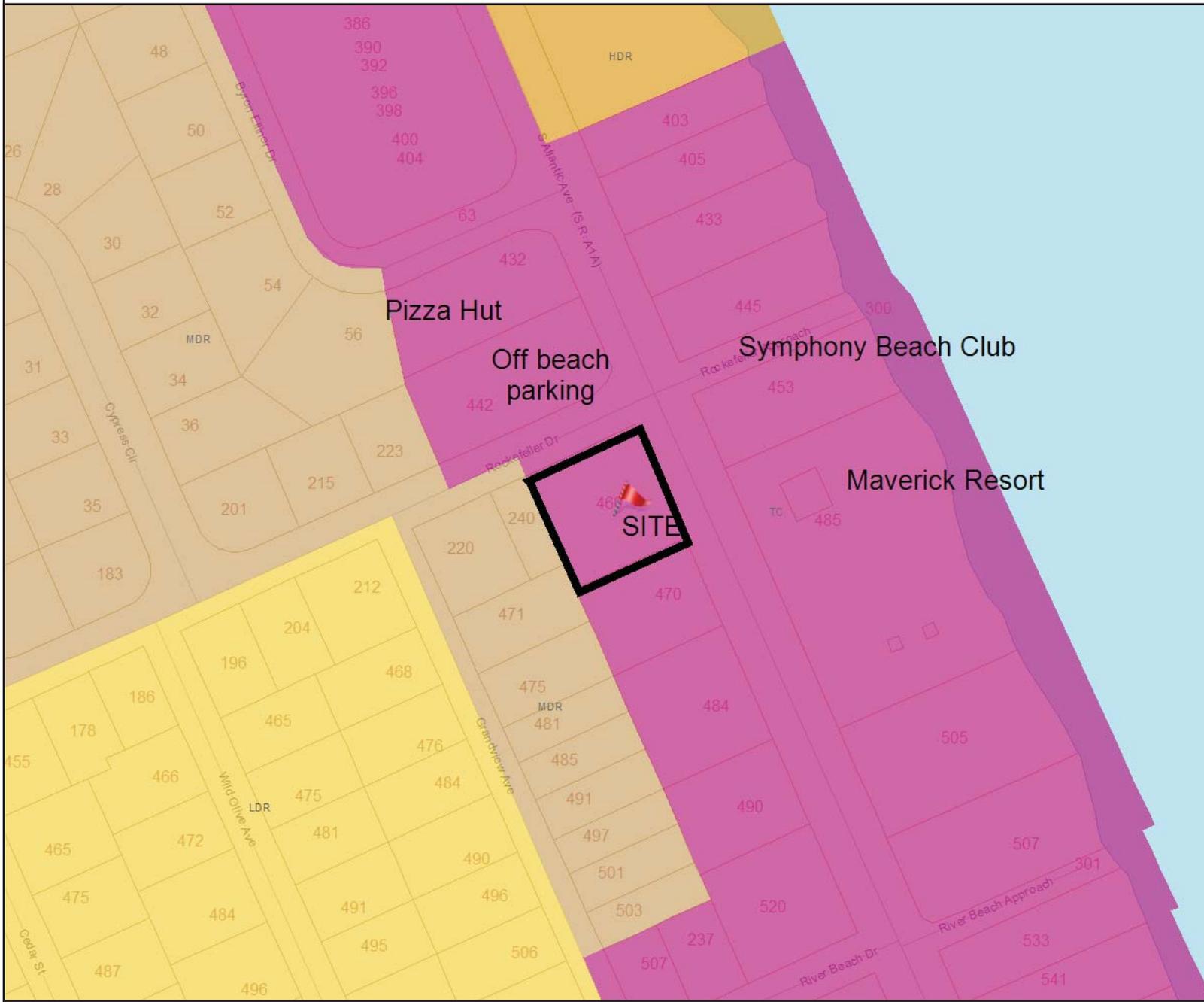
178 ft



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# 460 South Atlantic Avenue, Future Land Use Map



- Golf Courses
- Future Landuse**
- Rural Estate/Agriculture (REA)
- Rural Residential (RR)
- Suburban Low Density Residential (SLDR)
- Low Density Residential (LDR)
- Medium Density Residential (MDR)
- High Density Residential (HDR)
- Office/Professional (O/P)
- Low Intensity Commercial (LIC)
- Tourist Commercial (TC)
- General Commercial (GC)
- Heavy Commercial (HC)
- Public/Institutional (P/I)
- Activity Center (AC)
- Light Industrial/Utilities (LI/U)
- Industrial/Utilities (I/U)
- Recreation/Open Space (R/OS)
- Open Space/Conservation (OS/C)
- Address Points**
- Traffic Signals
- Airport and Railroad**
- AIRPORT
- RAILROAD
- City Streets**
- DIRT
- MAJOR
- PAVED
- Water Features
- Property Lines

178 ft



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Subject  
Property





# Exhibit B

Site Plan Review  
Committee Request for  
Additional Information



**Ormond Beach  
Site Plan Review Committee (SPRC)  
Request for Additional Information**

<b>Project Name:</b>	<b>Sunoco Stor-It Self Storage</b>
<b>Project Number:</b>	<b>13-04</b>
<b>Site Address:</b>	<b>460 South Atlantic Avenue</b>
<b>Review:</b>	<b>1<sup>st</sup> Review</b>
<b>Review Date</b>	<b>December 20, 2012 (concept on 10.17.12)</b>
<b>Project Description:</b>	Demolition of existing site buildings/improvements and construction of a 2,455 square foot building and related site improvements
<b>Project Contacts:</b>	<u><a href="mailto:bnorris@candrcontractors.com">bnorris@candrcontractors.com</a></u> ; <u><a href="mailto:Robert.Merrell@CobbCole.com">Robert.Merrell@CobbCole.com</a></u> ; <u><a href="mailto:Debi.Lacroix@cobbcole.com">Debi.Lacroix@cobbcole.com</a></u> ; <u><a href="mailto:CLMcCane@sunocoinc.com">CLMcCane@sunocoinc.com</a></u> ; <u><a href="mailto:RBethart@sunocoinc.com">RBethart@sunocoinc.com</a></u>

Please find below the Site Plan Review Committee (SPRC) comments for your project below. The SPRC meets every Wednesday, beginning at 9:00 am, with sign-up beginning at 8:00 am. There are twenty minute time slots available for discussion of projects. The sign-up process requires an individual to come to City Hall, Room 104 to sign in for a slot and staff cannot accept telephone reservations. Applicants should arrive five minutes prior to their time slot. There will be no time slots between 11:40am and 1:00pm. Once there are no individuals left on the sign-up sheet, the SPRC will adjourn. The applicant may utilize the time slot to address major issues and discuss design solutions for projects.

**General Comments (no response required)**

1. All outside agency permits (hard copy and on CD) are required to be provide prior to final SPRC approval.
2. Prior to construction, the project will need to provide cost estimates, including landscaping, that will be the basis of the engineering inspection fee as follows 1.5% of the first \$100,000 of site improvements and 0.5% over \$100,000 up to \$500,000; minimum of \$250.
3. Per Section 4-05.B. of the Land Development Code, "Applicants shall

respond to SPRC written comments within 180 calendar days of the issuance date or the project shall be considered withdrawn. All projects that do not respond within the allotted time shall be required to submit a new application and SPRC review fees. Applicants may request a maximum of two 90-calendar-day extensions with a written request to the Planning Director detailing the reason for the delay in responding to the SPRC comments.”

**Steven Spraker, AICP, Senior Planner, 386.676.3341**

4. Please provide all submittal documents, such as letters, drainage calculations or other items submitted in a pdf format either via e-mail on disk for each submittal.
5. Planning Board meeting (no response required)
  - a. The site is required to be posted on or before December 27, 2012. An e-mail was sent to Rob Merrell detailing the posting requirements on December 19, 2012. If any additional information is needed, please contact me.
  - b. Please provide 10 sets of the site plans (only key sheets – no standard details) and 10 copies of the public benefits letters to provide to the Planning Board.
6. PBD Rezoning (no response required)

Below are the waivers that appear to be requested:

- a. Landscape buffers encroachment.
- b. Building setback encroachment.
- c. Masonry wall waiver.
- d. Signage on canopy.
- e. Wall Signage square footage.
- f. Monument sign square footage.

Below are the public benefits of the project:

- a. Redevelopment of blighted site.
- b. Increase landscaping material.
- c. Use of a monument sign versus a pole sign.

**Staff is requesting that a bus shelter be added to the southwest corner where there is an existing bus stop as an additional public benefit.**

7. Cover Sheet: Please change project number to 13-4.
8. Sheet 6: Master Site Plan

- a. Chain link fence is not permitted for commercial properties. There is chain link fencing proposed around the 12' by 12' enclosed area and the stormwater pond. The fence material is required to be changed.
  - b. Provide evidence that FPL has reviewed the site plan and has no objections with the improvements within easement area.
  - c. Look at the location of the proposed sign. It appears that it may cause an obstruction for vehicles stopped at Rockefeller Drive turning onto SR A1A. Either shift sign back or provide note that the final location shall not block motorists view corridors and shall be determined with the sign permit.
9. Sheet 7: Site Geometry Plan
- a. Provide detail of proposed site lighting.
  - b. Please provide photometric lighting plan. Please be aware that based on the location of the site, Volusia County will need to approve lighting as it relates to sea turtles.
  - c. Please verify if any outside uses are proposed, such as air/vacuum station, etc.
  - d. Is a generator proposed, if so – where?
10. Please review sheets 2-497 through 4-515 in the plan set. These sheets appear to be from other projects. Please only include details applicable to this project.
- a. Sheet 4-501 – Please check these details. Is an air station proposed and if so, where? Delete handicapped parking detail – already within plan set.
  - b. Sheet 4-502 is not applicable to this site and appears to be from another project.
  - c. Sheet 4-512 – Please utilize the City's standard detail for trash enclosures. The Land Development Code requires that these structures be finished to match the proposed building.
  - d. Sheet 4-515 – Please provide additional detail of the proposed storage area. The proposed elevation is not acceptable. The storage enclosure is required to match the existing building in exterior appearance. For example, if roofing is proposed, you cannot use asphalt shingles. Please provide an elevation of the storage building to match the principal building.
11. Signage:
- a. Site, wall, and canopy signage all require waivers through the PBD process.
  - b. The site address is required on each sign face (LDC Section 3-48.C.4).

- c. Everbrite site signage has LED sign which is not permitted – please remove LED notes.

**Paul MacDonald, City Landscape Architect, 386.676.3269**

- 12. Please contact me to discuss the proposed plant list as I have a few suggestions that might help reduce the overall maintenance costs and add Spring and Summer color by reducing the number of ornamental grasses and installing some flowering ground covers. (386) 846-7257.
- 13. Please substitute the proposed Hollies as they will not survive this close to the beach.

**Justin Barton, P.E., Civil Engineer, 386.615.7047**

- 14. General – Provide sections with elevations for driveways onto Rockefeller and SR A1A.
- 15. General – Review detail sheets. Delete duplicates and details that do not pertain to this project.
- 16. Stormwater Calculations – Please provide Hydraulic Grade Line Calculations used to size pipes.
- 17. Stormwater Calculations - Please revisit your stormwater model with specific regards to the drawdown simulation, it appears that the values for P1, P2, and P3 may have been overestimated. The bottom of your dry retention area scales to be 15' x 20' with the wall along the pond's southern and eastern edge providing a boundary condition for lateral stormwater flow. Please address.
- 18. Drawing No. 7 – Rockefeller Drive is a city road. Standard Construction Detail R-2 calls for Miami Curb not FDOT type F curb. The existing curb on Rockefeller meets city standard and seems in good condition.
- 19. Drawings No. 9,10 – Consider modifying line weight of proposed contour lines for clarity.
- 20. Drawing No. 10 – Labels at store front show a top of curb elevation and Edge of pavement elevation. Is there a curb at the storefront or is the pavement flush with the sidewalk?
- 21. Drawing No. 10 – Driveway to Rockefeller – Proposed grading seems to discharge untreated stormwater from site onto Rockefeller. Please review. Address location of elevation call-out on curbs.
- 22. Drawing No.11 – Storm water pond No. 1 shows max slopes of 3:1. Maximum side slopes for Dry Retention pond are 4:1 with a 3' maintenance berm.

23. Drawing No.11 – Retaining wall drop-off needs to be protected for entire length of wall.
24. Drawing No. 4-501 – Review Details. There seems to be duplicate details from previous sheets. Silt fence, curb, etc.
25. Drawing No. 4-501 – Is there any asphalt being constructed on this job? Consider removing details that call for asphalt paving.
26. Drawing No. 4-508 – Review Details. There seems to be duplicate details from previous sheets. Handicap Ramp Guidelines
27. Drawing No. 4-512 – Add Ormond Beach Standard Construction Details for Dumpster enclosure that shows plan and section view. Remove details that conflict with Ormond Beach Standard.

**Tom Griffith, Plans Examiner, 386.676.3351**

28. Please clarify that the access aisle is part of an accessible route (FBC Accessibility 502.3). It appears by the spot elevations that there may be a step up from the access aisle to the front sidewalk.

**Kevin Gray, Environmental Systems Manager, 386.676.3577**

29. Verify that the clear opening for the dumpster enclosure is 10'.

**Mike Dunn, P.E., Public Utilities Manager, 386.676.3583**

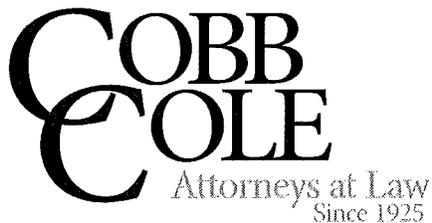
30. Sheet 5 Demolition Plan
  - a. Add a note requiring the existing water service line to be removed from the corporation stop.
  - b. Add a note requiring the existing sanitary sewer service to be removed to the property line and capped.
31. Sheet 13, Utility Plan
  - a. A cleanout will be required at the north property line for the sanitary sewer lateral connection.
  - b. Change the water main size from 8-inches to 10-inches, add “double strap” to the saddle description and change the sizes to 10-inches by 1-1/2 inch and 1-inch respectively.
32. Landscape Plan
  - a. Relocate the sabal palmetto away from the proposed irrigation and service laterals.

# Exhibit C

Applicant Letter

William M. Cobb  
(1881-1939)  
Thomas T. Cobb  
(1916-2004)  
W. Warren Cole, Jr.  
(1926-2008)

Harold C. Hubka  
Thomas S. Hart  
Scott W. Cichon  
Robert A. Merrell III  
Bruce A. Hanna  
John P. Ferguson  
Rhoda Bess Goodson  
Thomas J. Leek  
Mark A. Watts  
Heather Bond Vargas



Daytona Beach • DeLand

150 Magnolia Avenue  
Post Office Box 2491

Daytona Beach, Florida 32115-2491  
(386) 255-8171  
CobbCole.com

Robert Taylor Bowling  
Joshua J. Pope  
Andrea M. Kurak  
Kathryn D. Weston  
Kelly Parsons Kwiatek  
Michael J. Woods  
Maja Sander Bowler  
Katherine Hurst Miller  
Michael O. Sznajstajler  
Melissa B. Murphy

**OF COUNSEL**  
C. Allen Watts  
Larry D. Marsh

**RETIRED**  
Jay D. Bond, Jr.

December 5, 2012

**VIA HAND DELIVERY**

Steven Spraker  
Senior Planner  
City of Ormond Beach  
22 S. Beach Street  
Ormond Beach, FL 32174

Re: Sunoco, Inc.  
Planned Business District Rezoning  
460 S. Atlantic Avenue, Ormond Beach, FL – including Waivers / Public  
Benefits

Dear Steven:

It is this Firm's pleasure to represent Sunoco, Inc. and C&R General Contractors, Inc. in connection with their request for Planned Business District (PBD) Rezoning of the property located at 460 S. Atlantic Avenue. Sunoco, Inc. recently purchased the former Texaco service station/convenience store at this location and intends to redevelop this property with a modern convenience store facility including gas pumps. As depicted on the attached architectural renderings, Sunoco intends to redevelop this site with a convenience facility worthy of being on this major thoroughfare in the City of Ormond Beach.

We recognize the importance of the design standards contained in the City's Land Development Code, and have made what we believe to be every commercially reasonable effort to bring forward a project consistent with and in many ways above and beyond the City code requirements. We will incorporate several innovative design and construction concepts in the redevelopment of this site which we believe the City will recognize as a significant addition to this property.

The site has certain constraints and other reasons why its redevelopment cannot physically or reasonably comply literally with the letter of certain code requirements, although we believe the project complies in each respect with the intent and purpose of those requirements, and contains significant public benefits as an offset. Certain aspects of the property and the project are noteworthy in this regard:

Steven Spraker  
December 5, 2012  
Page 2

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- 1) Landscape/Buffers - The redevelopment of a modern sized convenience store facility on this parcel results in a somewhat reduced area available for landscape buffer and setbacks along the property boundaries. These reductions are noted specifically on the Landscape Plans prepared by England-Thims and Miller. However, we have provided more landscaping in terms of the number of plantings and more than a twenty five percent increase in tree caliper, which is also shown on the Landscape Plans and detailed as follows:
  - a. Upsized the seven Dahoon Holly on the western buffer from 2.5" to 4" caliper trees;
  - b. Increased the shrubs from the required 182 to 231, and increased the groundcovers from the required 182 to 223 ;
  - c. We increased the overall minimum number of trees from the required 15 to 18 trees and provided 67 square feet more than the minimum landscape area (4,483 sf vs. 4,550 sf);
  - d. We are preserving 3 existing palm trees that have a total 45 caliper inches; and
  - e. The 31 new palm trees exceed the minimum required height of 10' (we are providing 18' to 24' high palms).
  
- 2) Signage/Architecture - We have provided tasteful and well proportioned signage throughout the proposed project which we also believe to be consistent with the intent and purpose of the City's sign regulations. The Sunoco signage on the fueling canopy, which is otherwise discouraged by the code, is modest in size and is offset by the significant architectural elements incorporated into the canopy and the building, including the standing seam metal roof and other design elements like stonework on the building, sign base and supporting columns on the canopy, as outlined in the attached letter from our project architect Mark Metzgar. We believe these enhancements to the canopy, signage and the building provide a significant public benefit which justifies the minor code waiver. Mark's letter also addresses compliance with the city's architectural standards and the public benefit of the architectural elements which were not required by code.

Finally, our standard colorful prototypical "horizon" signage found on the canopy in most of our other locations was replaced with a solid blue color to make it more subdued. This represents a substantial concession by Sunoco which removes an important part of our corporate branding and hence our ability to attract customers to our site based on branding recognition. We hope this revision is weighted heavily in the balance of PBD public benefit versus literal code compliance. Below are details regarding signage on the site:

Steven Spraker  
December 5, 2012  
Page 3

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Monument Sign - Allowed Area Size: Section 3-47, 3.b., allows two (2) signs on a corner double front lot. Sign area not to exceed 150% allowable principal frontage. 460 S. Atlantic frontage is 142 feet; allowing 40 sq. ft. plus 150%. (40x 1.5 = 60 sq. ft.). Sunoco is proposing one monument sign at the location, 54 sq. ft., which is within the allowed area size.

Monument Sign Landscaping: Section 3-47, 7 requires 216 sq. ft. of landscape area for a 10'8" wide sign. Sunoco will meet the landscape sign requirement.

Monument Sign - Allowed Height: Section 3-47, 2.a. and b., allow a 5 foot high monument sign with an additional 2 feet in height for architectural embellishment and address. Sunoco is proposing to install an 8'0" high monument sign because the industry requires them to provide gasoline pricing to the motoring public, and the additional one foot of height is needed to provide a direct line-of-sight between the pricing panels and the motoring public. This more direct visual connection affords the customer more time to react to seeing the sign and maneuver into the facility safely.

