



A G E N D A

ORMOND BEACH PLANNING BOARD

Regular Meeting

November 10, 2011

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

- I. **ROLL CALL**
- II. **INVOCATION**
- III. **PLEDGE OF ALLEGIANCE**
- IV. **NOTICE REGARDING ADJOURNMENT**

THE PLANNING BOARD WILL NOT HEAR NEW ITEMS AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

- V. **APPROVAL OF THE MINUTES**
 - A. September 8, 2011
- VI. **PLANNING DIRECTOR'S REPORT**
- VII. **PUBLIC HEARINGS**

A. **M 12-011: Brownfield Designation for the Granada Economic Opportunity Zone**

This is an administrative request to consider designating 398 acres involving 418 parcels as a brownfield area (a/k/a Granada Economic Opportunity Zone) pursuant to Florida Statute 376. **It is requested that this item be pulled from the agenda based upon defective advertising.**

B. PBD 12-001: Ormond Beach's Andy Romano Beachfront Park, Planned Business Development Rezoning, 839 South Atlantic Avenue

This is a request by Paul Momberger, R.L.A., Director of Planning & Landscape Architecture for Zev Cohen and Associates, on behalf of the property owner, the City of Ormond Beach, for a rezoning from B-6 (Oceanfront Tourist Commercial) to PBD (Planned Business Development). The Planned Business Development seeks to allow the development of a public oceanfront park known as "Ormond Beach's Andy Romano Beachfront Park" on a 4.07+ acre property, located at 839 South Atlantic Avenue.

C. CPA 12-004: Comprehensive Plan Text Amendment, Capital Improvements Element (CIE) Annual Update

This is an administrative request that the Planning Board recommend approval to the City Commission of the adoption of the 2011 Capital Improvements Annual Update into the adopted 2025 City of Ormond Beach Comprehensive Plan. These amendments seek to update the capital improvements element schedules in accordance with state law.

D. LDC 12-003 Chapter 2: District and General Regulations, Article III - General Regulations, Section 2-50: Accessory Uses

This is an administrative request to amend Chapter 2: District and General Regulations, Article III, General Regulations, Section 2-50, Accessory Uses of the Land Development Code to modify Section E: Docks, Boathouses and Boat Lifts, Section G: Commercial Vehicle Storage/Parking, Section N: Fences and Walls, Section R: Greenhouses, Section S: Home Occupations, Section V: Outdoor Storage, Parking or Use of Personal Property, Section BB: Sheds, Utility Structures, Playhouses and Gazebos and to add a Section for Playstructures.

E. LDC 12-010 Chapter 2: District and General Regulations, Article III - General Regulations, Section 2-50: Accessory Uses

This is a request to amend Chapter I, Article III, Definitions, Section 1-22, Definition of Terms and Words of the Land Development Code (LDC) for the following definitions:

- convenience store type "C".
- height, building.
- shopping center.
- play structures.
- grade, finished.
- home occupation.
- yard, required.

VIII. OTHER BUSINESS

IX. MEMBER COMMENTS

X. ADJOURNMENT

M I N U T E S
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22 South Beach Street

Ormond Beach, FL 32174

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I. ROLL CALL

Members Present

Patricia Behnke
Harold Briley
Lewis Heaster
Al Jorczak
Rita Press

Staff Present

Randy Hayes, City Attorney
Steven Spraker, AICP, Senior Planner
Meggan Znorowski, Recording Technician

II. INVOCATION

Mr. Heaster led the invocation.

III. PLEDGE OF ALLEGIANCE

IV. NOTICE REGARDING ADJOURNMENT

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V. PLANNING DIRECTOR'S REPORT

Mr. Spraker stated there was no report.

VI. PUBLIC HEARINGS

**A. CPA 11-99: Large Scale Comprehensive Plan Amendments,
Transportation Element Amendments**

Mr. Spraker presented the staff report and stated that the Comprehensive Plan amendments were related transportation amendments that included Granada Boulevard, Hand Avenue, and John Anderson Drive. Mr. Spraker stated there are no twice per year restrictions on amendments anymore, so that once the Planning Board reviews the amendment and makes a recommendation, the application will go to City Commission for a transmittal hearing, then on to the Department of Community Affairs (DCA) for their comments and finally back to City Commission for two readings.

Mr. Briley asked if this pertains to John Anderson Drive from Granada Boulevard to just north of Halifax Avenue.

Mr. Spraker replied that John Anderson Drive runs north to the north City Limits and the amendments pertain only to the City's portion.

Mr. Heaster asked what the advantages are to changing John Anderson Drive to a local road.

Mr. Spraker replied that designating the road local emphasizes that the corridor is not a major roadway designed to carry a lot of traffic, but rather a local road for the residents of that area. Comparatively Halifax Avenue is a major collector road which would have wider streets and sidewalks designed to move more traffic and local residents through.

Mr. Briley stated that the County has a thoroughfare plan and a number of County routes were always John Anderson Drive up to Halifax Avenue and then it was Halifax Avenue to Granada Boulevard and the City has all of North Halifax Avenue. Mr. Briley stated he would agree with this because it would serve to protect the natural resources along John Anderson Drive.

Mr. Jorczak asked if this effectively shuts down the sidewalk issue on John Anderson Drive.

Mr. Spraker replied that the sidewalk is a separate issue and that this aligns the adopted Comprehensive Plan with the policy directive of the City Commission and the residents that John Anderson Drive should not be the major road in this area but rather that it should be Halifax Avenue.

Mr. Jorczak then asked if the City was still going to address the stormwater issues, and how the plan impacted the potential for sidewalks.

Mr. Spraker replied the project will address the stormwater issues along John Anderson Drive. Mr. Spraker advised that if all of the residents came back and wanted sidewalks, that even as a local road that could be accomplished.

Mr. Briley concurred that you could still put sidewalks on local roads.

Ms. Press stated that in the Comprehensive Plan regarding the Loop that there were two constrained roads one was Beach Street that was put in the Comprehensive Plan to be widened a foot or so, and the same thing was done with John Anderson Drive. Ms. Press stated it seems at the City Commission meetings that the reason for changing this to a local road was because there was some discussion that if it was a local road that certain things do not have to be done.