Also, though a freestanding pole sign is allowed at this location, Sunoco is proposing to install a monument style sign that will be more aesthetically appealing to the community. The sign will also be integrated into substantial landscaping surrounding its base and will serve as a signal to the community that its corporate economy is vibrant in a visually attractive manner. Sunoco believes that due to their unique business and the industry standards, relief from the monument sign height requirement would be a fair and non-intrusive request, benefitting the public with both safety and aesthetic improvements.

Building Wall Mounted Signs Allowed: Section 3-48, E.1.a. and b. The proposed building has 74 linear feet of frontage which allows 30 sq. ft. plus 0.5 x 44, or an additional 22 sq. ft., for a total of 52 sq. ft. of wall signs. As per Section 3-48, E.3.B., corner, double frontage allows 150% of the maximum size limit permitted. 52 x 1.5 allows for 78 sq. ft. One "A-plus" trademark sign identifying the Sunoco convenience store name brand for 72 sq. ft. is proposed. That square footage is allowed by Code for two wall signs on each frontage. Sunoco is requesting a waiver to allow one wall mounted sign on one frontage, instead of both as allowed by Code.

Sunoco is proposing to install a trademark Sunoco "A-plus" arch sign above the store entrance. The arched sign provides an integral focal point for the main façade of the building by being a clear indication of the structure's entrance and vestibule area, and at the same time provides identification as to the facility's purpose.

Canopy Signs - Allowed: Canopy signs are not permitted on the overhead gasoline canopy protecting customers from the elements.

Steven Spraker  
December 5, 2012  
Page 4

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Canopy Signs - Proposed: Sunoco is requesting a waiver to install two backlit "Sunoco" canopy signs, one facing S. Atlantic Avenue, the other facing Rockefeller Drive. Each sign measures 1'9" by 11'9" or 20.5 square feet.

The primary purpose of the canopy signs is to identify the facility to the motoring public. Visibility of the canopy signs is a safety enhancement to the motoring public in a similar manner to the monument sign, in that the greater distance at which the sign is visible and recognizable, the more time the motorist has to maneuver through traffic and to the facility safely. The signs also enhance the appearance of the site, as they are an integral part of the facility's identifiable purpose and branding, and the primary building is designed in coordination with the canopy, including the tasteful Sunoco color scheme. These signs are a part of the complete package that allows a Sunoco facility to operate at optimum levels to serve the public.

- 3) FPL Easement - Based on the existence of an FPL easement on the western property boundary, we will not be able to install a masonry wall at that location as required by code. We propose instead to install a vinyl fence which we believe to be consistent with the easement because of our ability to remove and replace it relatively easily if necessary. We held a neighborhood meeting which you attended, and as you know the neighbors to our immediate west attended the meeting and did not have a problem with this proposal. In fact, they were very supportive of the project.
  
- 4) Other "Public Benefits" - We believe the landscape and architectural improvements outlined above are consistent with several of the "public benefit" requirements of the code for Planned Business Developments (Article II Section 2-36(H)(3)). We also believe the redevelopment of this blighted site into a modern convenience store facility with fueling opportunities is a public benefit. This redevelopment will serve a public purpose in terms of the convenience for our important tourist population as well as our local residents. Over the past several years the number of fueling opportunities on the beach-side of Ormond Beach has diminished to very few, and accordingly this redevelopment project is sorely needed.

In connection with this request, we provided the following documentation to you as our "conceptual" application on October 3, 2012:

1. Public Hearing Application;
2. Application fee in the amount of \$3,400.00;
3. Site Plan Review Application;
4. Special Warranty Deed;

Steven Spraker  
December 5, 2012  
Page 5

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5. Property Appraiser Information Card;
6. Survey;
7. Site Plan (24" x 36"; 11" x 17"; and 8 1/2" x 11"); and
8. Architectural Elevations/Floor Plans/Exterior Perspectives; and

We are submitting with this letter the revised PBD rezoning documents, as well as the official site plan submittal from England-Thims & Miller, Inc. Responses to your SPRC request for additional information dated October 17, 2012 are enclosed from Cobb Cole, and from England-Thims & Miller, Inc. and Cornerstone, Inc.

If you have any questions regarding this request, please don't hesitate to contact me. We look forward to working with you and your staff on this project. It is our understanding that this matter will be scheduled for SPRC at their next available meeting. We look forward to receiving staff comments as early as they are available.

Sincerely,



**Robert A. Merrell III**

Direct Dial (386) 323-9263  
Email Rob.Merrell@CobbCole.com  
Fax (386) 944-7955

RAM:ddl

Enclosures

cc: Mr. Clayton McCane  
Mr. Rolando Bethart  
Mr. Peter Ma  
Mr. Bill Norris



# Cornerstone Consulting

Engineers & Architectural, Inc.

213 West Main Street . Lansdale, PA. 19446  
Tel 215.362.2600 ♦ Fax 215.362.8400

1176 N. Irving Street . Allentown, PA. 18109  
Tel 610.820.8200 ♦ Fax 610.820.3706

505 Tennis Club Circle . Lakeville, PA. 18438  
Tel 570.839.1770 ♦ Fax 610.820.3706

Florida License #: FO7000000627

November 29, 2012

VIA: Hand Delivery

City of Ormond Beach  
22 S. Beach Street  
Ormond Beach, FL 32174

Attn: Mr. Steven Spraker, Sr. Planner

RE: Proposed Sunoco A-Plus Facility  
460 S. Atlantic Avenue  
Ormond Beach, FL

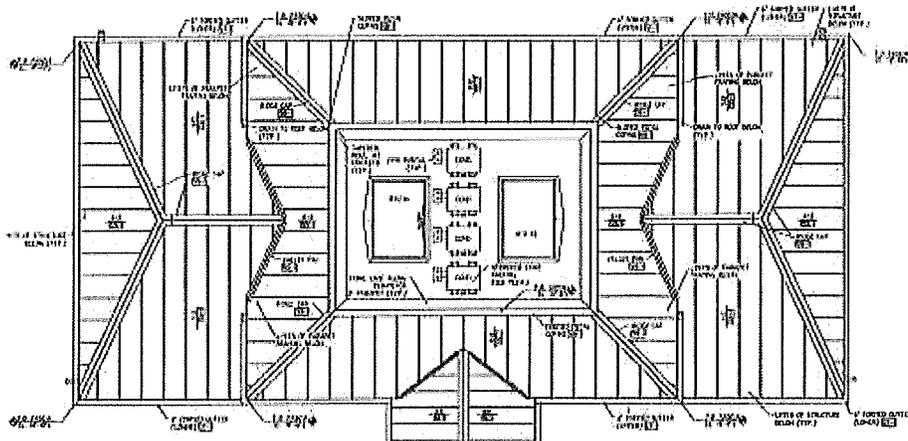
Dear Mr. Spraker:

Our office is in receipt of your October 17th, 2012, Site Plan Review Committee meeting notes concerning your First Review of the design documents being considered by the municipality.

The intent of the building's design was to capture the essence of the Florida Cracker design elements while lending to a more modernistic appeal and sustainable construction. However, we have reviewed the dissimilar building features listed in your notes, and the Neo Eclectic style may indeed be a more accurate classification for the building. We believe that the building maintains the spirit of the stylistic requirements by fusing the classic Floridian architecture with a few less traditional architectural elements. Along with this change in stylistic definition, our office respectfully submits the following statements and images regarding the *Architectural Standards – Building* section of the aforementioned notes:

*Staff is concerned with the parapet roof proposed rather than meeting the roofing requirements of the Florida Cracker style... Please review the type of 8:12 roof pitches that have been permitted which have a much greater slope and use dormers as architectural accents.*

- As required in §3-69.G.l.d.1, the parapet serves to surround the flat portion of the building's roof, camouflaging the roof-mounted equipment necessary for the operation of the facility, as shown in the following roof plan and elevation:

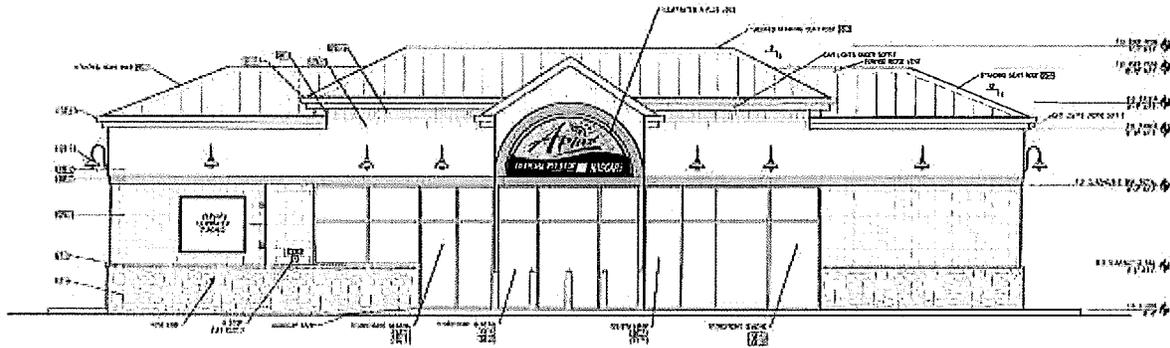


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### Roof Plan



### Front Elevation

If mounted on a traditional roof, this equipment would be entirely visible to passersby and patrons alike, which we feel would detract from the desired aesthetic presented by the ordinance. Therefore, while the parapet is less traditional, it serves to maintain the visual appearance as is required. We chose to utilize a Mansard-style roof parapet so that the disparate roof types (flat, parapet, and sloped) would fuse into a coherent stylistic façade. We have updated the proposed Mansard roof slopes to maintain the required 8:12 slope. However, because of the complicated nature of the building's roof slopes, there are no areas of the roof large enough for dormer-style accents to be reasonably integrated with the current design.

*In reviewing the architectural standards versus what has been submitted, staff concludes that the proposed design does not comply with the Florida Cracker or Neo Eclectic style.*

- In referencing the Neo Eclectic style requirements, the building fulfills all of the following:
  1. §3-69.G.1.a. Massing – Overall, the proposed building provides for two of the listed examples at less than 25ft intervals (building wall offsets and variations in roof height). Each façade has been provided with at least one of those two features.
  2. §3-69.G.1.b. Exterior Finish Materials – The exterior utilizes stone, split-face concrete block, EIFS (stucco finish), and a standing-seam roof.
  3. §3-69.G.1.c. Doors/Entrance – The entrance is accented visually by the projecting vestibule/porch element and its arched identification signage. Glazing and shading are also provided elements.
  4. §3-69.G.1.d. Roof Design & Materials – The Mansard roof slopes have been revised to maintain the required 8:12 slopes. The roof uses a standing-seam assembly in both a traditional and Mansard/parapet fusion to maintain the building's aesthetic cohesion (please refer to comment and response above). Varying roof heights have been provided.
  5. §3-69.G.1.e. Windows – Glazing has been provided corresponding to the main façade facing onto Rockefeller Drive. Due to the proposed building's small footprint and limited interior space, specifying glazing for the façade facing Atlantic Avenue would present the owner with a hardship in the form of severely limited usable interior space.
  6. §3-69.G.1.f. Colors – The proposed exterior finishes maintain a light grey primary color across the various materials, with a natural stone kneewall. The red light fixtures and wall band are the exceptions, as they serve to unify the owner's identification signage with the remainder of the building design.
  7. §3-69.G.1.g.1. Details – The building's façades integrate subtle color changes (earth tones and various shades of grey, in addition to the red accents), architectural banding, the varied roofline is an expression of the building's interior spaces, the projecting vestibule/porch element provides a focal projection on the building's front façade, and the specified materials will provide a wide variation in tactile and visual textures.
  8. §3-69.G.1.g.2. Details – In the vertical dimension, the building uses material variation and varied roof heights to create visual interest in the building's façades. Horizontally, the building employs the vestibule/porch projection to accent the front façade. The front and side facades utilize repeating light fixtures (especially effective at night) and an especially apparent view of the complex roof structure,

The rear façade maintains the vertical material changes, the varied roof heights, and we have also specified decorative downspouts to moderate the façade's horizontal expanse.

***The building lacks four-sided architecture. The south elevation...is a blank façade, which staff does not support.***

- Please refer to the previous response, part 8, referencing §3-69.G.1.g.2. Details.

***The illuminated placard (sign) is not permitted. The area where the placard is to be removed needs additional architectural treatment.***

- The illuminated placard sign will not be installed. Please refer to the previous response, part 8, referencing §3-69.G.1.g.2. Details.

***Staff does not see anything that would emulate a front porch.***

- The front façade of the building is accented with a small porch-like projection at the main entrance point (please see the Roof Plan presented above, where the front elevation is toward the lower edge of the image). This enclosed projection emulates the appearance and function of traditional porches, as it invites patrons to the entrance point of the building, and serves as an architectural transition between interior and exterior. The vestibule/porch area is also separate from the main sales floor, and can be used as a temporary shelter from inclement weather, by patrons and/or passersby, with minimal impact on the function of the facility.

***Please verify there is a single banding stripe. The LDC prohibits stripes and geometric patterns.***

- The design proposes a single colored accent band.

It is our opinion that the current design not only meets the requirements and maintains the spirit of the ordinance, but that it simultaneously goes beyond the requirements to provide its services to the public. The building provides shelter from inclement weather and public restrooms that are available 24 hours per day, and it also offers a visual cue that the surrounding economy and its people remain vibrant and prosperous.

Should you have any questions or concerns regarding the information contained within this correspondence, please feel free to contact our office directly.

Sincerely,  
*Cornerstone Consulting  
Engineers & Architectural, Inc*

**Mark W. Metzgar, Principal**

cc: Bill Norris - L&R Construct.  
Clayton McCane- Sunoco  
Peter Ma- ETM  
Robert Merrell, esq.

## MEMORANDUM

TO: Lionel Perez

FROM: Jeffrey Crammond, PE, PTOE, PTP  
*Jeffrey Crammond* 11/8/2012

RE: Sunoco Station 0696-4746 – 460 Atlantic Avenue South, Ormond Beach

DATE: October 25, 2012

---

As per your direction, I have reviewed the potential impacts of the redevelopment of Sunoco Station 0696-4746 located in the southwest quadrant of the Atlantic Avenue (SR-A1A) and Rockefeller Drive intersection, in Ormond Beach. The site is previously operated as a gasoline/service station with 2 service bays and 8 fueling positions. An estimate of the daily and afternoon peak traffic volumes using the trip rates contained in the 8<sup>th</sup> edition of the Institute of Transportation Engineers *Trip Generation Manual*, associated with the existing facility were calculated based on Land Use Codes (LUC) 944 - Gasoline/Service Station. Attached is a copy of the existing facility and the proposed site plan. Below are the calculations of both daily and pm peak hour traffic associated with the existing facility.

***Daily Trips:***

*LUC 944, 8 fueling positions,  $168.56 \times 8 = 1,348$  vpd*

***PM Peak Hour Trips:***

*LUC 944, 8 fueling positions,  $13.87 \times 12 = 111$  vph*

The proposed development will consist of a service station/convenience store with 6 fueling positions. An estimate of the daily and afternoon peak traffic volumes for the proposed development are also calculated below based on LUC 945 - Gasoline/Service Station with Convenience Market.

***Daily Trips:***

*LUC 945, 6 fueling positions,  $162.78 \times 6 = 977$  vpd*

***PM Peak Hour Trips:***

*LUC 945, 6 fueling positions,  $13.38 \times 6 = 80$  vph*

As shown the proposed redevelopment of the site will decrease the gross trip generation by approximately 371 daily trips and 31 trips during the afternoon peak hour. Based on this, the redevelopment of the site as proposed will not increase the traffic on either of the adjacent facilities.

If you have any additional questions regarding this analysis or require more information, please advise.

# Exhibit D

## Site Plans

**LEGAL DESCRIPTION**

ALL OF LOTS 1, 2, 3 AND LOT 7 (EXCEPT THE SOUTH 15 FEET OF SAID LOT 7), BLOCK H, ORMOND BEACH PARK, ACCORDING TO THE MAP OR PLAN THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 31 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, EXCEPTING ANY PART IN ANY ROAD RIGHT OF WAY AS NOW ESTABLISHED.

**PROJECT DESCRIPTION**

REDEVELOPMENT OF EXISTING GAS STATION SITE TO PROVIDE A NEW SUNOCO GAS STATION WITH CONVENIENCE STORE AND 6 FUELING POSITIONS



**FLOOD MAP**  
N.T.S.



**SOILS MAP**  
N.T.S.



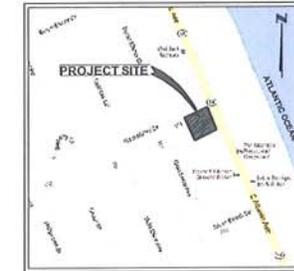
**STORE NO. 0696-4746**  
(CITY PROJECT No: 12-109)

**460 S. ATLANTIC AVENUE**  
**ORMOND BEACH**  
**VOLUSIA COUNTY, FLORIDA 32176**  
**(TAX PARCEL I.D. # 422304080010)**  
(SECTION: 23, TOWNSHIP: 14S, RANGE: 32E)  
**FOR**  
**SUNOCO, INC.**

10 INDUSTRIAL HIGHWAY, BUILDING G, MS4  
LESTER, PA 19029  
(610)-833-3598



**England-Thims & Miller, Inc.**  
14775 Old St. Augustine Road  
Jacksonville, FL 32258  
TEL: (904) 642-8990  
FAX: (904) 646-9485  
CA-00002584 LC-0000316



**LOCATION MAP**  
N.T.S.

DRAWING NO.	DRAWING TITLE
1	COVER
2	GENERAL NOTES
3	ORMOND BEACH GENERAL NOTES
4	ORMOND BEACH WATER AND SEWER NOTES
5	DEMOLITION PLAN
6	MASTER SITE PLAN
7	SITE GEOMETRY PLAN
7A	ADA ACCESSIBILITY PLAN
8	PRE-DEVELOPMENT PLAN
9	POST-DEVELOPMENT PLAN
10	PAVING AND DRAINAGE PLAN
11-12	PAVING AND DRAINAGE DETAILS
13	UTILITY PLAN
14	WATER AND SEWER DETAILS
15	SEDIMENT AND EROSION CONTROL PLAN
16	SEDIMENT AND EROSION CONTROL DETAILS
17	NEIGHBORHOOD DRIVEWAY CONNECTION PLAN
18	STORMWATER POLLUTION PREVENTION PLAN
19	CONTRACTOR'S CERTIFICATION
MOT-1 - MOT-2	MAINTENANCE OF TRAFFIC PLAN
LC-01	LANDSCAPE PLAN
LC-02	LANDSCAPE SPECIFICATIONS AND DETAILS
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION SPECIFICATIONS AND DETAILS
SUNOCO - APPENDICES	
2-497	ELECTRICAL CONDUIT DETAILS
2-443	CS - 12" DIAMETER TANK LAYOUTS
4-500	EXTERIOR CONCRETE DETAILS
4-501	MISCELLANEOUS EXTERIOR CONCRETE DETAILS
4-502	TYPICAL ADA CONCEPT SITE PLAN
4-508	ADA SITE SIGN DETAILS
4-512	MASONRY BRUSH ENCLOSURE DETAILS
4-515	12' X 12' STORAGE BUILDING

PLAN APPROVAL IS SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**PROPERTY OWNER**  
SUNOCO, INC.  
CONTACT: CLAYTON McCANE  
clmccane@sunocoinc.com  
TEL: (610) 833-3598  
10 INDUSTRIAL HWY, BLDG. G  
LESTER, PA 19029

**PROJECT MANAGER**  
ENGLAND-THIMS & MILLER, INC.  
CONTACT: PETER MA, P.E.;  
LIONEL J. PEREZ  
map@etminc.com; perezl@etminc.com  
TEL: (904) 642-8990  
FAX: (904) 646-9485  
14775 OLD ST. AUGUSTINE RD.  
JACKSONVILLE, FL 32258

**PROJECT ENGINEER**  
ENGLAND-THIMS & MILLER, INC.  
CONTACT: PETER MA, P.E.  
map@etminc.com  
TEL: (904) 642-8990  
FAX: (904) 646-9485  
14775 OLD ST. AUGUSTINE RD.  
JACKSONVILLE, FL 32258

**LANDSCAPE ARCHITECT**  
ENGLAND-THIMS & MILLER, INC.  
CONTACT: RYAN CLARK, RLA  
clarkr@etminc.com  
TEL: (904) 642-8990  
FAX: (904) 646-9485  
14775 OLD ST. AUGUSTINE RD.  
JACKSONVILLE, FL 32258

**ARCHITECT**  
CORNERSTONE CONSULTING  
ENGINEERS & ARCHITECTURAL, INC  
CONTACT: MARK METZGAR  
mmezgar@cornerstonenet.com  
TEL: (610) 820-8200  
FAX: (641) 820-3706  
1176 N. IRVING STREET.  
ALLENTOWN, PA 18109

PLANS PREPARED UNDER THE DIRECTION OF:  
P.T. PETER MA, P.E.  
L.J. PEREZ, RLA

ETM  
VISION • EXPERIENCE • RESULTS

COVER  
SUNOCO 0696-4746  
460 S. ATLANTIC AVENUE  
ORMOND BEACH, FLORIDA

DRAWING NUMBER  
**1**

DATE: 10-18-12

DESIGNED BY: LJP/PLW  
CHECKED BY: PMA

ETM NO. 11-101-03  
DRAWN BY: CWD

REVISIONS

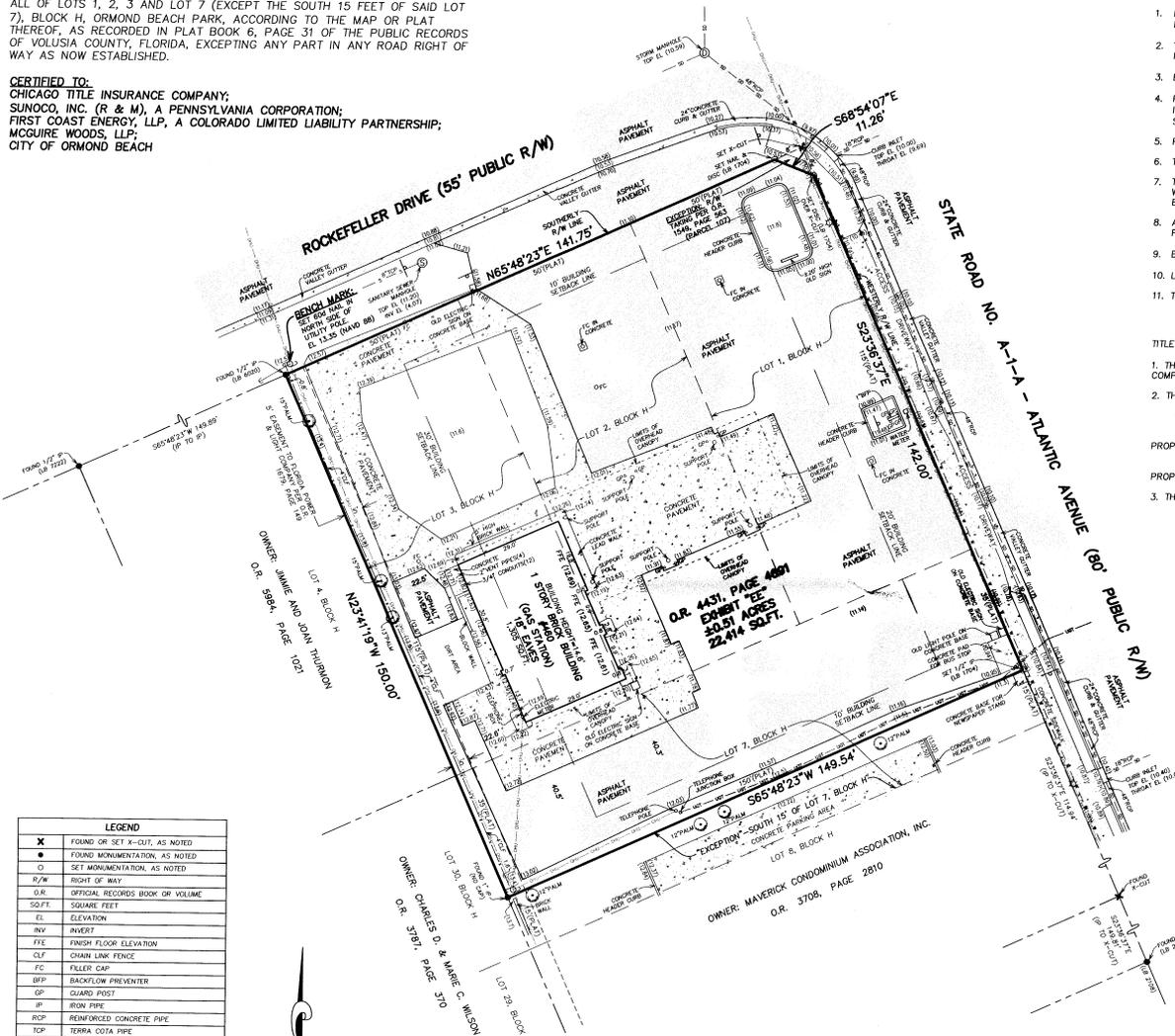
England-Thims & Miller, Inc.  
14775 Old St. Augustine Road  
Jacksonville, FL 32258  
TEL: (904) 642-8990  
FAX: (904) 646-9485  
CA-00002584 LC-0000316

© 11-15811-10-12-03-05-06-07-08-09-10-11-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100

**MAP SHOWING ALTA/ACSM LAND TITLE SURVEY OF**

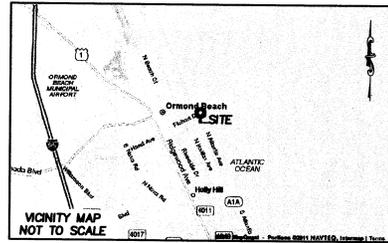
ALL OF LOTS 1, 2, 3 AND LOT 7 (EXCEPT THE SOUTH 15 FEET OF SAID LOT 7), BLOCK H, ORMOND BEACH PARK, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 31 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, EXCEPTING ANY PART IN ANY ROAD RIGHT OF WAY AS NOW ESTABLISHED.

**CERTIFIED TO:**  
 CHICAGO TITLE INSURANCE COMPANY;  
 SUNOCO, INC. (R & M), A PENNSYLVANIA CORPORATION;  
 FIRST COAST ENERGY, LLP, A COLORADO LIMITED LIABILITY PARTNERSHIP;  
 MCGUIRE WOODS, LLP;  
 CITY OF ORMOND BEACH



- NOTES:
1. BEARING REFERENCE: S23°36'37"E FOR THE WESTERLY R/W LINE OF STATE ROAD NO. A-1-A PER STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION R/W MAPS, SECTION 79080-2504.
  2. THE PROPERTY SURVEYED HEREON APPEARS TO LIE WITHIN FLOOD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NO. 125136-0218H, DATED FEBRUARY 19, 2003.
  3. ELEVATIONS SHOWN THUS: (20.00) AND REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  4. REFERENCE BENCH MARK: FOUND FLORIDA DEPARTMENT OF NATURAL RESOURCES DISK DESIGNATED "79 78 864" IN TOP OF CONCRETE MONUMENT LOCATED 34' NORTHEAST OF STATE ROAD A-1-A CENTERLINE AND 36' SOUTHWEST OF NORTHWEST CORNER OF BALI HAI MOTEL. ELEVATION 11.03 (NAVD 88).
  5. PROPERTY ADDRESS: 460 SOUTH ATLANTIC AVENUE, CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32176.
  6. THE PROPERTY SURVEYED CONTAINS 22,414 SQUARE FEET OR ±0.51 ACRES.
  7. THIS IS AN ABOVE GROUND SURFACE SURVEY ONLY; UNDERGROUND STORM DRAINAGE & SANITARY SEWER PIPES WERE FIELD VERIFIED. ALL OTHER UNDERGROUND UTILITIES SHOWN WERE MARKED BY OTHERS AND FIELD LOCATED BY US. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
  8. ALL LOT AND BLOCK INFORMATION SHOWN HEREON REFERS TO PLAT OF ORMOND BEACH PARK, RECORDED IN PLAT BOOK 6, PAGE 31 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
  9. BUILDING SETBACK LINES PER CITY OF ORMOND BEACH ZONING "B-7" ARE: FRONT-20', REAR-30', SIDES-10'.
  10. LOCATED ALL TREES 6" OR LARGER.
  11. THERE WERE NO PARKING SPACES MARKED AT TIME OF SURVEY.

- TITLE NOTES:
1. THE LEGAL DESCRIPTION SHOWN HEREON IS THE SAME AS EXHIBIT "A" OF CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 3673738, DATED OCTOBER 10, 2011.
  2. THE FOLLOWING ITEMS REFER TO SCHEDULE B-PART II:
    - ITEM 6-NO UNRECORDED LEASES OR AGREEMENTS FURNISHED TO THE UNDERSIGNED SURVEYOR.
    - ITEM 7-EASEMENT TO FLORIDA POWER & LIGHT COMPANY PER O.R. 1679, PAGE 149 AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON.
    - ITEM 8-TERMS, COVENANTS AND CONDITIONS PER O.R. 3752, PAGE 604 INCLUDES AND AFFECTS SUBJECT PROPERTY, BUT ARE NOT SURVEY MATTERS.
  3. THE CONSTITUENT PARTS DESCRIBED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS.



LEGEND	
X	FOUND OR SET X-CUT, AS NOTED
●	FOUND MONUMENTATION, AS NOTED
○	SET MONUMENTATION, AS NOTED
R/W	RIGHT OF WAY
O.R.	OFFICIAL RECORDS BOOK OR VOLUME
SQ.FT.	SQUARE FEET
EL.	ELEVATION
INV.	INVERT
F.F.E.	FINISH FLOOR ELEVATION
CLF.	CHAIN LINK FENCE
FC.	FILLER CAP
BP.	BACKFLOW PREVENTER
GP.	GUARD POST
IP.	IRON PIPE
RCP.	REINFORCED CONCRETE PIPE
TCP.	TERRA COTTA PIPE
SP.	SIGN POST
LP.	LIGHT POLE
WV.	WATER VALVE
UP.	UTILITY POLE
—	DUTY ANCHOR
---	FENCE, AS NOTED, W/TIES TO FACE
---	OVERHEAD UTILITY LINE
---	STORM DRAINAGE PIPE, AS NOTED
---	SANITARY SEWER PIPE, AS NOTED
---	UNDERGROUND GAS LINE
---	UNDERGROUND WATER LINE
---	UNDERGROUND TELEPHONE LINE
○	LOCATED TREE, AS NOTED

FCE #2528 460 SOUTH ATLANTIC AVENUE, CITY OF ORMOND BEACH, VOLUSIA COUNTY, FLORIDA, 32176

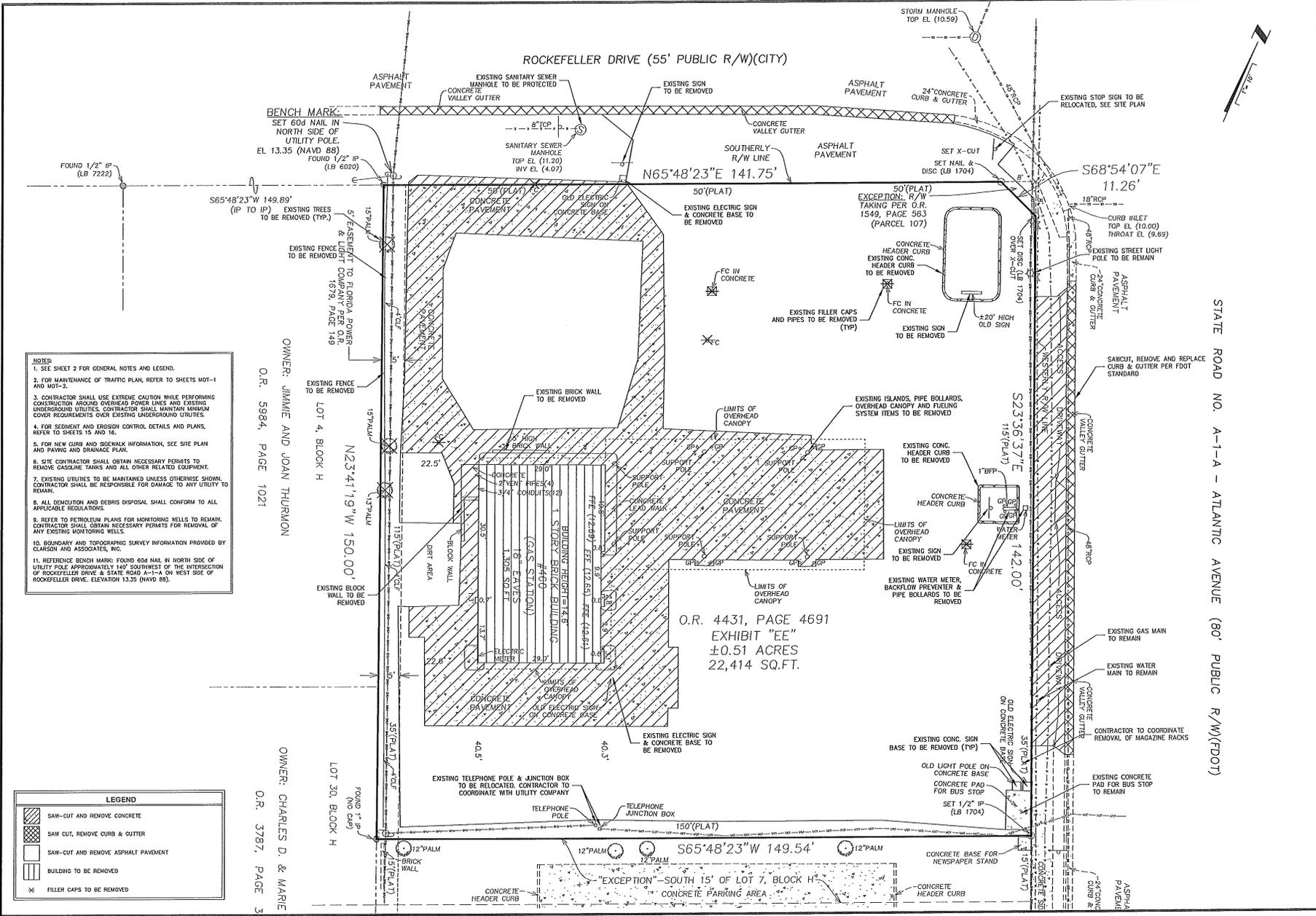


THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR 2011 ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 7, 2011.

SIGNED: *Jose A. Hill, Jr.* DATE: FEBRUARY 10, 2012  
 JOSE A. HILL, JR.  
 REGISTERED LAND SURVEYOR NO. 4487  
 SURVEY NOT VALID WITHOUT EMBOSSED SURVEYOR'S SEAL

PREPARED BY:  
**CLARSON AND ASSOCIATES, INC.**  
 PROFESSIONAL SURVEYORS & MAPPERS  
 1643 NALDO AVENUE  
 JACKSONVILLE, FLORIDA, 32207  
 PHONE: 904-396-2623

DATE SURVEYED: DECEMBER 7, 2011  
 SCALE: 1"=20'  
 FIELD BOOK: 852 PAGES: 1-7  
 DRAWING NO. A-3769



- NOTES**
1. SEE SHEET 2 FOR GENERAL NOTES AND LEGEND.
  2. FOR MAINTENANCE OF TRAFFIC PLAN, REFER TO SHEETS MOT-1 AND MOT-2.
  3. CONTRACTOR SHALL USE EXTREME CAUTION WHILE PERFORMING CONSTRUCTION AROUND OVERHEAD POWER LINES AND EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS OVER EXISTING UNDERGROUND UTILITIES.
  4. FOR SEDIMENT AND EROSION CONTROL DETAILS AND PLANS, REFER TO SHEETS 15 AND 16.
  5. FOR NEW CURB AND SIDEWALK INFORMATION, SEE SITE PLAN AND PAVING AND DRAINAGE PLAN.
  6. SITE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS TO REMOVE GASOLINE TANKS AND ALL OTHER RELATED EQUIPMENT.
  7. EXISTING UTILITIES TO BE MAINTAINED UNLESS OTHERWISE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY UTILITY TO REMAIN.
  8. ALL DEMOLITION AND DEBRIS DISPOSAL SHALL CONFORM TO ALL APPLICABLE REGULATIONS.
  9. REFER TO PETROLEUM PLANS FOR MONITORING WELLS TO REMAIN. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR REMOVAL OF ANY EXISTING MONITORING WELLS.
  10. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY CLARSON AND ASSOCIATES, INC.
  11. REFERENCE BENCH MARK: FOUND 606 NAIL IN NORTH SIDE OF UTILITY POLE APPROXIMATELY 140' SOUTHWEST OF THE INTERSECTION OF ROCKEFELLER DRIVE & STATE ROAD A-1-A ON WEST SIDE OF ROCKEFELLER DRIVE. ELEVATION 13.35 (NAVD 85).

**LEGEND**

	SAW-CUT AND REMOVE CONCRETE
	SAW CUT, REMOVE CURB & CUTTER
	SAW-CUT AND REMOVE ASPHALT PAVEMENT
	BUILDING TO BE REMOVED
	FILLER CAPS TO BE REMOVED

PLANS PREPARED UNDER THE DIRECTION OF:  
**K.T. PETER, M.A., P.E.**  
P.E. NUMBER: 46551

DATE: 10-14-12

DRAWN BY: CWD  
CHECKED BY: PMA

REVISIONS:

EVA NO. 11-05-03

**Englund-Thurmon & Miller, Inc.**  
4400 S.W. 11th Street, Suite 100  
TLC (Toll Free) 888-888-8888  
FLA. REG. NO. 12000000  
CORP. OFFICE: 11-05-03

**ETM**

**VISION • EXPERIENCE • RESULTS**

**DEMOLITION PLAN**

**SUNOCO 0696-4746**  
**460 S. ATLANTIC AVENUE**  
**ORMOND BEACH, FLORIDA**

DRAWING NUMBER  
**5**

© 11-15-12 BY: 11-05-03/MSD/VP/MSD/MSD/MSD

**WRITTEN STATEMENT**

- A. OWNER'S NAME, ADDRESS, PHONE #**  
 SUNOCO, INC.  
 10 INDUSTRIAL HIGHWAY, BLDG. C  
 LESTER, PA 19029  
 PHONE: (800) 833-3288
- B. APPLICANT NAME, ADDRESS, PHONE #**  
 PETER MA, P.E.  
 ENGLAND - THOMAS & HALLER, INC.  
 14775 OLD ST. AUGUSTINE ROAD  
 JACKSONVILLE, FLORIDA 32218  
 PHONE: (904) 842-8990
- C. NAME OF DEVELOPER**  
 SUNOCO 0696-4746  
 460 S. ATLANTIC AVE., ORLANDO BEACH, FLORIDA
- D. EXISTING LAND USE CATEGORIES (TOWN/ COUNTY)**  
 E. ZONING EXISTING: B-7 PROPOSED: B-7
- F. SITE DESCRIPTION**  
 1. VEGETATION: THE SITE IS DEVELOPED WITH GREEN AREAS.  
 2. JURISDICTIONAL LAND: NO WETLANDS ON SITE.  
 3. DRAINAGE: THE SITE WILL DISCHARGE INTO PROPOSED RE ENTION POND AND THEN WILL OUTFALL INTO FOOT DRAINAGE SYSTEM.  
 4. FEMA FLOOD ZONE: THE ENTIRE SITE IS LOCATED IN FEMA ZONE "X".
- G. PROPOSED DEVELOPMENT**  
 1. TOTAL ACRES OF SITE: 0.514 AC  
 2. NUMBER OF BUILDINGS PROPOSED: 1  
 3. NUMBER OF STORES PROPOSED: 1  
 4. BUILDING HEIGHT: 35 FT. MAX.  
 5. TYPE OF CONSTRUCTION: CONCRETE BLOCK  
 6. GROSS SQUARE FEET: 2,450 SF.  
 7. FINISHED FLOOR ELEVATION: 12.83.
- H. DATA SUMMARY:**  
 1. NUMBER OF ANTICIPATED PHASES: 1  
 2. TOTAL SITE AREA: 0.514 ACRES  
 3. TOTAL ACRES PROVIDED FOR RECREATION: N/A  
 4. NUMBER OF LOTS AND DRILLING SITES: N/A  
 5. NUMBER OF PROPOSED BUILDINGS: 1  
 6. EXISTING AND PROPOSED ZONING: B-7  
 7. NUMBER OF PROPOSED PARKING SPACES: 16  
 8. PERCENT OF BUILDING COVERAGE TO LOT AREA: 11.06  
 9. VEHICLE USE AREA: 54.75  
 10. PERVIOUS AREA: 23.02  
 11. STORMWATER MANAGEMENT FACILITIES: 1
- I. UTILITY SERVICE:**  
 TYPE OF SERVICE NAME OF UTILITY  
 A. SEWAGE TREATMENT ORLANDO BEACH  
 B. WATER SUPPLY ORLANDO BEACH  
 C. ELECTRICITY FPLA