Mr. Spraker concurred.

Mr. Briley stated that more restrictions can be placed on a local road than compared to a thoroughfare road or a collector.

Mr. Heaster asked for examples of the restrictions.

Mr. Briley responded that you can limit truck traffic on a local road. Mr. Briley stated that he always thought of this segment of John Anderson Drive as more of a local road.

Mr. Spraker directed the Board's attention to the dimensions of the different types of rights-of-way, and that John Anderson Drive was not designed to be a primary mover of intercity traffic, that it was really designed just to serve the residents of that neighborhood.

Mr. Briley stated that in some areas of John Anderson Drive you would be hard pressed to find 24' of roadway.

Mr. Heaster asked if it would prohibit sidewalks five to ten years down the road.

Mr. Spraker replied that it would not, and that there are plenty of local roads that have sidewalks such as in subdivisions.

Mr. Heaster asked that if the classification was changed would the designation for other roads need to be changed that feed it such as Neptune Avenue.

Mr. Spraker replied it would not because those are roads that are still designed to move major traffic and have wide lane widths and gutter.

Ms. Behnke stated that Goals, Objectives and Policies on Page 4 of the Comprehensive Plan needed clarification - Policy 1.2.4 in the next to last sentence

has a word missing, “such reservation right of way for particular transportation corridor shall be a period not to exceed five year from time of initial right of way unless the extends the five year period.”

Mr. Spraker advised he would look into it.

Ms. Behnke wanted clarification on Page 6, Item D- interior throughways within parking areas shall be separated from parking isle areas. (Policy 1.4.1, Item D)

Mr. Spraker advised that it was a design standard for site plan is review. Mr. Spraker stated that the intent for parking areas to have separation between major drive isles is so that there will be parking backing into the drive isle and so that there is a circulation loop to avoid persons backing up while vehicles are entering the parking area.

Ms. Behnke inquired about Page 7, Item P regarding residential subdivision connectivity. Ms. Behnke stated she had a problem with this section because of the issues it would cause for gated communities. Ms. Behnke stated that people live in gated communities for other reasons other than security such as peace and quiet and limited traffic which is limited to residents and their guests, and traffic nuisances such as swimming pools, and tennis courts, etc. Ms. Behnke did not think this section is a reasonable expectation.

Mr. Spraker then clarified that there are only six items that are related to this amendment and the portion Ms. Behnke referred to (Page 7, Item P) is a part of an existing adopted policy and not part of the proposed amendment on the agenda for discussion at this meeting. Mr. Spraker advised that staff could go back and revisit this issue at a later date.

Ms. Behnke stated she still had issues with this section. Ms. Behnke said the Bear Creek development has private roads which are not maintained by the City, County, or State, and her development would not want the excess traffic being forced to go through their development.

Mr. Spraker directed the Board’s attention to the last sentence before you get to the list of items (A, B, and C, etc.) in the Amendment, it states: “if determined applicable to a location.” Mr. Spraker stated that if they were looking at a gated subdivision there is a set of standards, but if you have a subdivision such as Pineland next to Ormond Green, those subdivisions should have a minimum of pedestrian access between them.

Ms. Behnke asked if the example roads were City, County, or State maintained roads.

Mr. Spraker advised that they were City maintained. Mr. Spraker referred back to the section of “if determined applicable to a location.” He felt that one could make the argument that if you have a private gated subdivision that there

shouldn't be that access, but alternatively that there shouldn't be residential subdivisions that are not interconnected.

Ms. Behnke stated she still has the same objection to the 10% of floor area for residential dwelling.

Mr. Spraker stated that the purpose of the agenda item are the amendments before the Board, and if there are issues with the transportation element there could be a discussion item on issues they believe need to be amended at a later date.

Ms. Behnke stated her concern for losing very lucrative businesses in Ormond Beach because the business owner chooses not to be a landlord of a required second story residential unit.

Ms. Press echoed Ms. Behnke's concerns. Ms. Press stated that she and Mr. Goss, Planning Director, had discussions regarding the Maria Bonita project and that the owner did not want to be a landlord. Ms. Press stated she thought it is a grand plan with the form based code. Ms. Press stated the form based code is a wonderful concept in theory as we see everything being developed downtown marvelous and looking fantastic, but the developers do not want to put people on top of their buildings.

Mr. Spraker clarified that there is an adopted Downtown Master Plan that has specific guidelines. Mr. Spraker continued that there is a form based code that states if there is an existing building you can renovate all you want, but if there is a new building they have to meet the two-story requirement with residential above and there is financial assistance to help the developer via a Building Improvement Grant to develop the new building. Mr. Spraker then stated that if this is not the direction the Planning Board desired, the Downtown Master Plan and Land Development Code need to be modified.

Ms. Behnke stated that she will never agree that it is a good thing because if Ormond Beach ever loses a lucrative business it should be broadcast citywide.

Mr. Spraker cited the Shell station located at US1 and Granada Boulevard that did not want to bring the building upfront to the road, but that there is a vision of how the City and citizens want the downtown to look.

Mr. Briley asked if there had been any consideration to changing North Ridgewood Avenue to a minor collector roadway as it is currently designated a major collector. He believes that North Beach Street should be the major collector where all of the truck traffic should be directed instead of North Ridgewood.

Mr. Spraker acknowledged that he would take a look at it.

Mr. Jorczak asked how far the plans are to six-lane SR40, if this amendment passes where it sits with the County in relation, and is there anything already in the works when it could be accomplished.

Mr. Spraker replied that there is a design study being performed, but construction was based on how quickly the DRIs are accomplished and the availability for state funding.

Mr. Jorczak asked if there was an update on the widening of Tymber Creek Road.

Mr. Spraker explained that the project had been broken into two: Phase 1- from SR40 to Peruvian, which is where Tymber Crossings subdivision exists is well under way in design and funded, and Phase 2 which is designed but there is no funding.

Mr. Briley stated there may be some right of way issues, but by this time next year the first phase should be completed.

Ms. Press raised the matter of Ormond Crossings and the specific plan that the developer has to follow and wanted to know if that was contained in a contract.

Mr. Spraker replied that there is a Development Agreement that was approved by the City Commission which includes all of the conditions and agreements.

Mr. Briley moved to approve CPA 11-99 as presented.

Ms. Behnke seconded the motion.

Vote was called and approved unanimously.

B. LDC 11-107 Chapter 2: District and General Regulations, Article II- District Regulations Amendments

Mr. Spraker presented that these are a series of amendments to Chapter 2, Article II, which are the zoning district regulations of the Land Development Code. Mr. Spraker stated the first four amendments are to revise the title in some of the zoning classifications including the Business and Professional Services that should be Business and Professional Office. The fifth amendment deals with the B-6 zoning district which creates a park and recreation category to establish setbacks.

Ms. Behnke asked for a clarification of T-1 and T-2 zoning districts.

Mr. Spraker replied that T-1 zoning district is for large acreage that has manufactured homes, typically as a planned development. Mr. Spraker continued that the T-2 zoning district has manufactured homes on a single lot of record.

Mr. Heaster asked if it was discussed to change the zoning district versus applying for a variance since it is specific to the Andy Romano Beachfront Park

Mr. Spraker replied that a key criterion was, “what is the hardship?” in determining a variance. Mr. Spraker stated if you have a vacant piece of land, the designer is creating your own hardship. Mr. Spraker states a variance is only to be given when there is a lot dimension issue.

Mr. Spraker stated that there is no differentiation between a principal building and an accessory building for commercial structures under the commercial zoning district. Mr. Spraker stated a pavilion would be considered a principal building which may have a 150’ setback from the seawall. Mr. Spraker explained that it made more sense to create this type of criteria within the B-6 zoning district, even though it won’t be used that often.

Mr. Heaster asked how the dimensions were derived.

Mr. Spraker explained that the percentages were from other districts such as impervious lot coverage. Mr. Spraker stated the front setback was based on a landscape buffer on the rear where there are potential pavilions that will be right next to the seawall and 10’ was what was selected. Mr. Spraker indicated he believed that the Florida Department of Environmental Protection (FDEP) might have separate setback standards.

Mr. Heaster asked what the coastal setback area is.

Mr. Spraker answered that the coastal setback area is the Coastal Construction Control Line (CCCL) and anything eastward of that has to meet certain building standards. Mr. Spraker stated the park will have no habitable structures eastward of the CCCL. As such, there will need to be some specialized wind load calculations. The CCCL is not necessarily an area that you cannot develop beyond, but rather there is special liability construction.

Mr. Heaster expressed concern about creating another category since these are such unusual activities and perhaps it could hinder another project.

Mr. Spraker replied that a project could be processed as a planned development, obtain a variance, or amend the zoning district if another piece of property was obtained. Mr. Spraker stated that the setbacks are not stringent and are designed for accessory structure buildings.

Mr. Briley asked if this zoning would fit under open space conservation.

Mr. Spraker advised that open space conservation is not necessarily a use. Mr. Spraker stated the use is a park, not conservation.

Mr. Briley stated that developers have been allowed to use open space/conservation to build recreation amenities for subdivisions.

Mr. Spraker stated that recreational amenities are used for common areas where there are no structures for recreation purposes.

Mr. Briley asked that since there will be structures under parks and recreation, would it be precluded from open space conservation.

Mr. Spraker responded that the B-6 zoning classification is a unique zoning district in several ways such as the oceanfront setbacks and the side setbacks to encourage lines of site.

Mr. Briley asked if there was any significant setback from A1A.

Mr. Spraker replied 20'. Mr. Spraker stated that in staff's opinion that the park project would not qualify for a variance because it is a vacant piece of land by which you are creating your own hardship.

Mr. Briley stated that the Romano Park is one of the larger parcels on the ocean.

Mr. Spraker replied that the proposed setbacks are the most minimal that could be imposed on any lot and the amendment provides the most flexibility.

Mr. Jorczak stated that the B-6 zoning district setbacks were what generated this amendment for the Andy Romano Park.

Mr. Spraker concurred that the existing setbacks were the trigger that led to this amendment.

Mr. Jorczak asked if there could be any further extension to the east.

Mr. Spraker replied that the State would not allow construction closer than 10'.

Mr. Heaster stated his concern about the lot requirements as far as minimum size requirements.

Mr. Spraker responded that there are a lot of properties that do not meet the minimum size requirements for a zoning district. Mr. Spraker stated that non-conforming lot size simply means they cannot be subdivided; however, it would impact the ability to build structures that could conform to the zoning district setbacks.

Ms. Press moved that LDC 11-107 be approved.

Mr. Briley seconded the motion.

Vote was called and unanimously approved.

VII. OTHER BUSINESS

Mr. Briley asked if there was any feedback from the City Commission on the community planning, House Bill 7207.

Mr. Spraker stated that his understanding was to keep the status quo and that the Planning Director is looking into school concurrency.

VIII. MEMBER COMMENTS

Mr. Jorczak called for member comments. Having none he adjourned the meeting.

IX. ADJOURNMENT

The meeting was adjourned at 8:00 p.m.

Respectfully submitted,

Steven Spraker, AICP, Senior Planner

ATTEST:

Doug Thomas, Chair

Minutes transcribed by Meggan Znorowski

CITY OF ORMOND BEACH

FLORIDA

PLANNING

MEMORANDUM

TO: Chairman Thomas and Planning Board members

FROM: Ricahrd P. Goss, Planning Director

DATE: November 10, 2011

SUBJECT: Brownfield Designation item for 11.10.11 Planning Board Agenda

CC: Joyce Shanahan, City Manager and Randy Hayes, City Attorney

The advertisement for the Brownfield Designation public hearing that is on the Planning Board agenda was defective. This public hearing item needs to be pulled from the agenda. Staff will readvertised for the December 8, 2011 Planning Board Meeting. The City Commission 2nd Public Hearing will be rescheduled to December 13, 2011.