**SITE DATA**

BUILDING (SQ FT)	1,305	2,450
LOT COVERAGE (BLDG)	5.87%	11.02%
LOT COVERAGE (SQ FT)	84,508	758
LANDSCAPED AREA (SQ FT)	6,99%	30,30%

**PARKING REQUIREMENTS**

- OFF STREET PARKING REQUIREMENTS:**  
 1. MIN. REQUIRED = 1 SP./200 GFA = 12 SPACES  
 1 SP./600 PUMP BAY(1/2) = 3 SPACES  
 1 SP./EA. EMP. LARGE SHIFT = 1 SPACES  
 TOTAL SPACES REQUIRED = 16 SPACES
2. PROVIDED = STOREFRONT SPACES = 10  
 GAS PUMP SPACES = 6  
 SPACES PROVIDED = 16
- HANDICAPPED PARKING REQUIREMENTS:**  
 1. PER FLORIDA STATUTE 316.1955 & 316.1956  
 2. PER A.D.A.A.C. s.4.1.2 (5)
- | TOTAL PARKING IN LOT SPACES | REQUIRED HANDICAP SPACES |
|-----------------------------|--------------------------|
| 1 - 25                      | 1                        |
| 26 - 50                     | 2                        |
| 51 - 75                     | 3                        |
| 76 - 100                    | 4                        |
- REGULAR PARKING PROVIDED = 16 SPACES  
 HANDICAP PARKING REQUIRED = 1 SPACE  
 HANDICAP PARKING PROVIDED = 1 SPACE
- BICYCLE PARKING REQUIREMENTS:**  
 PARKING REQUIRED = 2  
 PARKING PROVIDED = 2

**SETBACKS**

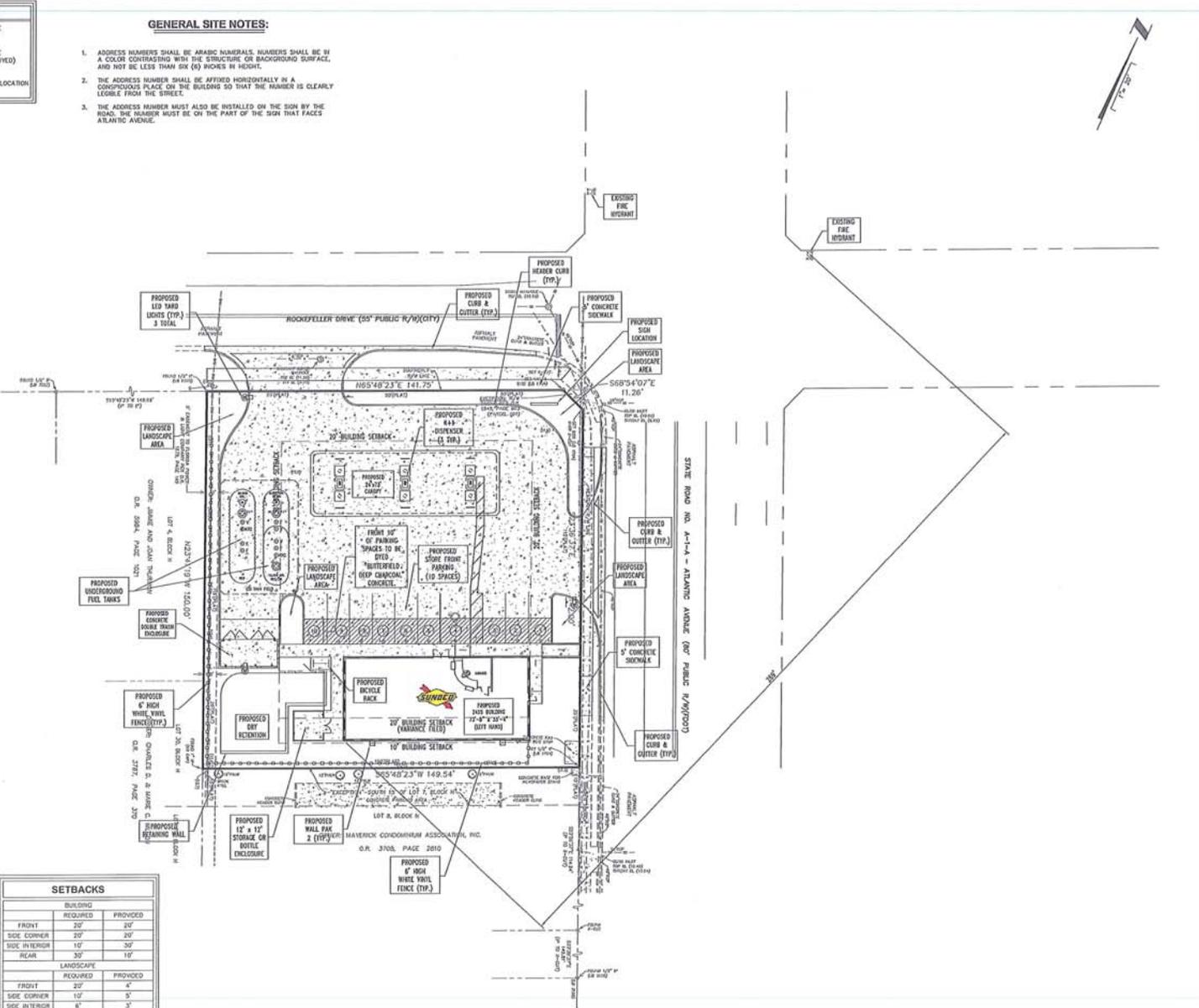
BUILDING	REQUIRED	PROVIDED
FRONT	20'	20'
SIDE CORNER	20'	20'
SIDE INTERIOR	10'	30'
REAR	30'	10'

LANDSCAPE	REQUIRED	PROVIDED
FRONT	20'	4'
SIDE CORNER	10'	5'
SIDE INTERIOR	6'	5'
REAR	30'	6'

**GENERAL SITE NOTES:**

1. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS. NUMBERS SHALL BE IN A COLOR CONTRASTING WITH THE STRUCTURE OR BACKGROUND SURFACE, AND NOT BE LESS THAN 24 (24) INCHES IN HEIGHT.
2. THE ADDRESS NUMBER SHALL BE AFFIXED HORIZONTALLY IN A CONSPICUOUS PLACE ON THE BUILDING SO THAT THE NUMBER IS CLEARLY LEGIBLE FROM THE STREET.
3. THE ADDRESS NUMBER MUST ALSO BE INSTALLED ON THE SIGN BY THE ROAD. THE NUMBER MUST BE ON THE PART OF THE SIGN THAT FACES ATLANTIC AVENUE.



PLANS PREPARED UNDER THE DIRECTION OF:

**ENGLAND-THOMAS & HALLER, INC.**  
 14775 OLD ST. AUGUSTINE ROAD  
 JACKSONVILLE, FLORIDA 32218  
 TEL: 904 842-8990  
 FAX: 904 842-8990  
 CA-000004 LC-100708

**ETM**  
 VISION • EXPERIENCE • RESULTS

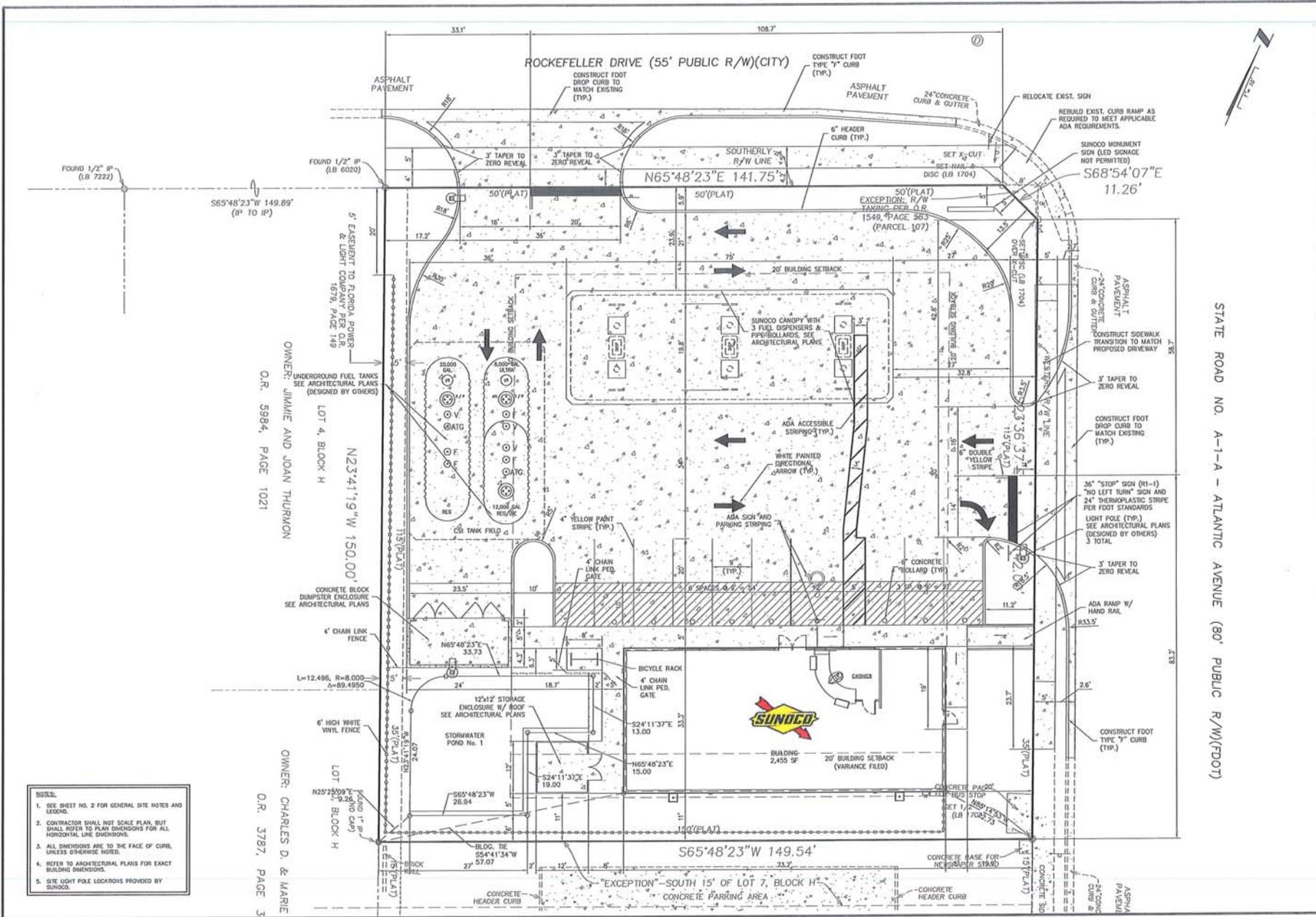
**MASTER SITE PLAN**  
 SUNOCO 0696-4746  
 460 S. ATLANTIC AVENUE  
 ORLANDO BEACH, FLORIDA

DRAWING NUMBER: **6**

DATE: 10-10-12  
 CHECKED BY: BMA  
 DESIGNED BY: LP/ELM  
 DRAWN BY: CHD  
 REV. NO.: 11-10-12

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 12151  
 P.E. NUMBER: 14580

DATE: November 15, 2012 11:53 AM ET: Cory Desprey



- NOTES:**
- SEE SHEET NO. 2 FOR GENERAL SITE NOTES AND LEGEND.
  - CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAN DIMENSIONS FOR ALL HORIZONTAL LINE DIMENSIONS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - SITE LIGHT POLE LOCATIONS PROVIDED BY SUNOCO.

STATE ROAD NO. A-1-A - ATLANTIC AVENUE (80' PUBLIC R/W)(FDOT)

OWNER: JIMMIE AND JOAN THURKON  
O.R. 5984, PAGE 1021

OWNER: CHARLES D. & MARIE  
O.R. 3787, PAGE 3

<b>ETM</b> VISION • EXPERIENCE • RESULTS	
17th Fl. 11-19-03 DRAWN BY: CDB DESIGNED BY: LJP/PLW CHECKED BY: PMA DATE: 10-18-12	Plans Prepared Under the Direction of: P.E. PETER W. J.P.E. REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER: 12,025 - 03.5 AM. 871, COPY 00000001
<b>SITE GEOMETRY PLAN</b> SUNOCO 0696-4746 460 S ATLANTIC AVENUE ORMOND BEACH, FLORIDA	
DRAWING NUMBER <b>7</b>	



**LEGEND**

	5" CONCRETE PAVEMENT
	8" CONCRETE PAVEMENT (D10)
	A1 BORING/TEST LOCATION

**DRAINAGE STRUCTURE TABLE**

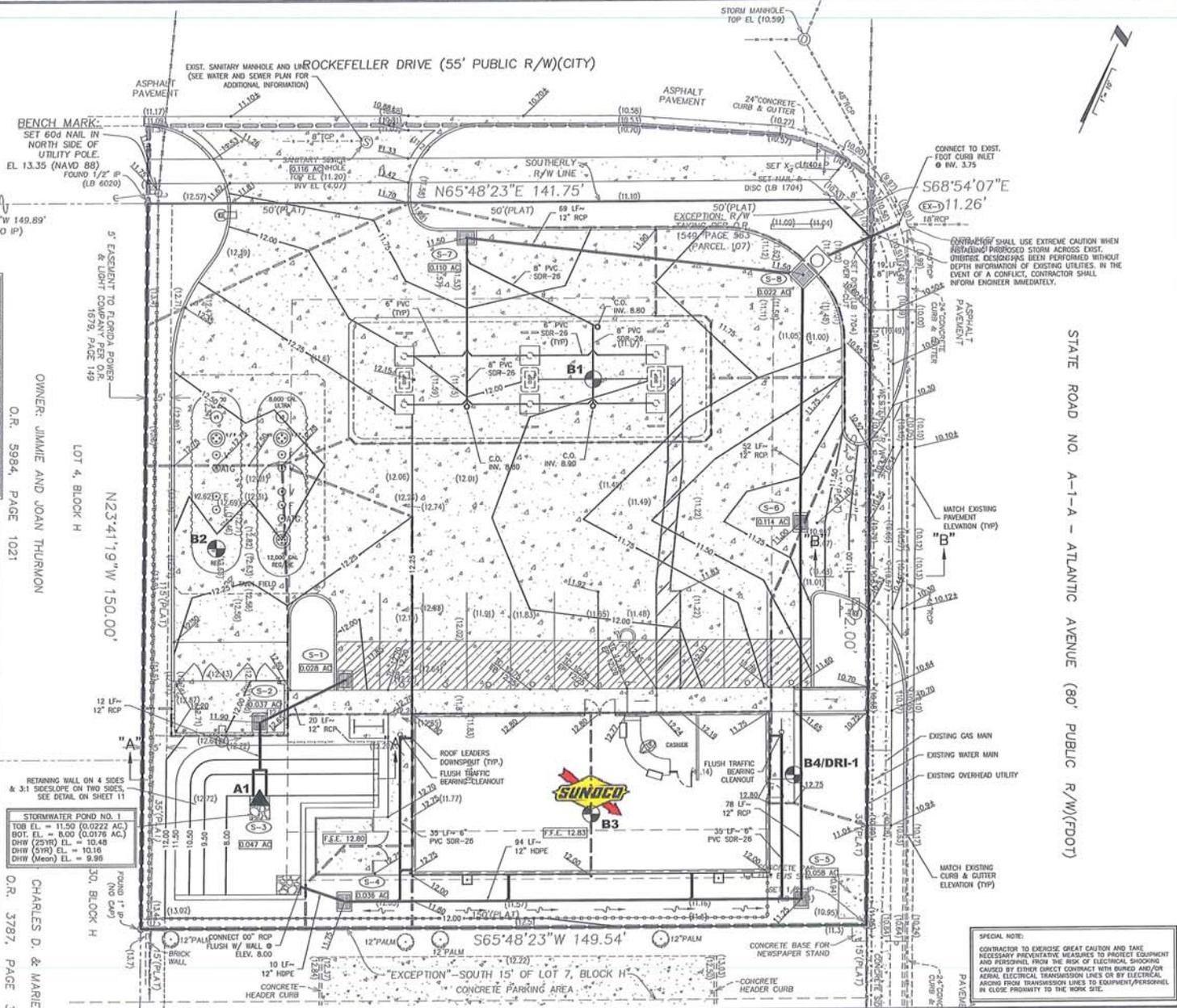
STR. NUM.	STRUCTURE TYPE	TOP ELEV.	PIPE SIZE & INVERT ELEV.
S-1	TYPE "B" INLET	11.85	8.40 12" RCP (S)
S-2	TYPE "B" INLET	11.90	8.20 12" RCP (N)
S-3	12" MES	-	8.00
S-4	TYPE "C" INLET	11.75	8.10 12" HOPE (S)
S-5	TYPE "C" INLET	11.25	8.30 12" RCP (N)
S-6	TYPE "B" INLET	11.00	8.45 12" RCP (S)
S-7	TYPE "B" INLET	11.50	8.70 12" RCP (S)
S-8	CONTROL STRUCTURE SEE DETAIL	11.50	8.55 12" RCP (W) 4.00 8" PVC (E)

- NOTES-**
- SEE SHEET 2 FOR GENERAL NOTES AND LEGEND.
  - CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAN DIMENSIONS FOR ALL HORIZONTAL LINE DIMENSIONS.
  - REFER TO PAVING AND DRAINAGE DETAILS FOR CONCRETE THICKNESS AND CROSS SECTIONS.
  - TOPOGRAPHIC INFORMATION BASED ON SURVEY BY CLARSON AND ASSOCIATES, INC DATED: DECEMBER 7, 2011. (NAVD 88) THE DATUM CONVERSION IN THIS LOCATION IS NAVD 88 +1.15' = NVD 29 FROM USGS VERTCON.
  - ALL PIPE LENGTHS ARE APPROXIMATE.
  - REFER TO SHEET 7 FOR POND TOP OF BANK GEOMETRY.
  - AUGER BORINGS PROVIDED BY ELLIS AND ASSOCIATES, INC. E&A PROJECT #2383-0010 DATED: 08/15/2012
  - CONTRACTOR SHALL PROVIDE CONCRETE JOINT AND CRACK CONTROL PLAN PRIOR TO CONSTRUCTION.
  - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITIONS OF FOOT DESIGN STANDARDS (WITHIN R/W) AND CITY OF ORMOND BEACH STANDARDS (ON-SITE).
  - ALL ACCESSIBLE RAMPS, SIDEWALKS, AND PATHS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
  - THRESHOLDS AT DOORWAYS SHALL NOT EXCEED "J" AS PER ADA.
  - PVC DRAINAGE PIPES TO BE SDR 26.
  - ALL MATERIALS INSTALLED BY FOOT RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE FOOT'S QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.
  - EXISTING UTILITIES TO BE PROTECTED DURING CONSTRUCTION.