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: November 3, 2011

SUBJECT: Ormond Beach's Andy Romano Beachfront Park

APPLICANT: Paul Momberger, R.L.A., Zev Cohen and Associates, on behalf of the City of Ormond Beach

ADDRESS: 839 South Atlantic Avenue

NUMBER: 12-01

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

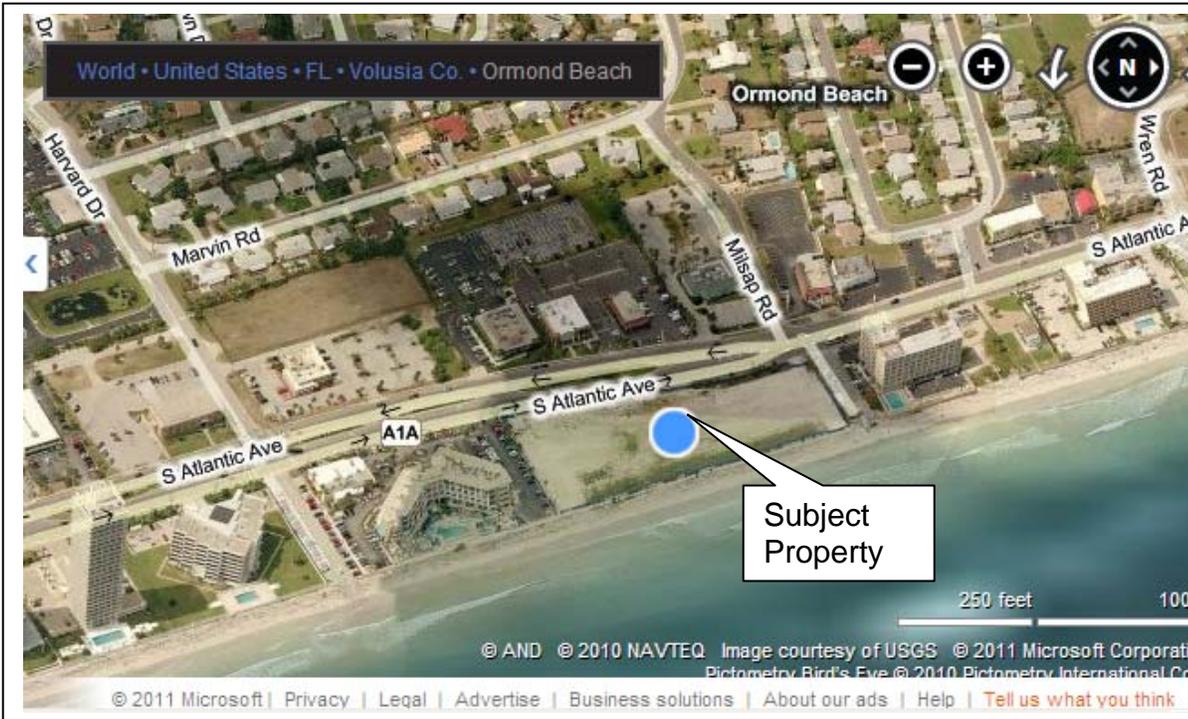
INTRODUCTION:

This is a request by Paul Momberger, R.L.A., Director of Planning & Landscape Architecture for Zev Cohen and Associates, on behalf of the property owner, the City of Ormond Beach, for a rezoning from B-6 (Oceanfront Tourist Commercial) to PBD (Planned Business Development). The Planned Business Development seeks to allow the development of a public oceanfront park known as "Ormond Beach's Andy Romano Beachfront Park" on a 4.07± acre property, located at 839 South Atlantic Avenue.

Zoning and Adjacent Land Uses

The subject property is located at 839 South Atlantic Avenue (see Exhibit 1). The adjacent land uses and zoning classifications are illustrated in the following table:

	Current Land Uses	Future Land Use Designation	Zoning
North	Transient Lodging – Georgian Inn	"Tourist Commercial"	"Oceanfront Tourist Commercial"
South	Ocean East Resort Club Transient Lodging	"Tourist Commercial"	"Oceanfront Tourist Commercial"
East	Atlantic Ocean	N/A	N/A
West	Restaurants	"Tourist Commercial"	"Highway Tourist Commercial"



BACKGROUND:

The property under consideration has a land use designation of “Tourist Commercial” and a zoning designation of “Oceanfront Tourist Commercial”. The proposed use of an oceanfront park is allowed as a conditional use in the B-6 zoning with the Site Plan Review Committee as the approving authority provided all Land Development Code regulations can be met. During the review of the proposed oceanfront park it was noted there were several Land Development Code regulations that would need to be modified based on the proposed site plan. The Planned Business Development classification allows some flexibility through negotiation and establishment of specific site plan and development standards for a property.

The following actions have occurred for the project to date:

1. On August 24, 2010, Ormond Beach residents approved the Beachfront Park General Obligation Bond referendum for the purchase of property for a beachfront park.
2. On October 22, 2010, the closing for the City's purchase of the property at 839 South Atlantic Avenue was held.
3. On November 3, 2010, the City Commission approved Resolution No. 2010-176 for the issuance of a General Obligation Bond for the purchase and development of the beachfront park.
4. On January 4, 2011, the City Commission adopted Resolution 2011-18 naming the park, "Ormond Beach's Andy Romano Beachfront Park."
5. On April 20, 2011, the City Commission adopted Resolution 211-58, accepting the proposal of Zev Cohen & Associates, Inc., for engineering

services to develop parking and park facilities for Ormond Beach's Andy Romano Beachfront Park project.

6. On April 20, 2011, the City Commission accepted a Community Engagement Plan prepared by Zev Cohen & Associates, Inc. that included:

A. Mission Statement: "To create a public beachfront park with beach access and ample off-beach parking to maximize access and enjoyment to all that will provide ocean views and restoration of natural dunes. The park will become a special place in the City, leaving a lasting impression and will further define Ormond Beach as an exceptional place to live, work, and play.

B. A process for the development of a conceptual site plan for the Beachfront Park through the process of public interaction, and timeframes for permitting and construction. Below is the timeframe identified in the Community Engagement Plan:

Action	Time Frame
Discover, Imagine & Choose (Conceptual Design)	May 2011- October 2011
Create (Final design and permitting)	November 2011-April 2012
Build (Bidding and construction)	May 2012 – December 2012
Experience (Park open to the public)	January 2013

Exhibit 2 illustrates the meetings that have occurred to date. The meetings include City Commission meetings, public community meetings, and joint meetings of the Leisure Services and Quality of Life Boards.

In addition to the bond funding, Volusia County is contributing \$3.5 million dollars to the development of the beachfront park.

PROJECT DESCRIPTION:

As previously stated in the Community Engagement Plan, the subject oceanfront park has been designed through a series of public meetings. The site plan included in Exhibit 3 shows the following attributes of the site design:

1. 181 parking spaces and 21 on-street parking spaces to total 202 parking spaces;
2. Three beach access crossovers, including an ADA beach ramp;
3. Ocean views;
4. Dune restoration.
5. Three vehicle access points, including one from the Milsap beach approach
6. Proposed splash pad area;
7. Proposed play ground area;
8. Restrooms and concession building;

9. Pavilions including a family, group, and overlook pavilions;
10. Outdoor showers/rinsing areas;
11. Pedestrian walkways from the parking lot and SR A1A;
12. Trellises boarding the splash pad and playground areas;
13. Underground stormwater retention;
14. Vehicular drop-off area for users of the park;
15. Two gateway monuments, including signage;
16. Two site signs for the oceanfront park;
17. Picnic tables and outdoor grills; and
18. Site dumpster and storage shed building.

The attached site plans are under review for state permitting and review by the Site Plan Review Committee for final site plan approval. Depending on site plan comments from these reviews, the site plan may slightly change from the attached Exhibit. It is expected that the oceanfront park may be open in January 2013.

ANALYSIS:

According to Chapter 2, Article II, Section 2-36 of the Land Development Code the purpose of the Planned Business Development zoning district:

“is to establish regulatory standards for controlling the location of comprehensively planned business centers accessible to arterial roadways. The PBD is intended to incorporate a flexible management policy which incorporates urban design amenities, including streetscape improvements, and fosters innovative master planning in the design and development of commercial centers. The PBD district provides a diversified mix of permitted, conditional, and special land uses and higher standards of land planning and site design than are available under conventional zoning categories.”

One goal of the Planned Business Development is to “provide for a coherent and visually attractive physical environment through the creation of focal points and vistas, as well as coordination and consistency of architectural styles, landscaping designs and other elements of the building environment.”

The oceanfront park was designed through a series of public meetings. Once certain regulations of the Land Development Code are applied to the publicly designed site plan, it is necessary to either re-design the site plan or undergo the PBD rezoning. The choice was made to apply for a PBD rezoning to implement the plan that was publicly designed. As stated in the mission statement, this park is an opportunity to provide off-beach parking on the east the SR A1A for Ormond Beach and Volusia County residents which has been desired for many years. Below is a list of items that require relief from the regulations of the Land Development Code.

Planned Business Development Requests:

1. **Front Landscape Buffer:** Land Development Code Section 3-06.C. requires a 20' landscape buffer along arterial roadways. The plan set shows a front landscape buffer of less than 20'.

The subject property has varying depth dimensions that range from 197' abutting to the Milsap beach approach to 282' along the southern property boundary. The part of the property abutting the Milsap beach approach has a landscape buffer less than 20' based on the reduced lot depth. The site plan has provided greater landscape areas, up to 58' along the southern property boundary, where the lot depth is greater.

2. **Minimum Tree Ratios:** Land Development Code Section 3-04.A.2 requires one tree for every 400 square feet of landscaped area. Additionally, the subject property is located along the Atlantic Ocean which limits the types of trees to palm trees based on the salt environment along the ocean. The Land Development Code states that three palm trees equals one tree.

Based on a site area of 4.07 acres, the Land Development Code calculation would require 443 trees or 1,330 palm trees (using the 3 to 1 ratio). The exact tree numbers have not been finalized, however, it is expected to be less than 1,330 palm trees. The landscape plan will provide a number of trees to enhance the park experience, but will not be able to achieve the ratio required by the Land Development Code.

3. **Landscape Islands:** LDC Section 3-05.c.6. requires a landscape island for every 10 parking spaces and a dimensional minimum of 160 square feet.

The plan set for the oceanfront park seeks to maximize parking and provide other recreational amenities. There are 8 areas of parking that do not provide the landscape islands which yields an additional 10 parking spaces. The site and landscape plans have provided 3' by 3' diamond areas in the center parking area to provide a vegetative relief to the parking area.

4. **Front yard Stormwater:** LDC Section 3-18.H.5 states retention areas are prohibited in the front or side corner yards except when such areas are no more than two feet deep and are appropriately landscape or when designed as an aesthetically pleasing lake area that will not be temporarily dry.

The project proposes to allow a dry stormwater of four feet to the south of the middle drive aisle area. This area is designed to work in conjunction with the underground stormwater system and will be predominately a dry green area. In accordance with FDEP regulations for construction within the Coastal Construction Control Line, stormwater retention is not permitted therefore the applicant was required to locate stormwater facilities within the front portion of the site.

5. **Building Architecture:** LDC Section 3-69 provides required architectural styles for all new buildings in Ormond Beach. The elevation for the building is shown on Sheets A2.1 and A3.1. The proposed building is a mixture of the Bermuda and Florida Cracker architectural styles' acceptable architectural

styles in the City's LDC. The building also incorporates a coquina veneer base.

6. **Tower Signage:** The proposed signage on the towers is neither a site or wall signage and is unique to the park concept. The PBD rezoning seeks to allow the signage on the tower monuments.