**STORMWATER POND NO. 1**  
 TOB EL. = 11.50 (0.0222 AC)  
 BOT. EL. = 8.00 (0.0178 AC)  
 DHW (25YR) EL. = 10.48  
 DHW (5YR) EL. = 10.16  
 DHW (Mean) EL. = 9.98

OWNER: JIMMIE AND JOAN THURMON  
 O.R. 5984, PAGE 1021

CHARLES D. & MARIE  
 O.R. 3787, PAGE 5



**SPECIAL NOTE:**  
 CONTRACTOR TO EXERCISE GREAT CAUTION AND TAKE NECESSARY PREVENTATIVE MEASURES TO PROTECT EQUIPMENT AND PERSONNEL FROM THE RISK OF ELECTRICAL SHOCKING CAUSED BY EITHER DIRECT CONTACT WITH BURIED AND/OR ABOVE ELECTRICAL TRANSMISSION LINES OR BY ELECTRICAL ARCING FROM TRANSMISSION LINES TO EQUIPMENT/PERSONNEL IN CLOSE PROXIMITY TO THE WORK SITE.

**PAVING AND DRAINAGE PLAN**

**SUNOCO 0696-4746**  
 460 S. ATLANTIC AVENUE  
 ORMOND BEACH, FLORIDA

**ETM**  
 VEION • EXPERIENCE • RESULTS

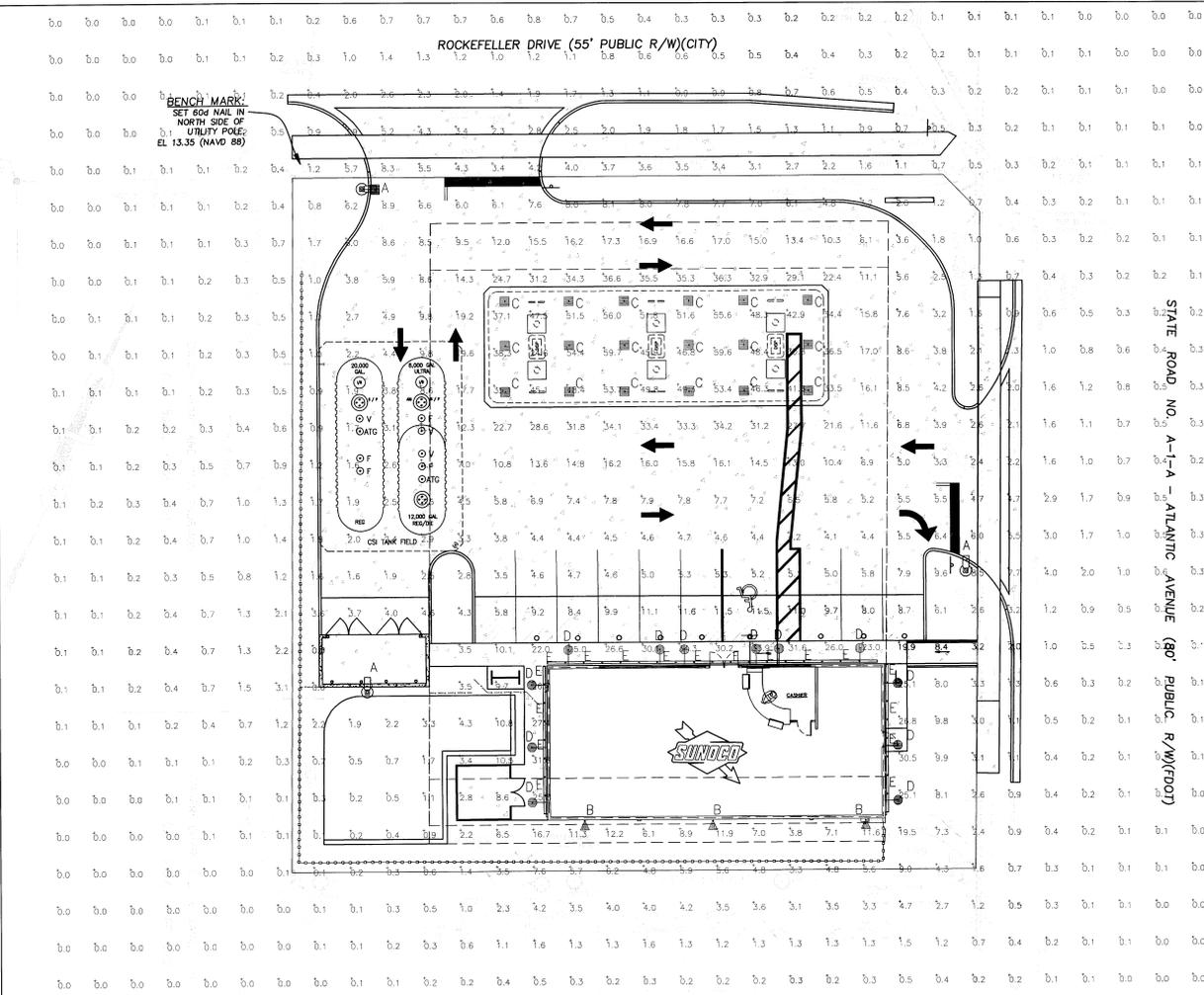
ENGINEER: Charles D. & Marie  
 DRAWN BY: CDM  
 CHECKED BY: LP/MLM  
 DATE: 10-14-12

DRAWING NUMBER  
**10**









**GENERAL NOTES:**

- THIS SITE IS LOCATED IN AN AREA DESIGNATED FOR SPECIAL LIGHTING DUE TO SEA TURFLES. CONTRACTOR SHALL REVIEW THE LIGHTING DRAWING DURING HOURS TO DETERMINE IF LIGHT FIXTURES ARE VISIBLE FROM THE BEACH. IF THE LIGHT BULB OR GLASS FROM FIXTURES A, B OR C ARE VISIBLE THEN ATTACH SHIELDS TO BLOCK LIGHTING. IF BULB OR GLASS IS VISIBLE FROM FIXTURES D OR E BULB OR GLASS SHOULD BE REMOVED.
- ANY SHIELD INSTALLED SHALL BE BOLTED OR SCREWED TO STRUCTURAL PORTION OF FIXTURE. SHIELDS SHALL BE METAL WITH COLOR TO MATCH FIXTURES.
- THIS DRAWING IS FOR PARKING LOT LIGHTING AND INFORMATION ONLY. REFER TO CML DRAWINGS FOR ADDITIONAL SITE INFORMATION.
- LOCATION OF PARKING LOT LIGHTING FIXTURES SHOWN IS APPROXIMATE. COORDINATE LOCATION WITH APPROVED LANS AND UTILILITY PLANS TO ENSURE THAT POLES ARE NOT IN ALLEYS OR PARKING SPACES.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL TYPICAL SITE WORK BOTH BELOW AND ABOVE GROUND TO ASSURE THAT THERE IS NO INTERFERENCE WITH OR CONFLICT WITH ANY EXISTING PROPERTY LINES OR OVERHEAD OR UNDERGROUND UTILITY LINES. ANY REQUIRED RELOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING AND BACKFILL FOR MEETING SUB-GRADE COMPACTON REQUIREMENTS.

**DESIGN LOADS**

WIND LOAD (COMPONENTS & CLADDING)  
 WIND SPEED 90 MPH  
 \* CONSULT ENGINEER OF RECORD IF WIND SPEED IS IN EXCESS OF 90 MPH PER LOCAL BUILDING CODE.  
 IMPORTANCE FACTOR 1.0  
 EXPOSURE C  
 \*\* CONSULT ENGINEER OF RECORD IF EXPOSURE D CONDITIONS EXIST (LESS THAN 1500 FT. FROM BODY OF WATER AND MORE THAN 1 MILE IN WIDTH IN UPWIND DIRECTION)

**EARTHWORK**

- EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS AND UTILITY LINES. VERIFY LOCATION AT ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND DIGGAGE AROUND UTILITY AS REQUIRED.

**FOUNDATIONS**

- FOOTING SHALL BE PLACED IN FIRM, DRY, NON-FROZEN, UNDISTURBED SOIL OR COMPACTED FILL. THE MINIMUM PERMISSIBLE SOIL PRESSURE MUST BE 1500 PSF. CONTRACT ENGINEER IF THIS REQUIREMENT CANNOT BE MET.
- PREPARATION OF THE SITE SHALL PROCEED IN COMPLIANCE WITH LOCAL CODES AND THE PROJECT GEOTECHNICAL REPORT. UNLESS OTHERWISE NOTED OR SPECIFIED, ALL EXISTING AND NEW FOOTING FOUNDATION SHALL BE COMPACTED WITH VIBRATORS, COMPACTORS, ETC. TO 95% MAXIMUM DENSITY (MODIFIED PROCEDURE) AT OPTIMUM SOIL MOISTURE CONTENT.

**CONCRETE**

- CONCRETE SHALL BE REINFORCED, DETAILED AND CONSTRUCTED IN ACCORDANCE WITH THE ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (LATEST EDITION), AND THE MANUAL OF STANDARD PRACTICE.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AS FOLLOWS:  
 FOOTING:  $f'_c = 4000$  PSI  
 AIR ENTRAINMENT: 5% FOR ALL EXPOSED CONCRETE.  
 3. REINFORCED STEEL ASTM A-615 GRADE 60.  
 4. PLACING OF CONCRETE SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE OWNER'S INSPECTION AGENCY.  
 5. CONCRETE MIXES SHALL BE PROPORTIONED PER SECTION 3.9 OF ACI-301. CERTIFIED HISTORICAL TEST DATA SHALL SERVE AS A BASIS FOR EACH MIX DESIGN. SIWATERS SHALL BE SUBSTITUTED WITH ADDITIONAL CERTIFIED DATA, MIX TESTING AND RESULTS. SUBMIT MIX DESIGN, HISTORICAL TEST DATA OR TRIAL MIX RESULTS FOR APPROVAL PRIOR TO PROCEEDING WITH WORK.

**GENERAL CONDITIONS**

- ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODE AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISIONS SHALL GOVERN.
- THE STRUCTURAL DRAWINGS ARE FOR THE LOCATION AND SIZE OF STRUCTURAL COMPONENTS ONLY. REQUIREMENTS MADE BY OSHA AND ALL APPLICABLE SAFETY CODES ARE TO BE DETERMINED AND PROVIDED BY THE CONTRACTOR.
- WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE IDENTICAL.
- THE MEANS AND METHODS OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY WHETHER EXISTING CONDITIONS AND DIMENSIONS AT THE SITE.
- USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS EXPRESSLY PROHIBITED.
- IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITIONS WITH THEIR PROPOSED MODIFICATION OF THE DETAILS OVER ON THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROVIDE FOR DRAINAGE AS REQUIRED DURING EXCAVATION AND CONSTRUCTION.
- PERSONS WORK UNDER EXHAUSTIVE CONDITIONS (EXHAUSTION BY REFERENCED CODES AND SPECIFICATIONS, BY MATERIAL SUPPLIERS, AND WHICH ARE ACCEPTABLE UNDER STANDARD INDUSTRY PRACTICE, PERIODIC AND FINAL CLEAN UP, COORDINATE WORK WITH OWNER TO ESTABLISH ACCESS TO THE WORKFACE AND FOR STAGING AND STORAGE AREAS.
- ALL PROPOSED BUILDING EXTERIOR AND SITE LIGHTING SHALL BE INSTALLED AND MAINTAINED BY PROPERTY OWNER.
- ALL SITE LIGHTING FIXTURES ARE TO BE CONTROLLED WITH TRIP SWITCH TO AUTOMATICALLY SWITCH OFF LIGHTING AFTER HOURS OF OPERATION, WITH THE EXCEPTION OF SAFETY AND SECURITY LIGHTING.
- PROVIDE AND INSTALL SITE LIGHTING EQUIPMENT OF FIXTURES, LUMINAIRES, CONCRETE CHUTE IN PLACE POLE BASES, CONDUITS, WIRING, PULL BOXES, JUNCTION BOXES, AND ALL APPURTENANCES TO PROVIDE A COMPLETE SITE LIGHTING SYSTEM WITH APPLICABLE BUILDING AND ELECTRIC CODES.
- INSTALL FINAL POLE AND LUMINAIRE LOCATIONS AS NECESSARY TO ENSURE THAT ALL PHOTOGRAPHIC DESIGN REQUIREMENTS WILL BE MET.
- ALL FINAL POLE AND LUMINAIRE PENETRATION SHALL BE SEALED WITH METHODS AND MATERIALS APPROVED BY UL FOR THE UNDERGROUND SYSTEM.
- COORDINATE ALL LIGHTING EQUIPMENT WITH FIELD CONDITIONS. FIXTURE LOCATIONS SHOWN ARE APPROXIMATE AND MAY REQUIRE MINOR ADJUSTMENTS TO ADAPT TO THE DESIGN INTENT.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL LAMPS IN ALL LIGHTING FIXTURES.
- ALL SITE LIGHTING FIXTURES SHALL BEAR UL LIST LOCATION LABEL AND ALL HARDWARE SHALL BE CORROSION-RESISTANT.
- GROUND ALL SITE LIGHTING EQUIPMENT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE REQUIREMENTS UNDERGROUND EXIST SYSTEM.
- USE #8 WIRING AT EACH POLE LOCATION WITH FUSED CONNECTIONS. USE #8 GROUND WIRE THROUGHOUT UNDERGROUND EXIST SYSTEM.
- PROVIDE NEHA 3R, 30 AMP, SINGLE POLE NON-FUSED DISCONNECT SWITCH FOR EMERGENCY CUT OFF.

**ADDITIONAL NOTE:**

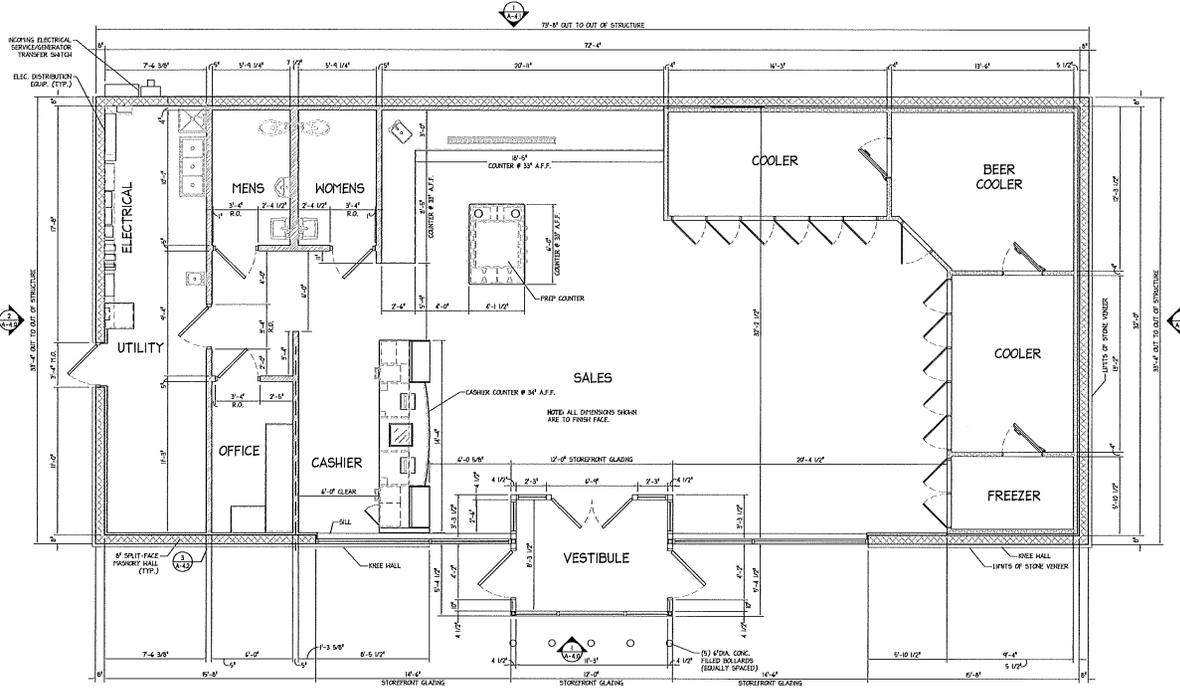
- THIS PLAN REFERENCES CIVIL DRAWINGS PREPARED BY ETL JACKSONVILLE FL, TITLED: SUNOCO 0696-4746, 460 S. ATLANTIC AVENUE, CITY OF OCNARD BEACH, FLORIDA.

STATE ROAD NO. A-1-A - ATLANTIC AVENUE (90' PUBLIC R/W/FOOT)

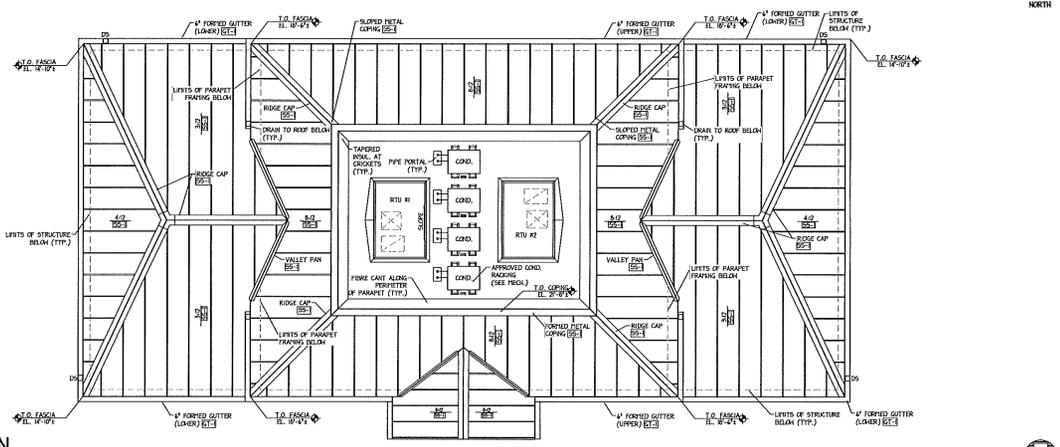
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
[Symbol]	3	A	SINGLE	XAM3-FT-LED-119-350-CW-UE-S-16"POLE+2' BASE	1.000	N.A.	10028	138
[Symbol]	3	B	SINGLE	XAWS3-FT-LED-63-350-CW-UE 10' MT HGT	1.000	N.A.	5201	75
[Symbol]	18	C	SINGLE	CRS-SO-LED-84-SS-CW-UE 15' MT HGT	1.000	N.A.	10747	97
[Symbol]	12	D	SINGLE	WIN-50-MH 12' MT HGT	0.550	3450	2650	69
[Symbol]	17	E	SINGLE	8WF-1HO-O 16' MT HGT	1.000	6100	4712	118

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	ILLUMINANCE	Fc	4.41	59.7	0.0	N.A.	N.A.
CANOPY	ILLUMINANCE	Fc	45.93	59.7	24.6	1.87	2.43
INSIDE CURB	ILLUMINANCE	Fc	10.50	36.6	1.6	6.56	22.88

<b>Geotechnical Consulting</b> Engineers & Architectural, Inc.		SUNOCO, INC.	
1700 N. Irving Road, Altamonte, FL 32710 Phone: 407-834-2700, Fax: 407-834-7700		784 A.C. Blinn Parkway Jacksonville, FL 32256	
COL # 0689726	www.geotechnical.com	COL # 124824	
CLIENT: FIRST COAST ENERGY CORP.		PROJECT NO.	
LOCATION: 460 S. ATLANTIC AVE.			
CITY OF OCNARD BEACH			
VOLusia COUNTY, FLORIDA			
<b>LIGHTING PLAN</b>			
DATE: 1/18/2011	ISSUED BY: 0696-4746	REVISION: LT-0.1	SCALE: 0