Planned Business Development Public Benefits:

The Planned Business Development rezoning process requires the demonstration of public benefits for a development project rezoning. The proposed development is not a commercial development, but instead a public park seeking to provide a variety of recreational opportunities to Ormond Beach residents. Below is a list of public benefits:

- Construction of oceanfront park
- Beach access, including handicapped access
- Off beach parking
- Public ocean views and corridors
- Dune restoration
- Playground area
- Splash pad
- Public restrooms
- Outdoor showers
- Pavilions
- Picnic tables/outdoor grills
- Monument sign in lieu of pole sign
- Building architecture

CONCLUSION:

In considering an application for a Planned Business Development, the Planning Board may recommend to approve, approve with conditions, or disapprove on the extent to which the development offers site amenities above that normally found for permitted uses in the district with regard to the following:

- a) **Building form, architecture and appropriateness of materials with regard to long-term maintenance, relation to the surrounding neighborhood, and aesthetics. Architectural drawings shall be approved as part of the Development Order and adhered to in all development phases.**

As stated above, the building is a mixture of the Bermuda and Florida Cracker architectural styles acceptable under the LDC and incorporates a coquina veneer base. The building has been designed to provide an ocean view for park visitors through an open building design. The attached site plan, Exhibit 3, provides architectural drawings for the proposed building.

- b) **Landscaping and related site amenities.**

Four of the Land Development Code regulations that require variation are landscape related. The oceanfront park is a unique use that seeks to be well landscaped while at the same time providing ocean views from SR A1A and inside the park. The location of the property limits the tree species that can be

planted and grow in a coastal environment. In addition to the use of salt tolerant vegetation, the project proposes a dune restoration plan on Sheet DUNE.

As shown in the project description there are multiple site amenities that include beach access, off-beach parking, splash pad, playground area, pavilions, picnic tables, and outdoor grills.

c) Mitigation of off-site impacts.

An oceanfront park is a unique use and there are not any negative off-site impacts anticipated. The oceanfront park shall provide off-beach parking and related recreational amenities. SR A1A is a four-lane right-of-way that is operating at an acceptable level of service and shall not be negatively impacted by the proposed use.

The park has been designed to minimize impacts to the abutting property, Ocean East Resort Club to the south of the property. From the property line of the Ocean East Resort Club there is a distance of 50' to the driveway and 90' to the parking area. Within the 50' area to the driveway there is a sidewalk and a pavilion and landscape plantings.

d) Overall lighting plan, particularly in relation to aesthetics and glare.

The proposed lighting plan is included on Sheet E1.0 and the lighting will not impact surrounding properties. The park is not intended for night time use.

e) Overall signage plan, particularly related to aesthetics and readability.

The proposed signage includes two monument signs and signage on the two entry monument towers. The monument sign is shown on Sheet HA3 and the tower signage is shown on Sheet A2.1.

CRITERIA FOR APPROVAL: There are certain criteria that must be evaluated before a Planned Business Development rezoning can be approved. According to Chapter 1, Article I, Section 1-15.C.3 of the Land Development Code, the Planning Board shall consider the following when making its decision:

1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.

The proposed development conforms to the standards of the Land Development Code and is requesting site flexibility as permitted under the Planned Business Development process. The flexibility requested will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life. As stated in the mission statement, "the park will become a special place in the City, leaving a lasting impression and will further define Ormond Beach as an exceptional place to live, work, and play."

2. The proposed development is consistent with the Comprehensive Plan.

The property is designated as “Tourist Commercial” on the City’s Future Land Use Map (FLUM). The directive text of the Comprehensive Plan states,

“A multi-use land use category to provide uses along the Atlantic Ocean, SR A1A and highway interchanges, that include transit availability, retail services, tourist attractions, restaurants, multi-family and lodging to visitors to the City. For projects that propose a mixture of residential and nonresidential uses, the minimum FAR should be 0.2.”

The application also supports the following policies in the Future Land Use Element of the Comprehensive Plan:

Future Land Use Element

Policy 1.2.7.	Maintain the tourist commercial character of the A1A corridor, except as noted in Policies 1.1.4. and 1.2.4. Design guidelines should be established for all new development along the ocean so that, in the future, buildings will be homogeneous and compatible with surrounding constructions and will represent a common theme. Maintain oceanfront setbacks for properties located along the Atlantic Ocean. Oceanfront development should be airy and open with a minimum of interference with the ocean view and breeze.
Objective 1.5.	The City shall acquire or dedicate lands for the provision or expansion of active recreation facilities to meet the existing and future needs of the population, as determined in Capital Improvements Element.

Recreation Element

GOAL 1	PROVIDE AN ACCEPTABLE QUALITY, QUANTITY, AND VARIETY OF ACTIVE AND PASSIVE RECREATION AREAS AND FACILITIES NECESSARY TO MEET THE EXISTING AND FUTURE RECREATIONAL NEEDS OF ALL THE CITY’S RESIDENTS AND OF ITS VISITORS.
Objective 1.4	The City shall maintain and improve access to its parks, recreation, and open space areas, facilities, programs, and events and encourage development of facilities, programs, and events of state and regional excellence.
Objective 1.6	The City shall recommend policies and programs to Volusia County that maintain and improve public access to beach recreational opportunities.
Policy 1.6.1	Participate in and encourage State, Regional, and County programs to provide on and off-site beach parking.

Objective 1.9	Public recreation facilities shall both accommodate and integrate handicapped and disabled persons consistent with Federal and State standards.
Policy 1.9.3	When possible, handicap access to the beach shall be improved by the process of handicap parking spaces and pedestrian beach access ramps.

The proposed site development and rezoning are consistent with the City's adopted Comprehensive Plan.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to water bodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The subject property was previously a transient lodging facility that was demolished and currently stands as vacant field. The proposed development will not adversely impact environmentally sensitive lands and part of the site plan is dune restoration.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The proposed recreational use will not substantially or permanently depreciate the value of surrounding property. Staff believes that the oceanfront park will cause additional investment in this part of the South Atlantic Avenue corridor.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

There are adequate public facilities to serve the proposed development, including water, wastewater, roads, public safety, and stormwater.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The project will provide off-beach parking and recreational opportunities and shall not negatively impact vehicle or pedestrian safety. The site has been designed with three access points and a looped traffic circulation system. Pedestrian walkways are provided internal to the parking areas and externally to SR A1A.