**1 DIMENSIONAL FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**2 ROOF PLAN**  
SCALE: 3/8\"/>

A-PLUS FACILITY SUMMARY	
<b>BUILDING SUMMARY</b>	
STATE:	STATE OF FLORIDA
COUNTY:	VOLUSIA
MUNICIPALITY:	ORLANDO BEACH
OCCUPANCY GROUP:	MERCANTILE
OCCUPANT LOAD:	51
CONSTRUCTION TYPE:	VI
BUILDING AREA:	2,456 s.f. (Footprint)
	2,211 s.f. (Gross Floor Area)
<b>APPLICABLE CODES</b>	
2010 FLORIDA BUILDING CODE	
2010 FLORIDA MECHANICAL CODE	
2010 FLORIDA PLUMBING CODE	
2010 FLORIDA FIRE-RESISTANCE CODE	
2010 FLORIDA FIRE PREVENTION CODE	
ASCE 7-10	
IFBC CHAPTER 63-761 (COUNTY-SPECIFIC CODE)	
2003 IBC	
2003 IFBC	
2003 IFBC AS 4 & 5	
FLORIDA ENERGY CONSERVATION CODE	
FLORIDA ACCESSIBILITY CODE	
<b>ALLOWABLE BUILDING HEIGHTS AND AREA</b>	
ALLOWABLE AREA	12,500 SF
ACTUAL AREA (GROSS)	2,211 SF
HEIGHT ALLOWABLE	3 STORY
HEIGHT ACTUAL	1 STORY
<b>LOADING</b>	
WIND SPEED:	133 MPH
LINE-LOAD ROOF:	30 PSF
LINE-LOAD FLOOR:	100 PSF
DESIGN PRESSURE FOR DOOR & GLAZING SYSTEMS:	+0.2/-54 PSF
<b>OCCUPANT LOAD</b>	
SALES	1,240 SF / 30 SF = 43 OCCUPANTS
UTILITY/WALK IN COOLER	688 SF / 300 SF = 3 OCCUPANTS
OFFICE	87 SF / 100 SF = 1 OCCUPANTS
RESTROOM	116 SF / 1,100 OCC = 2 OCCUPANTS
TOTAL	2,211 SF 51 OCCUPANTS

CLIENT DATA

**Cornerstone**  
Consulting Engineers & Architectural, Inc.

1170 N. Irving Street, Altamonte Springs, FL 32714  
Phone: 407.246.1100  
Fax: 407.246.1101  
www.cornerstonea.com

Project: A-Plus  
Location: Orlando, FL  
Florida Business License # FD 700600027

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONCEPTS	08-21-12
2	ISSUED FOR CONCEPTS	08-21-12
3	ISSUED FOR CONCEPTS	08-21-12
4	ISSUED FOR CONCEPTS	12-04-12
5	ISSUED FOR CONCEPTS	12-04-12

PROJECT LOCATION

PROPOSED A-PLUS FACILITY

DMS # 006-4746  
460 S. ATLANTIC AVE.  
ORLANDO BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

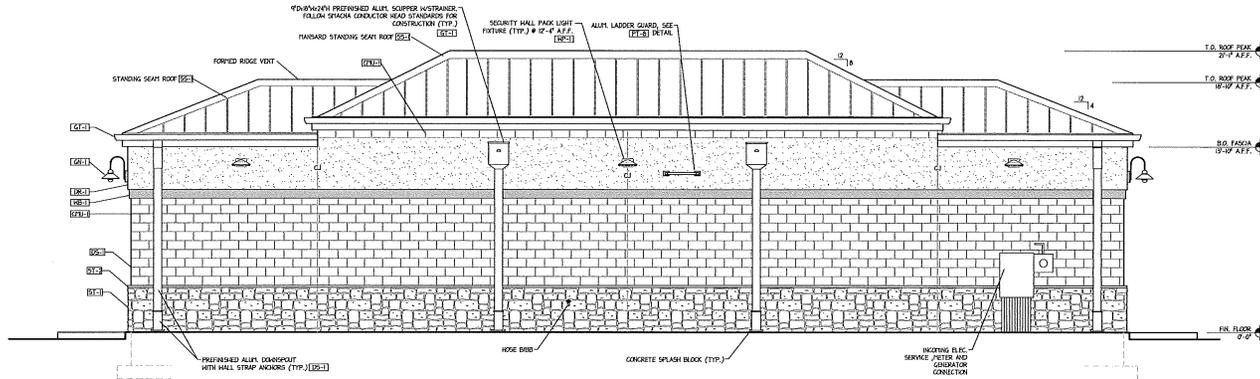
TITLE

FLOOR & ROOF PLANS

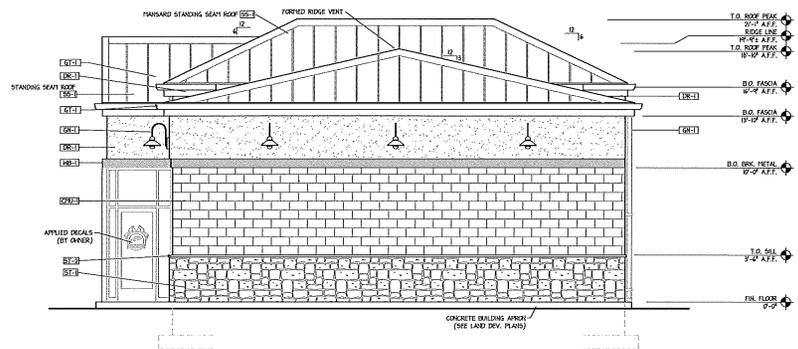
PROJ #	ISSUED	DATE
CAD ID	1/20/12	08/21/12
SCALE	NOTED	CHK BY

A-1.0  
REVISION 2





**1 SOUTHERN EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"



**2 WESTERN EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0"

**EXTERIOR FINISH SCHEDULE**

KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
001A	Substrate	Wetok Control	White	1/2" x 1/2" Grid	Exterior Wall	409-789-1100   www.wetok.com
001B	Substrate	Wetok Control	White	1/2" x 1/2" Grid	Exterior Wall	409-789-1100   www.wetok.com
002	Paint	Benjamin Moore	White	1/2" x 1/2" Grid	Exterior Wall	800-451-7263   www.benjaminmoore.com
003	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
004	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
005	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
006	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
007	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
008	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
009	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
010	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
011	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
012	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
013	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
014	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
015	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
016	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
017	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
018	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
019	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com
020	Roofing	AT&T	White	1/2" x 1/2" Grid	Roofing	800-451-7263   www.benjaminmoore.com



**A-Plus**  
Consulting Engineers & Architects, Inc.  
1176 N. Irving Street, Altamonte, FL 32709  
Phone: 407.352.4400  
www.a-plus-engineers.com  
Philadelphia Region  
Lehigh Valley Region  
Piedmont Region  
215-945-5500  
FLORIDA BUSINESS LICENSE # FO 708600027

NO.	DATE	DESCRIPTION	BY	CHKD.
1	01/15/24	ISSUED FOR CONSTRUCTION	JL	MS
2	01/15/24	ISSUED FOR CONSTRUCTION	JL	MS
3	01/15/24	ISSUED FOR CONSTRUCTION	JL	MS
4	01/15/24	ISSUED FOR CONSTRUCTION	JL	MS
5	01/15/24	ISSUED FOR CONSTRUCTION	JL	MS

**PROJECT LOCATION**  
PROPOSED  
A-PLUS FACILITY  
DMS # 008-4746  
40 S. ATLANTIC AVE.  
ORLAND BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

**TITLE**  
EXTERIOR ELEVATIONS

PROJ.#	15-0754	DATE	8-01-22
CAD BY	1502444	DEN BY	CFD
SCALE	NOTED	CHK BY	MSH

A-4.1

REVISION 4

CLIENT DATA



**A Cornerstone**  
 Consulting Engineers & Architectural, Inc.  
 1176 N. Irving Blvd., Suite 101  
 Pompano Beach, FL 33062  
 Phone: 954-781-4000  
 Fax: 954-781-4001  
 www.cornerstoneinc.com  
 LEED Accredited  
 Florida Business License # FC 0700000627

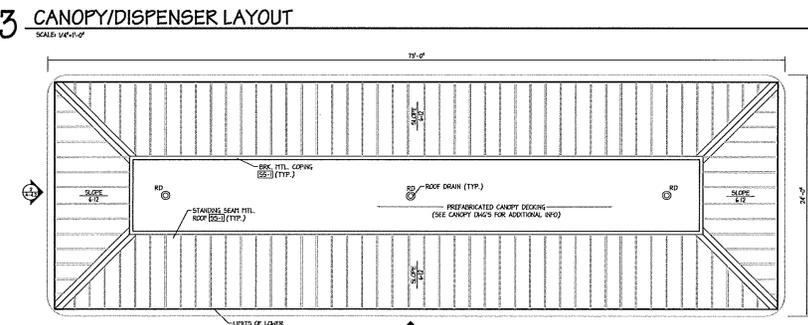
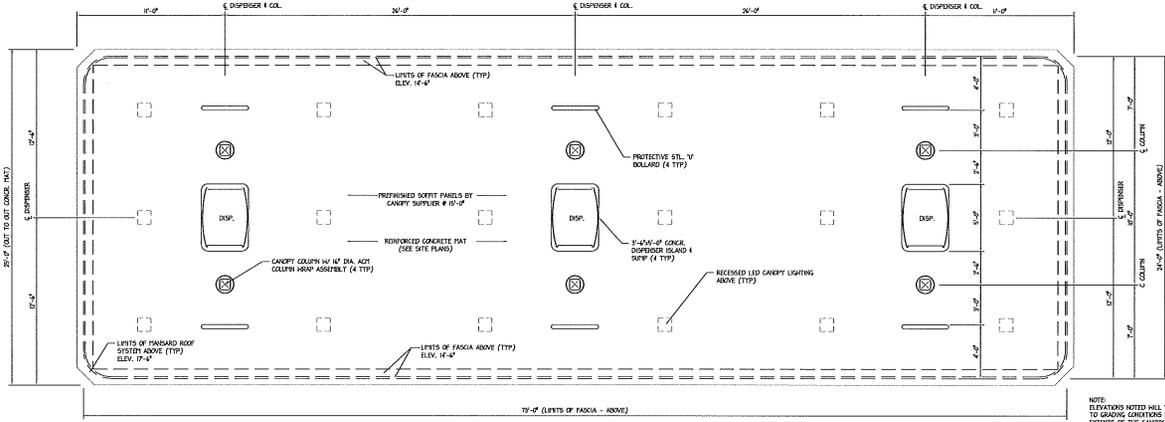
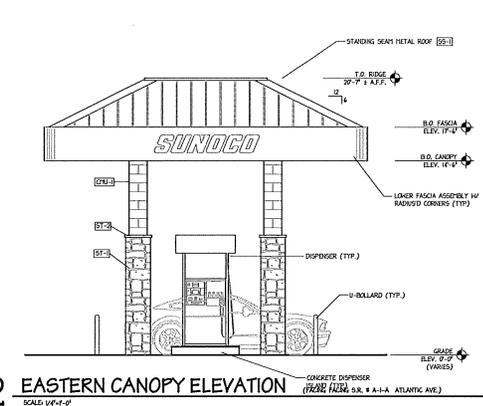
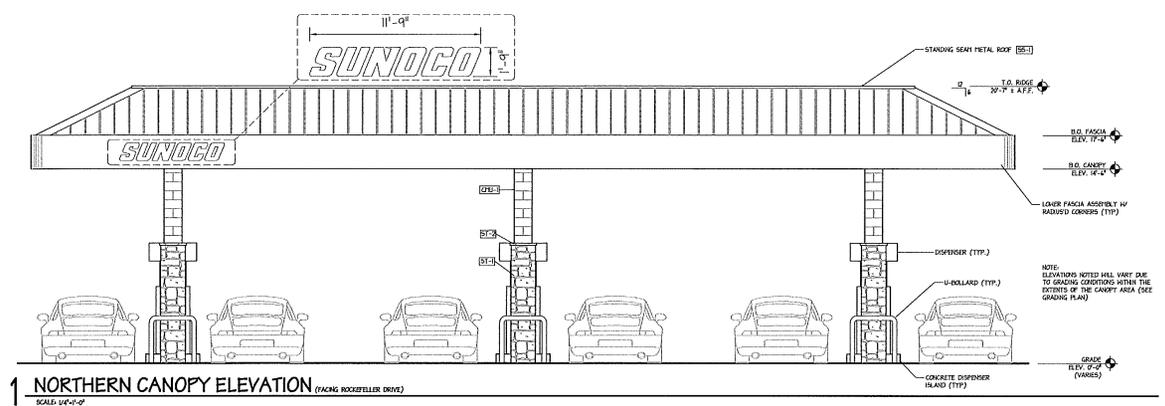
NO.	BY	DESCRIPTION	DATE
1	AK	ISSUED FOR PERMITS	08/25/22
2	AK	REVISIONS FOR COMMENTS	09/02/22
3	AK	ISSUED FOR CONSTRUCTION	09/02/22
4	AK	REVISIONS FOR COMMENTS	11/20/22
5	AK	REVISIONS FOR COMMENTS	12/04/22

PROJECT LOCATION  
 PROPOSED  
 A-PLUS FACILITY  
 DMS # 0056-4746  
 400 S. ATLANTIC AVE.  
 ORLAND BEACH  
 VOLUSIA COUNTY  
 STATE OF FLORIDA

TITLE  
 CANOPY ELEVATIONS  
 AND PLANS

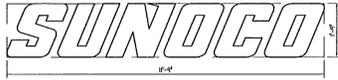
PROJ #	17-0054	DATE	8/05/22
CAD BY	12227A/AD	DRAWN BY	RES
SCALE	NOTED	CHECK BY	MWM

A-4.2  
 REVISION 2

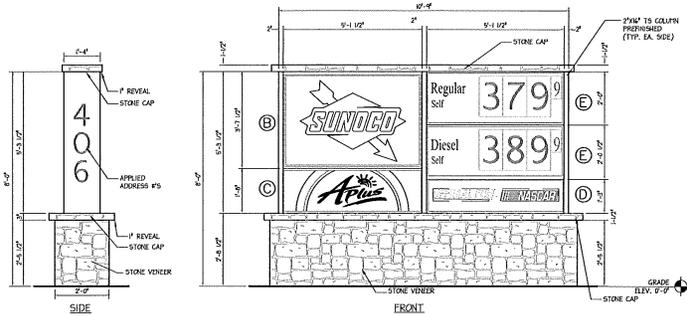


**4 CANOPY ROOF PLAN**  
 SCALE: 5/8\"/>

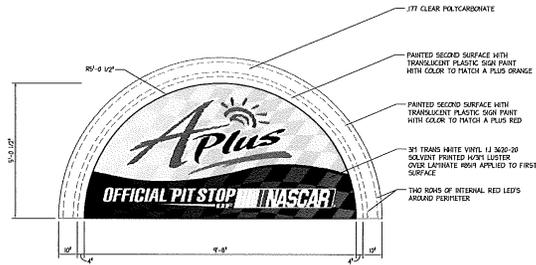




**1 CANOPY SUNOCO LOGO** (A)  
SCALE: 1/2"=1'-0"

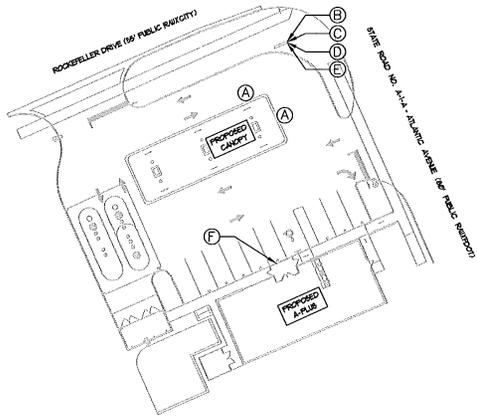


**2 MONUMENT SIGN ELEVATIONS** (B)(C)(D)(E)  
SCALE: 1/4"=1'-0"



**3 BUILDING ARCH ELEVATION** (F)  
SCALE: 1/4"=1'-0"

SIGNAGE TABLE				
<b>CANOPY</b>				
MARK	DESCRIPTION	AREA	QTY.	TOTAL
(A)	SUNOCO LOGO	2056	2	4112
<b>SUB-TOTAL</b>				4112
<b>MONUMENT SIGN</b>				
MARK	DESCRIPTION	AREA	QTY.	TOTAL
(B)	SUNOCO DIAMOND	1851	1	1851
(C)	A-PLUS LOGO	86	1	86
(D)	OPN LOGO	6.44	1	6.44
(E)	PRICE PLACARD	10.16	2	20.32
<b>SUB-TOTAL</b>				5381
<b>BUILDING-MOUNTED SIGNAGE</b>				
MARK	DESCRIPTION	AREA	QTY.	TOTAL
(F)	A-PLUS ARCH SIGNAGE	3552	1	3552
<b>SUB-TOTAL</b>				3552



**4 SIGNAGE SCHEMATIC PLAN** (A)(B)(C)(D)(E)(F)  
SCALE: 1/8"=1'-0"

CLIENT DATA

**A Cornerstone**  
Consulting Engineers & Architectural, Inc.  
1177 N. Irving Street, Altamonte Beach, FL 32710  
Phone: 407.250.8200 Fax: 407.250.7706  
www.cornerstonea.com  
Landscape Region  
215.928.2600  
3700 N. 17th St.  
Tampa, FL 33613  
FLORIDA BUSINESS LICENSE # FO 706000027

NO.	REVISIONS	DATE	BY	CHKD.
1	ISSUED FOR CONSIDER			
2	REVISION FOR COMMENTS			
3	ISSUED FOR CONSIDER			
4	REVISION FOR COMMENTS			
5	ISSUED FOR CONSIDER			
6	REVISION FOR COMMENTS			
7	ISSUED FOR CONSIDER			
8	REVISION FOR COMMENTS			
9	ISSUED FOR CONSIDER			
10	REVISION FOR COMMENTS			

**PROJECT LOCATION**  
PROPOSED  
A-PLUS FACILITY  
DMS # 004-4746  
40 S. ATLANTIC AVE.  
ORLAND BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

**TITLE**  
SIGNAGE PLACEMENT  
DETAILS

PROJ.#	12024	DATE	4-13-12
CAD.#	1202402	DRAWN BY	CRD
SCALE	1/8"=1'-0"	CHECKED BY	MNS

SG-2.0  
REVISION 1



1 EXTERIOR PERSPECTIVE  
SCALE: N/A

CLIENT DATA



**A Cornerstone**  
Consulting Engineers & Architectural, Inc.

1176 N. Irving Street, Altamonte, FL 32709  
Phone: 407.850.1000  
www.cornerstonea-plus.com  
2154460000  
Florida Business License # FD 700000027

NO.	BY	DESCRIPTION	DATE
1	1	ISSUED FOR CONSTRUCTION	11/20/14
2	1	ISSUED FOR CONSTRUCTION	11/20/14
3	1	ISSUED FOR CONSTRUCTION	11/20/14
4	1	ISSUED FOR CONSTRUCTION	11/20/14
5	1	ISSUED FOR CONSTRUCTION	11/20/14
6	1	ISSUED FOR CONSTRUCTION	11/20/14
7	1	ISSUED FOR CONSTRUCTION	11/20/14
8	1	ISSUED FOR CONSTRUCTION	11/20/14
9	1	ISSUED FOR CONSTRUCTION	11/20/14
10	1	ISSUED FOR CONSTRUCTION	11/20/14

PROJECT LOCATION

PROPOSED  
A-PLUS FACILITY  
DWS # 096-4746  
460 S. ATLANTIC AVE.  
ORLANDO BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

TITLE

EXTERIOR PERSPECTIVE

PROJ. #	15-0034	DATE	11/05/14
DATE BY	11/20/14	11/20/14	11/20/14
SCALE	AS SHOWN	AS SHOWN	AS SHOWN
EP-1.0			
REVISION #			



1 EXTERIOR PERSPECTIVE  
SCALE: N/A

CLIENT DATA  
*A-Plus*

**A-Cornerstone**  
Consulting Engineers & Architectural, Inc.  
1176 N. Irving Street, Altamonte Springs, FL 32714  
Phone: 407-255-9916  
www.cornerstonedesign.com  
Palm Beach, FL 33480  
255-363-3600  
Florida Business License # FO 700000027