7. The proposed development is functional in the use of space and aesthetically acceptable.

The proposed site plan is functional and provides building architecture that exceeds the adopted architectural regulations.

8. The proposed development provides for the safety of occupants and visitors.

The proposed development provides for the safety of its occupants and visitors.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

The building and material will not adversely impact the aesthetics of the area and is designed in the Florida Cracker and Bermuda architectural style.

10. The testimony provided at public hearings.

This application has not been heard and no public testimony has been provided.

RECOMMENDATION:

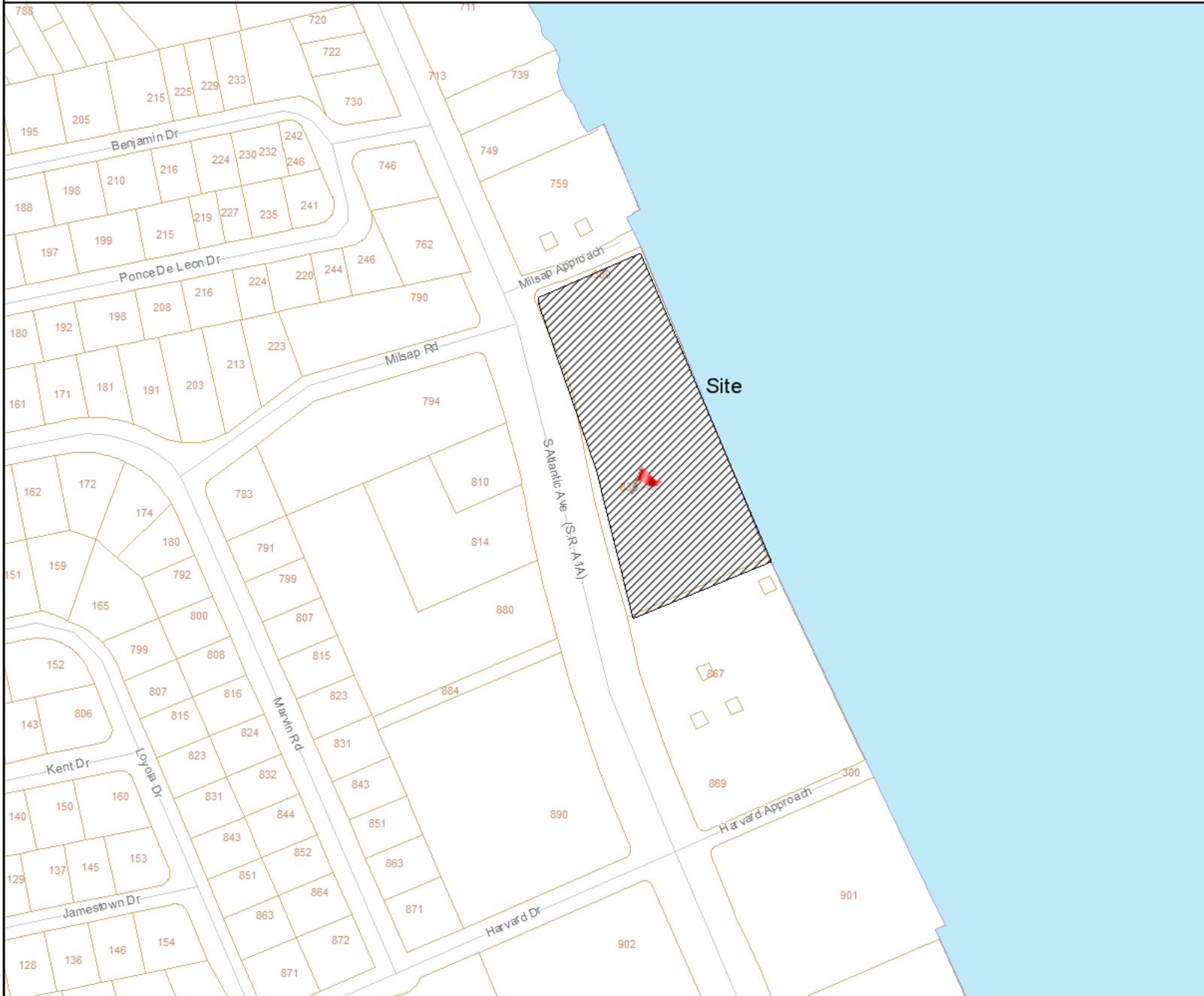
It is expected that the application will be reviewed by the City Commission on December 13, 2011 (1st reading) and January 3, 2012 (2nd reading). It is recommended that the Planning Board recommend **APPROVAL** of a rezoning of a 4.07± acre property at 839 South Atlantic Avenue from B-6 (Oceanfront Tourist Commercial) to Planned Business Development, incorporating the site plan exhibits for the Ormond Beach's Andy Romano Beachfront Park, specifically allowing:

1. A front landscape buffer less than 20';
2. A reduction of the tree minimum ratio to be determined by the City Landscape Architect;
3. Waiver of the requirement of one landscape island per each ten parking spaces to allow additional parking spaces;
4. A stormwater retention pond in the front yard of the development;
5. Building architecture similar to the style shown in Sheets A2.1 and A3.1; and
6. Signage on the two monument towers located along the main access point to the oceanfront park.

EXHIBIT A

SITE MAPS

839 South Atlantic Avenue



- Golf Courses
- Address Points
- Airport and Railroad
- AIRPORT
- RAILROAD
- City Streets**
- DIRT
- MAJOR
- PAVED
- Water Features
- Property Lines

266 ft



GIS data is provided on an "as is" basis. The accuracy or reliability of the data is not guaranteed or warranted in any way. The City of Ormond Beach specifically disclaims any warranty either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular use. The entire risk as to quality and performance of the data is with the end user. In no event will the City, its staff or its representatives be liable for any direct, indirect, incidental, special, consequential, or other damages, including loss of profit, arising out of the use of this data even if the City has been advised of the possibility of such damages.