REVISIONS	
NO.	DESCRIPTION
1	REVISED PER OWNER COMMENTS
2	REVISED PER OWNER COMMENTS
3	REVISED PER OWNER COMMENTS
4	REVISED PER OWNER COMMENTS
5	REVISED PER OWNER COMMENTS
6	REVISED PER OWNER COMMENTS
7	REVISED PER OWNER COMMENTS
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14	REVISED PER OWNER COMMENTS
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16	REVISED PER OWNER COMMENTS
17	REVISED PER OWNER COMMENTS
18	REVISED PER OWNER COMMENTS
19	REVISED PER OWNER COMMENTS
20	REVISED PER OWNER COMMENTS

PROJECT LOCATION  
PROPOSED  
A-PLUS FACILITY  
DIMS # 096-4746  
460 S. ATLANTIC AVE.  
ORLANDO BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

TITLE  
EXTERIOR PERSPECTIVE

PROJ #	124274	DATE	8/10/11
CAD DR	12074871	CHK DR	CSJ
SCALE	AS SHOWN	DATE	8/10/11
EP-2.0			
REVISION #			



1 EXTERIOR PERSPECTIVE  
SCALE: NONE

CLIENT DATA



**A Cornerstone**  
Consulting Engineers & Architectural, Inc.

1176 N. Irving Street, Allentown, PA 18109  
www.cornerstoneinc.com  
Phone: 610-420-4200 Fax: 610-420-3706  
Philadelphia Region  
215-363-2008  
610-420-4200  
P.O. Box 1770  
FLORIDA BUSINESS LICENSE # FO 700000027

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
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PROJECT LOCATION

PROPOSED  
A-PLUS FACILITY  
DUNS # 096-4746  
400 S. ATLANTIC AVE.  
ORLANDO BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

TITLE

EXTERIOR PERSPECTIVE

PROJ #	DATE	BY	CHKD BY
CAD #	DATE	BY	CHKD BY
SCALE	DATE	CHK BY	DATE
EP-3.0			
REVISION #			



1 EXTERIOR PERSPECTIVE  
SCALE: NONE

CLIENT DATA



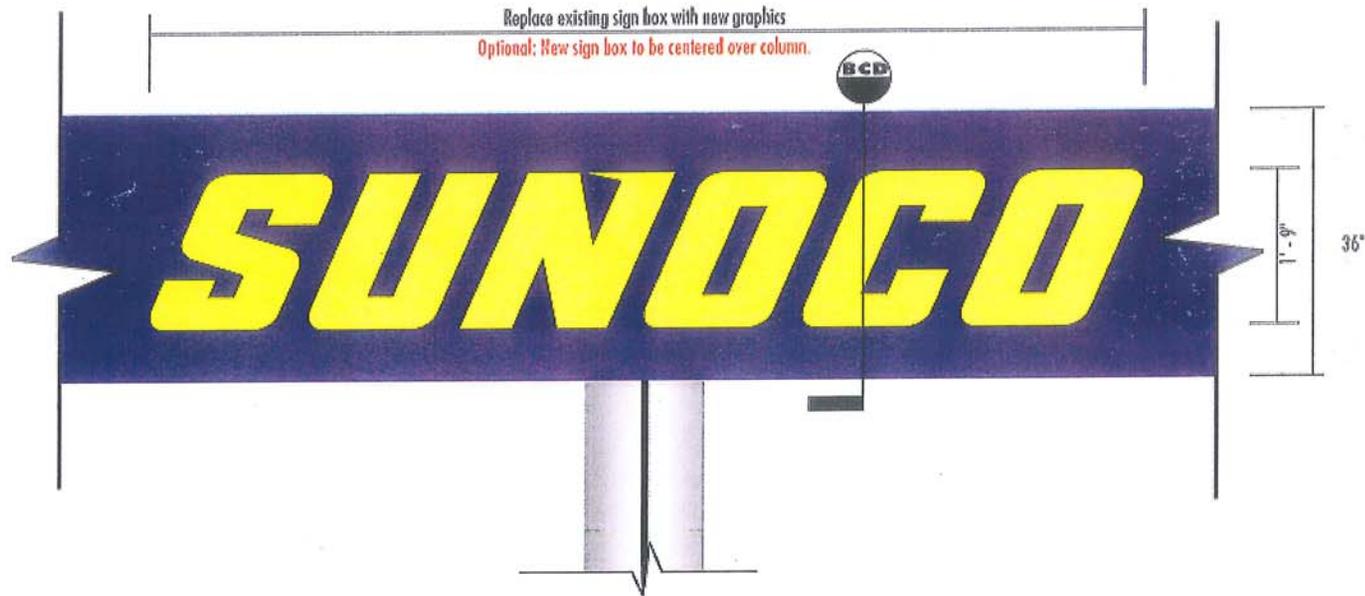
**Cornerstone**  
Consulting Engineers & Architectural, Inc.  
1174 N. Irving Street, Altamonte Springs, FL 32710  
Phone: 407.620.8200 Fax: 407.620.7700  
www.cornerstoneaia.com  
Landscape Registration # 1000000027  
Professional Registration # 215-362-2600  
Professional Registration # 215-362-2600  
FLORIDA BUSINESS LICENSE # FO 700000027

NO.	DATE	DESCRIPTION	BY	CHKD.
1.	02/01/2011	ISSUED FOR CONSTRUCTION		
2.	02/01/2011	REVISED FOR CONSTRUCTION		
3.	02/01/2011	REVISED FOR CONSTRUCTION		
4.	02/01/2011	REVISED FOR CONSTRUCTION		
5.	02/01/2011	REVISED FOR CONSTRUCTION		
6.	02/01/2011	REVISED FOR CONSTRUCTION		

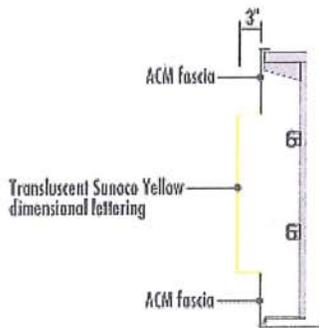
PROJECT LOCATION  
PROPOSED  
A-PLUS FACILITY  
8205 N. OAK ST  
460 S. ATLANTIC AVE.  
ORLANDO BEACH  
VOLUSIA COUNTY  
STATE OF FLORIDA

TITLE  
EXTERIOR PERSPECTIVE

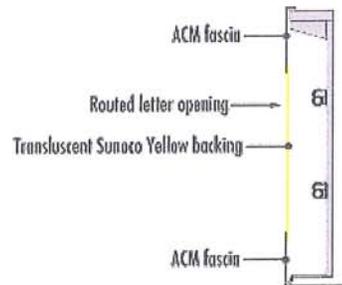
PROJECT NO.	02074	DATE	04-02
CAD DR.	CONSTRUCTION	ISSUED BY	CRD
SCALE	AS SHOWN	DATE	04/02
EP-4.0			
REVISION #			



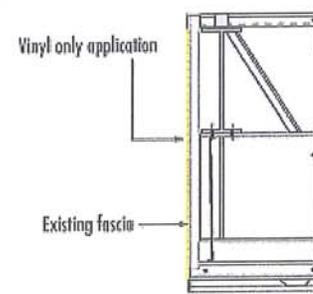
**A** FRONT ELEVATION - LOGOTYPE  
Scale: 3/4" = 1' x 0"



**B** SECTION - PUSH-THROUGH LETTERING  
Scale: NTS



**C** SECTION - ROUTED-OUT FACE  
Scale: NTS



**D** SECTION - NON-ILLUMINATED FASCIA  
Scale: NTS

ARTWORK TO BE PROVIDED  
BY CLIENT VIA COMPUTER FILE

5/31/98 **1.7**  
SUNOCO  
Exterior Signage Panel  
CAMPBELL ESCORT 011AL

Revision

**DESIGN INTENT ONLY  
NOT FOR FABRICATION**  
These drawings are for the  
sole purpose of preparing a  
visual design to be finally  
and cost effectively  
actualized for project.





NOTE: STONE BASE SUPPLIED BY OTHER CONTRACTORS

84.62 Sq. Ft. Total w/ Sign Base  
 19.92 Sq. Ft. Price Board  
 64.70 Sq. Ft. Total w/out Price Board

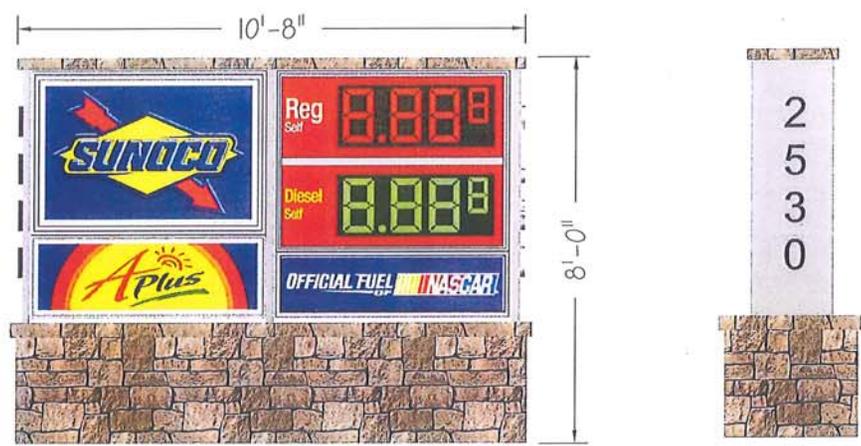


**DISCLAIMER:** Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings.  
 These drawings and designs are the exclusive property of Everbrite, LLC Use of, or duplication in any manner without express written permission of Everbrite, LLC is prohibited.

Customer: SUNOCO		Description: 5' System 2 Product LumiDigit2 Monument Sign	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer.
Project No: 286308-2	Scale: 3/8"=1'-0"		
Date: 9/13/12	Drawn By: CH	Revised:	Please read carefully, check appropriate box and fax back to Everbrite: <input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New sketch required
Location & Site No:		Revised:	
		Revised:	
		SIGNATURE	DATE



1 MONUMENT SIGN PERSPECTIVE  
SCALE: 1/8"=1'-0"



2 MONUMENT SIGN FRONT  
SCALE: 1/8"=1'-0"

3 MONUMENT SIGN SIDE  
SCALE: 1/8"=1'-0"



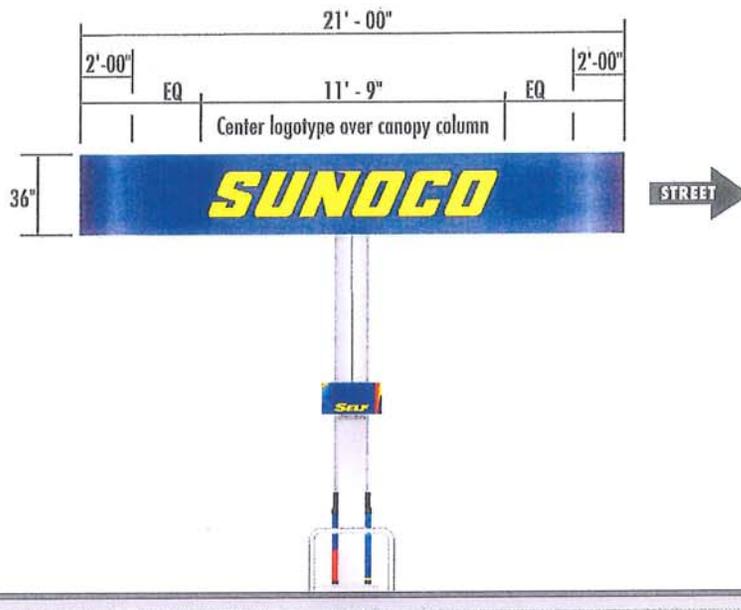
**D** LEFT SIDE ELEVATION - PERMIT STYLE 4  
Scale: 3/16" = 1' - 0"

\* PERMIT STYLE 4 DELETES THE FLAG GRAPHIC, OFN GRAPHIC, AND HORIZON DECALS \*

Revision  
1/9/06

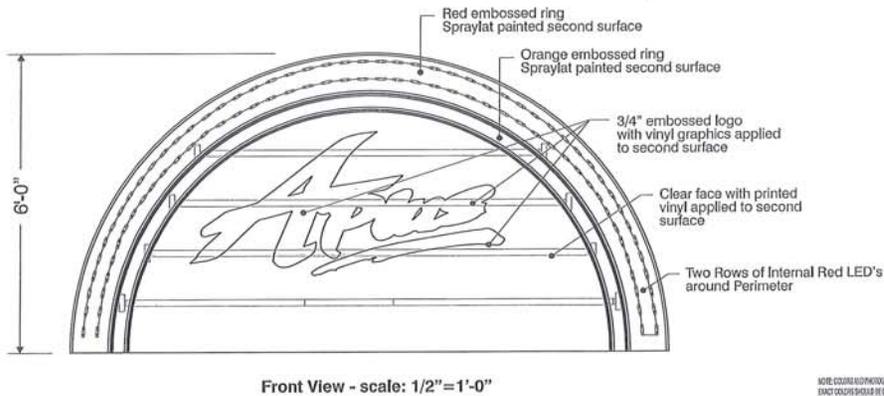
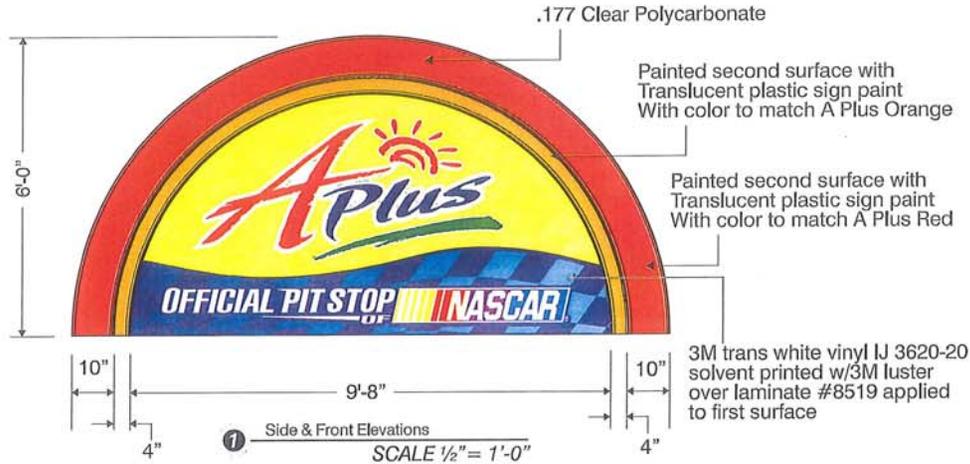
**DESIGN INTENT ONLY  
NOT FOR FABRICATION**  
These drawings are for the  
sole purpose of expressing  
visual design intent only  
and are not intended for  
actual fabrication purposes.





**B** LEFT SIDE ELEVATION  
 Scale: 3/16" = 1' - 0"

MANUFACTURE: ONE (1) 12ft Illuminated Arch / formed face with embossed graphics



12' - ARCH SPEC 56.52 Sq. Ft.

REV	DATE	DESCRIPTION	INT

**Pro Sign SPECIFICATIONS**

- VACUUM FORMED FACE
- MANUFACTURE (1) ONE 6'-0" H X 12'-0" W VACUUM FORMED ARCH FACE
  - CREATE NEW MOLD TO VACUUM FORM .177" CLEAR POLYCARBONATE
  - PAINT SECOND SURFACE OUT RINGS WITH TRANSLUCENT PLASTIC SIGN PAINT WITH COLOR TO MATCH APLUS ORANGE & APLUS RED
  - SOLVENT PRINT ONTO 3M TRANS WHITE VINYL IJ-3620-20 & APPLY 3M LUSTER OVER LAMINATE #8519 TO FIRST SURFACE
  - ATTACH TO CABINET WITH SCREWS AROUND THE PERIMETER

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PRODUCTION DETAIL

NOTE: COLORS AND PHOTOGRAPHIC REPRESENTATIONS OF THESE COLORS ARE FOR REFERENCE ONLY. EXACT COLORS SHOULD BE OBTAINED BY VISUAL COLOR MATCHING TO THE ORIGINAL COLOR SAMPLES SUPPLIED BY THE CLIENT.

Paintcode 388C Sunoco Blue	Paintcode 180C Sunoco Red	Paintcode 180C Sunoco Yellow	Paintcode 141C A Plus Orange
Paintcode 180C NASCAR Blue	Paintcode 180C NASCAR Red	Paintcode 180C NASCAR Yellow	Paintcode 181C NASCAR Purple



FILE INFO. Drawing by: TKay

CDR: Z:\BUNDOCD\2012\Sign\12ft Arch\12ft Arch.dwg  
 P:\RLE\2012\Design\12ft Arch\12ft Arch.dwg

FS: \_\_\_\_\_  
 EPS: \_\_\_\_\_

DATE: 05.03.12



NOTE: COLORS AND PHOTOGRAPHIC REPRESENTATIONS OF THESE COLORS ARE FOR REFERENCE ONLY. EXACT COLORS SHOULD BE OBTAINED BY VISUAL COLOR MATCHING TO THE ORIGINAL COLOR SAMPLES SUPPLIED BY THE CLIENT.

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Phone: 610.518.5881  
 Fax: 610.518.5244  
 E-MAIL: info@prosign.net

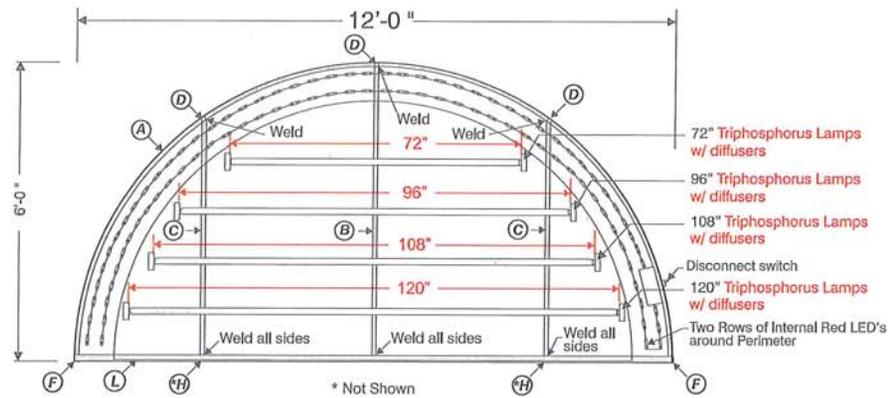
251 Boot Rd.  
 Downingtown, Pa. 19335



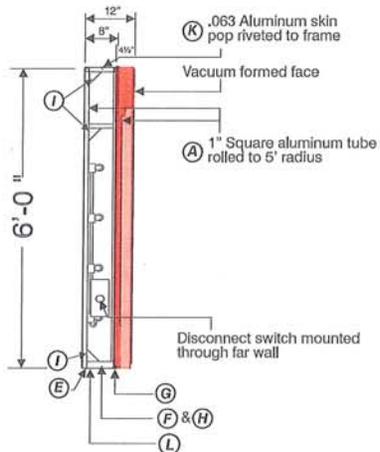
CUSTOMER	Sunoco	JOB NAME	12ft Arch design	LOCATION	
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Phone: 610.518.6881  
 Fax: 610.518.5244  
 E-MAIL: info@prosign.net

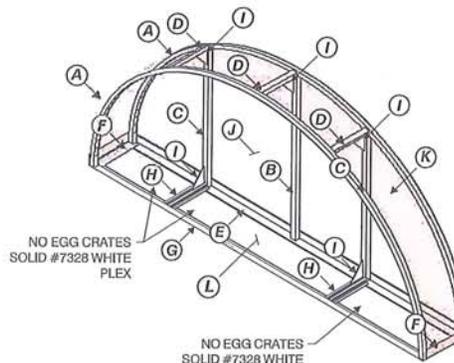
251 Boot Rd.  
 Downingtown, Pa. 19335  
 www.prosign.net



1 Front Elevation  
 SCALE 1/2" = 1'-0"



2 Side Elevation  
 SCALE 1/2" = 1'-0"



3 Construction Perspective  
 NTS

NOTE: CONSULT ARCHITECT'S RECOMMENDATIONS TO THE STRUCTURE. REFER TO ALL DRAWINGS FOR DIMENSIONS. THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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12' - ARCH SPEC

REV	DATE	DESCRIPTION	BY

pro SPECIFICATIONS  
 ILLUMINATED SIGN BOX

- MANUFACTURE (1) ONE 6'-0" X 12'-0" W ILLUMINATED ARCH SIGN CABINET
- FABRICATE FRAME FROM 1" X 1" SQUARE TUBE, 1 1/2" X 1 1/2" ANGLE, & DOUBLE T EXTRUSION AS PER DRAWING
- WELD VERTICAL 1" SQUARE TUBE SUPPORTS AS PER DRAWING
- SUPPORT VERTICAL SUPPORTS WITH 3" X 3" .125 MIL ALUMINUM CUSSETS
- POP RIVET .063 SURFLOO RED ALUMINUM SKIN TO FRAME
- POP RIVET .040 WHITE/WHITE ALUMINUM SHEET AS BACKER
- POP RIVET .063 WHITE/WHITE ALUMINUM BOTTOM SIGN TO FRAME
- ATTACH VACUUM FORMED FACE WITH SCREWS AROUND THE PERIMETER

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1 QUANTITY NEEDED

- A 2 1"x1" Square Tube Length 7/8" cut R C
- B 1 1"x1" Square Tube Length 7/8" cut R C
- C 2 1"x1" Square Tube Length 7/8" cut R C
- D 3 1"x1" Square Tube Length 7/8" cut 90° 90°
- E 1 1 1/2"x1 1/2" Angle Length 8" angle cut 90° 90°
- F 2 1 1/2"x1 1/2" Angle Length 8" angle cut 90° 90°
- G 1 1"x1" Angle Length 7" angle cut 90° 90°
- H 2 Double T Length 7 1/4" angle cut 90° 90°
- I 5 Aluminum Cussets 3" X 3" .125 MIL Aluminum
- J 2 Aluminum Sign Backing 5' X 17' .040 Aluminum White/White
- K 1 .063 Skin Sunoco Red Aluminum
- L 3 .063 Aluminum Bottom Skin



FILE INFO. Drawing by: T.Kay

CDR: Z:\SUNOCO\2009\12Arch\12Arch.dwg

FR: P:\FR\10215\12Arch.dwg

EPS:

REVISIONS:

WGL # P\TR\10215

DATE 05.03.12



CUSTOMER	Sunoco	JOB NAME	12ft Arch design	LOCATION	
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**City of Ormond Beach Commercial Development Report - January 3, 2013**

Applications, site plans, and public hearing documents may be viewed at the Planning Department website: <http://fl-ormondbeach.civicplus.com/index.aspx?NID=247>

#	Project	Description	Applica-tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commis-sion	Final Approval	DO Expiration	LDC Extension Expiration	2009 SB Expiration	SB 2156 Expiration	HB 7207 Expiration	Building Permit Info	Building Permit Value	Eng. Permit	Clearing Permit	Under Construct-ion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant		
1	<b>146 NORTH ORCHARD STREET</b> 146 North Orchard Street 12-134	Rezoning from B-1 to I-1, consistent with recently amended Industrial land use	08.22.12	No SPRC review					10.11.12	12.04.12 & 01.08.13													A = Clinton Baylor O = Pat Baylor		
2	<b>400 CLYDE MORRIS BOULVERARD</b> 400 Clyde Morris Boulevard 07-1240	Minor Modification to approved site plan for 2 office buildings (9,384 and 7,671 SF)	12.26.07	01.16.08	04.01.08				NA	NA	06.19.08	06.19.10	06.19.11	06.19.13	NA	06.14.15	Not Applied							E = Harpster Engineering O = Ormond Medical Arts ARC = BPF Design	
3	<b>AMERICAN LEGION - POST 267</b> 1142 North US Highway 1 11-105	Redevelop existing building into an American Legion, including building and site improvements	08.23.11	09.06.11	11.01.11	03.13.12					04.05.12	04.05.14												O = American Legion, Post 267 E = Daniel Johns, P.E. ARC = Stan Holle	
4	<b>ANDY ROMANO OCEANFRONT PARK</b> 839 South Atlantic Avenue 12-01	Construct public oceanfront park including parking, stormwater, recreational amenities, and landscaping.	10.04.11	10.18.11	01.24.12				11.10.11 Approved	02.07.12 & 02.21.12	03.21.12	Under Const.					Issued 05.24.12	\$1,295,170	Issued 05.24.12	Issued 05.24.12	65%			E = Zev Cohen and Associates, Inc. O = City of Ormond Beach ARC = DJ Designs, Inc.	
5	<b>ATLANTIC CENTRAL ENTERPRISES</b> 14 West Tower Circle 08-25000008	New 26,500 +/- SF Industrial Warehouse/Office	04.08.08	04.22.08	06.10.08				NA	NA	07.03.08	07.03.10	None	07.03.12	NA	07.03.14	Not Applied							O = Atlantic Central Enterprises A = Steve Traulson E = W.A. Cross Engineering, Inc	
6	<b>BETNR HANGERS @ OB AIRPORT</b> 85 Hanger Way 10-00000036	Phased construction of three buildings (1: 1,000 SF office, 5,300 SF manufacturing, 6,300 SF hanger) (2: 1,600 SF office, 10,500 SF hanger) (3: 4,800 Warehouse)	12.08.09	12.22.09	02.09.10				NA	NA	03.22.10	03.22.12				03.22.14	Not Applied							E = McKim & Creed A = BETNR ARC = BPF Design	
7	<b>BROWN/THOMPSON COMMERCIAL</b> 1287 West Granada Boulevard 08-25000037	9,225 square foot building and associated site improvements	12.01.08	12.16.08	01.04.11	06.07.11			Approved 07.14.11	Approved 09.06.2011 - Ord 11-31		DO = 09.06.16												E = Danny Johns O = Brown/Thompson ARC = Robert Hall	
8	<b>CAPITAL TELECOM</b> 610 South Yonge Street 12-69	Construct a 150 foot camouflaged telecommunications tower.	02.29.12	03.20.12	06.19.12						07.24.12	07.24.14					Issued 10.04.12	\$242,000	\$100,000		0%			E = AllPro Consulting Group O = Ormond Beach LLC, PTA - SI 908 APP = Capital Telecom	
9	<b>CAPITAL TELECOM</b> 1102 West Granada Boulevard 13-06	Construct a 150 foot camouflaged telecommunications tower.	10.16.12	10.31.12	Community meeting on 01.9.13				Required	Required														E = P. Marshall & Associates, LLC O = Shah Industries LLC A = Capital Telecom	
10	<b>CARDINAL DRIVE LIFEGUARD STATION</b> 301 Cardinal Drive 11-23	Demolish existing structure and build new lifeguard station with public restrooms and expand parking.	02.22.11	03.08.11	05.25.11				NA	NA	06.27.11	06.27.13					Issued 08.31.12	\$362,476	Issued 08.31.12	Issued 08.31.12	40%			E = Alann Engineering Group O = County of Volusia ARC = DJ Designs, Inc.	
11	<b>COURTYARD PBD</b> 135 N. US1 (between Highland and Dix) 07-1243	12,000 Square Feet Retail (Dollar General complete) and 16 MF units	01.04.08	02.04.08	12.01.08	02.17.09			04.09.09 PB	06.02 CC Ord 09-17	06.12.09	Site plan vested w/ Phase 1	Not Applied	NA	NA	PBD/PRD, ph.2 06.02.14	Not Applied								E = Daniel Johns, P.E. O = Ormond Central Market Place ARC = Richard Brookfield
12	<b>DR. BATNIJI MEDICAL CARE</b> 121 East Granada Boulevard #12-114	Redevelop site for urgent care use, expand building by 2,316 square feet, and site improvements	06.19.12	07.03.12	09.11.12	01.08.13																		E = Parker Mynchenberg & Assoc O = Dr. Batniji ARC = BPF Design	
13	<b>JIMMY JOHNS</b> 300 West Granada Boulevard 12-81	Demolition of existing on-site building and construction of new buildings and associated site improvements	04.10.12	04.25.12	05.25.12						06.18.12						Issued 08.10.12	shell = \$342,069	\$117,600 Issued	Issued 08.10.12	60%			E = Parker Mynchenberg & Assoc O = Brent Triebel ARC = Ben Butera	
14	<b>KING'S CROSSINGS CENTRE</b> 775 West Granada Boulevard 12-113	Vacant land. Construction of two story, 11,352 square foot building and associated site improvements.	06.18.12	07.03.12							07.24.12						Issued 10.19.12	\$1,123,776	\$149,008 Issued	10.19.12	50%			E = Alann Engineering Group O = Arian Development, LLC ARC = Architectural Design & Associates, Inc.	
15	<b>McNAMARA WAREHOUSE</b> 480 Andalusia Drive 11-13	4,580 square foot warehouse and associated site improvements	12.22.10	01.05.11																				E = Parker Mynchenberg & Assoc O = McNamara Construction, LLC ARC = Stan Hoelle	

\* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

Applications, site plans, and public hearing documents may be viewed at the Planning Department website: <http://fl-ormondbeach.civicplus.com/index.aspx?NID=247>

#	Project	Description	Applica- tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commis- sion	Final Approval	DO Expiration	LDC Extension Expiration	2009 SB Expiration	SB 2156 Expiration	HB 7207 Expiration	Building Permit Info	Building Permit Value	Eng. Permit	Clearing Permit	Under Construct ion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
16	<b>NORTH ORCHARD CENTER</b> 150 North Orchard Street 07-1167	New 7,400 SF office (2,000SF), warehouse (10 units) and mini- storage (218 units)	05.14.07	06.06.07	08.29.07	11.14.07	01.02.08		PB 01.10.08 APP (6-0)	CC 03.04.08 Ord 08-09	04.08.08	04.08.10	04.07.11	04.07.13		Site plan 04.07.13 PBD 03.04.15	Not Applied						E = Alann Engineering Group O = Brian Share
17	<b>NOVA BANK</b> 115 North Nova Road 07-1200	1,800 SF Bank	08.29.07	09.12.07	10.24.07	12.05.07			NA	NA	01.08.08	01.09.10	01.09.11	01.09.12		01.19.14	In Review	\$163,765	\$112,876 11.01.12 issued		0%		E = Alann Engineering Group O = Paul F. Holub, Jr. ARC = BPF Design
18	<b>ORMOND CROSSINGS PMUD</b> 100 Ormond Crossings Boulevard 10-134	Master Development Plan zoning document for Ormond Crossings project (no site plan approval)	08.16.10	09.02.10	11.28.11				Discussion 06.18.12													O = Tomoka Holdings LLC A = Tomoka Holdings LLC	
19	<b>ORMOND GRANDE</b> 1255 North US1 10-0000006	New 4,800 SF industrial and 60 townhomes (see residential report)	10.13.09	10.27.09	01.05.10				Not required	Not Required	01.12.10	01.12.12	None	NA	NA	01.12.14	Not Applied						E = Parker Mynchenberg & Assoc O/A = Ormond Grande LLC
20	<b>PRINCE OF PEACE - SOCIAL SERVICE</b> 600 South Nova Road 10-0000007	12,160 square foot new building for Church thrift shop, meeting area, offices, and food pantry	11.03.09	11.17.09 (concept)	12.29.09				04.08.10	05.18.10			05.14.13 (Special Exception)										E - Alann Engineering O = Prince of Peace ARC = DJ Designs
21	<b>RIVERBEND CHURCH EXPANSION</b> 2080 West Granada Boulevard 09-2500008	Site improvements and utility connect in association with expansion in Daytona Beach	09.08.09	09.22.09	01.18.11				NA	NA	07.13.11	Under Constr.					\$515,034	Issued 11.09.11	X	30%		E = Mark Dowst & Associates O = Riverbend Church	
22	<b>ROOT COMMERCE PARK</b> 900 North US Highway 1 06-4-1107	New 99,000 SF (49,200 office) and warehouse in 5 buildings on 12.48 acres	04.26.06	05.18.06	08.17.06	10.12.06	12.07.06		PB 11.09.06 A (5-0)	02.20.07- CC Ord 07-04	06.27.08	06.27.10	06.06.11	06.06.13	NA	Zoning 02.20.15 Site Plan 06.06.15	Not Applied						E = Parker Mynchenberg & Associates ARC = BPF Design A = Root Chapman
23	<b>STOR-IT</b> 99 Portland Avenue 11-09	Construction of vehicle storage facility with 87 bays and associated site improvements.	12.07.10	12.21.10	11.15.11				12.08.11	04.03.12 &04.17.12	04.18.12	04.18.14					06.12.12	\$460,159 (site work)	06.12.12	06.12.12	30%		E = Zev Cohen & Associates O = Vanacore Commercial Property
24	<b>SUNOCO - CONCEPT</b> 1546 West Granada Boulevard #13-02	Demolition of existing site buildings/improvements and construction of a 3,159 square foot building and related site improvements	05.14.12	CONCEPT 05.29.12	CONCEPT 10.17.12				Required	Required												E = England, Thimus & Miller, Inc O = Sunoco, Inc.	
25	<b>SUNOCO - CONCEPT</b> 3 North Yonge Street #13-03	Demolition of existing site buildings/improvements and construction of a 3,159 square foot building and related site improvements	10.03.12	CONCEPT 10.17.12	01.08.13				Required	Required												E = England, Thimus & Miller, Inc O = Sunoco, Inc.	
26	<b>SUNOCO</b> 460 South Atlantic Avenue #13-04	Demolition of existing site buildings/improvements and construction of a 2,455 square foot building and related site improvements	05.22.12	CONCEPT 06.05.12	CONCEPT 10.17.12	12.20.12			01.10.13 PB	02.19.13 & 03.05.13 CC												E = England, Thimus & Miller, Inc O = Sunoco, Inc.	
27	<b>TOMOKA CHRISTIAN CHURCH</b> 1450 Hand Avenue 07-1201	Proposed New Church - 61,000 SF, 801 seats	08.29.07	09.26.07	11.14.07	02.05.08	03.04.08	04.01.08	Approved 03.27.08 DRB	App 05.06.08 Res. 08-102	06.19.08	06.16.10	06.16.11	05.06.13	NA	S. Except. 05.06.15s ite Plan	Issued 08.30.12	\$9,787,637	07.23.12 Issued, \$1,774,507	07.23.12 Issued	25%		E = Zev Cohen & Associates O = Tomoka Christian Church ARC = Hyde West Architects
28	<b>WASTEWATER TREATMENT EXPANSION</b> 550 Orchard Street 10-0000001	Wastewater treatment Expansion	10.06.09	10.20.09	03.02.10				NA	NA	03.10.10	03.10.12 Under Const.	Under Const.	Under Const.			Issued 10.20.11	Issued 10.20.11	Issued 10.20.11	60%		E = Camp Dresser & McKee Inc. O = City of Ormond Beach	

\* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

**City of Ormond Beach Residential Development Report -- Ending January 3, 2013**

#	Project	Description	Applica-tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Advisory Board	City Commis-sion	Final Approval	DO Expiration	LDC Extension Expiration	2009 SB Expiration	SB 2156 Expiration	HB 7207 Expiration	Building Permit Info	Eng. Permit	Clearing Permit	Under Construc-tion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
A	<b>COURTYARD PBD</b> 135 N. US1 (between Highland and Dix) 07-1243	21,000 Square Feet Retail (9,000 Dollar General) and 16 MF units	01.04.08	02.04.08	12.01.08	02.17.09			04.09.09 PB	06.02 CC Ord 09-17 Expires Ph.2 06.02.12	06.12.09		Not Applied	NA		None for Residential						E = Danny Johns O = Ormond Central Market Place ARC = E.M.P. Architecture & Design
B	<b>DEER CREEK SUBDIVISION</b> 2400 Airport Road 04-08-989	346 Single-Family Lots (4 phases)	08.24.04								08.31.05	Under Const.	Under Const.	Under Const.				Phase 1 Phase 2 Phase 3 Phase 4 (phase 4a completed)	Done Done Done 0%		E = Mark Dowst & Associates O/A = Hunter's Ridge, Inc	
C	<b>ENCLAVE AT NORTH POINTE</b> Tymber Creek Road (Parcel # 4113-00-00-0032) 05-06-1041	34 Single-Family Lots	06.29.05	03.02.06	03.23.06	10.12.06	02.21.07	04.11.07		O 06-08 (PRD) R- 04-206 Plat	09.10.07	08.01.09 PRD Zoning	08.01.10	08.01.12 Zoning & 10.09.12 Site Plan	NA	08.01.14 Zoning & 10.09.14 Site Plan	Not Applied					E = Land Plan Engineering Group O = Silverstein & Goldberg Trust A = White Falcon Land & Development
D	<b>MARSHSIDE AT GROOVER BRANCH</b> Tymber Creek Rd. & Airport Rd. (Parcel # 4124-00-00-0240) 05-06-1035	68 Single-Family Lots	06.08.05	12.08.05	02.02.06	03.23.06	09.19.07	6.10.08	PB 06.08.06 Deny (3-2)	11.14.06 Ord. 06-09		11.14.09 PRD Rezoning	11.14.10 Zoning	11.14.12 Zoning	NA	11.14.14 Zoning						E = Land Plan Engineering Group O = Enclave of Timber Creek LLC A = White Falcon Land & Development
D	<b>MARSHSIDE AT GROOVER BRANCH</b> Tymber Creek Rd. & Airport Rd. (Parcel # 4124-00-00-0240) 10-152	Amendment & rezoning for Marshside subdivision to increase the number of lots from 68 to 104 units.	10.04.10	10.19.10	09.11.12				Denied by Planning Board	01.08.12 and 02.05.13												E = Land Plan Engineering Group O = Enclave of Timber Creek LLC A = White Falcon Land & Development
E	<b>ORMOND GRANDE</b> 1255 North US1 10-00000006	New 4,800 SF industrial and 60 townhomes	10.13.09	10.27.09	01.05.10				Not required	Not Required	01.12.10	01.12.12		NA	NA	01.12.14						E = Parker Mynchenberg & Assoc O/A = Ormond Grande LLC
F	<b>ORMOND STATION</b> 644 North Nova Road 08-25000039	29 Townhomes	11.06.08	12.02.08	06.09.09	12.22.09	02.23.10 (final)				03.09.10	03.09.12	None	None	09.09.12	09.09.14						E = Harpster Engineering O = Scott Vanacore
G	<b>PINELAND</b> East of I-95, north of Airport Road 08-23000002	Preliminary Plat of 192 Single-Family Lots	11.04.08	11.18.08	02.17.09				PB Approved (4-2)	Approved Ord 08-44		10.21.13 PRD Rezoning		NA	NA	10.21.15 PRD Rezoning						E = Zahn Engineering O = Funcoast Developers
H	<b>RIVER OAKS</b> Airport Road (Parcel # 4124-00-00-0040) 03-10-935	101 Single-Family Lots	06.28.06	07.13.06	01.24.07	08.01.07	09.12.07		10.25.07 DRB (6- 0)	12.18.07 R07-226 (P. Plat)	11.07.07	Under Const.	PRD: 11.08.09 Site Plan 10.08.09	PRD: 11.08.11 Site Plan 10.08.11	NA	PRD: 11.08.13 Site Plan 10.08.13	Subdivision Imp. Value: \$1,256,900	05.12.1 0	05.12.10	35%		E = Harpster Engineering O/A = Vanacore Homes
I	<b>TOMOKA GOLF VILLAGE</b> 20 Tomoka Oaks Blvd. 05-06-1039	122 Townhomes & 3 Single-Family Lots	06.15.05	09.29.05	05.03.06	07.27.06			08.10.06	10.17.06 O 06-17		10.17.08 PRD Rezoning	1st Ext: 10.17.09 2nd Ext: 10.17.10	10.17.12	NA	10.17.14						E/A = CPH Engineers, Inc. O = Tomoka Oaks Golf/Country Club

\* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).