Map



Traffic

Subject Property

A

1A

1A

EXHIBIT B

- Project Summary
- Summary letter detailing variances

Project Description

A referendum was approved by voters in Ormond Beach on August 24, 2010 to issue a general obligation bond for acquisition of property for a beachfront park. On November 3, 2010, the City Commission adopted Resolution No. 2010-176 issuing \$5,000,000 in general obligation bonds for the purpose of acquisition and development of a “public beachfront park, including preservation of natural areas, dunes, ocean views and providing off-beach parking and beach access”.

As noted in the mission statement, this project is to design the beachfront park that leaves a lasting impression on the community and further defines Ormond Beach as a great place to live, work and play.

Project Schedule

Concept development, selection of a preferred alternative, and permitting and design of the park is anticipated to be completed by spring 2012. The park is expected to be ready for the community to enjoy in early 2013. The following chapters are anticipated to occur during the following timeframes.

Discover, Imagine & Choose (Conceptual Design)	May 2011-October 2011
Create (Final Design and Permitting)	November 2011-April 2012
Build (Bidding and Construction)	May 2012-December 2012
Experience (Park Open to Public)	January 2013

Community Engagement Schedule

Sign Unveiling & Official Naming Ceremony	April 5, 2011
Walk with City Manager	April 8, 2011
City Commission Meeting #1/Sign-off – CEP & Mission	April 20, 2011
Major Community Meeting #1 - <i>Imagine</i>	May 10, 2011
Major Community Meeting #2 - <i>Imagine</i>	May 11, 2011
Joint Leisure Services & Quality of Life Meeting #1 - <i>Imagine</i> Meeting)	May 18, 2011 (Special
Deadline for Written Comments from <i>Imagine</i>	May 18, 2011
City Commission Meeting #2 – Present Summary of <i>Imagine</i>	June 7, 2011
Major Community Meeting #3 – <i>Choose</i> Concepts	July 12, 2011

Joint Leisure Services & Quality of Life Meeting - <i>Choose</i> Meeting)	July 14, 2011 (Special
Deadline for Written Comments from <i>Choose</i>	July 19, 2011
City Commission Meeting #3/Sign-Off – <i>Choose</i> Concepts	August 3, 2011
City Commission Meeting #4/Sign-Off – <i>Choose</i> Preferred Concept 2011	September 6 or 20,
Major Community Meeting #4 – Review Preferred Concept 2011	September 15 or 29,
City Commission Monthly Updates - <i>Create</i> February 2012	October 2011 –

Blue Text = Meetings

Purple Text = Commission Sign-offs

Green Text = Deadlines/Deliverables

Below is a summary of regulations which the development plan does not comply with as well as a reasoning to allow these modifications.

- a. **Landscape buffer.** LDC Section 3-06.C. requires a 20' landscape buffer along arterial roadways. The plan set shows a front landscape buffer of less than 20'. ***In an attempt to soften the long linear lines of the parking aisles and spaces they are arranged in a curvilinear design that provides an average landscape buffer depth of 20'.***
- b. **Minimum tree ratios.** LDC Section 3-04.A.2, requires one tree for every 400 square feet of landscaped area. ***The beachfront location of the park will prevent the typical planting of shade trees but an abundance of palms and native dune plantings will be provided to match the environmental conditions.***
- c. **Landscape Islands.** LDC Section 3-05.c.6. requires a landscape island for every 10 parking spaces and a dimensional minimum of 160 square feet. ***To maximize parking spaces for citizens of Ormond Beach the landscape islands have been eliminated. As noted above, typical shade trees cannot be planted in the parking lot islands due to coastal conditions.***
- d. **Building Architecture.** LDC Section 3-69 provides required architectural styles for all new building in Ormond Beach. ***The style selected is unique to historical Ormond Beach and blends some of the established styles of architecture with one that is unique to this City.***
- e. **Tower Signage.** The proposed signage on the towers is neither a site or wall signage and the LDC does not have language that would currently allow this type of signage. ***The tower is intended as a City and Park gateway and is designed to be emblematic of its architecture as well as vertical enough to announce its presence.***

EXHIBIT C

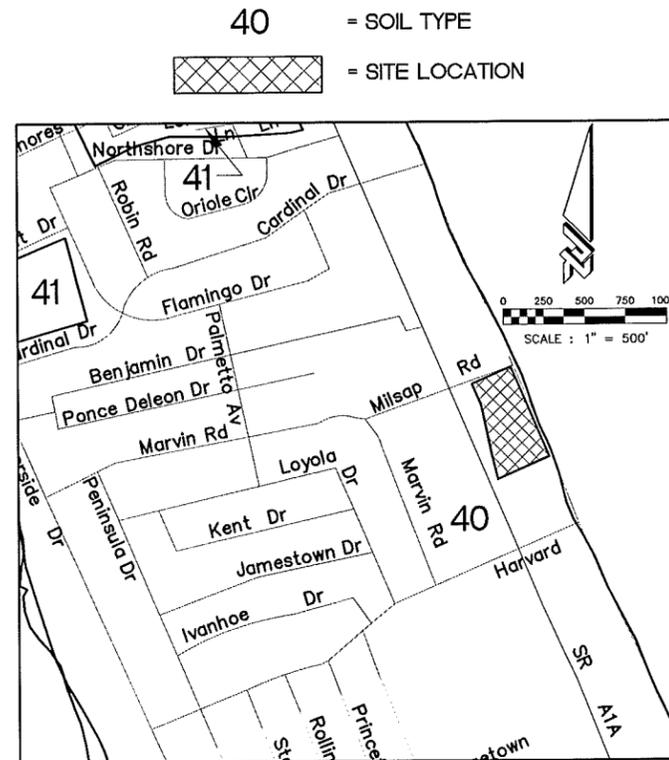
Site Plans

CITY OF ORMOND BEACH

PLANNED BUSINESS DEVELOPMENT

ANDY ROMANO BEACHFRONT PARK

BID NO. 2011-XX



SITE LOCATION AND SOILS MAP ENTIRE SITE LIES WITHIN SOIL TYPE 40-PALM BEACH-URBAN LAND-PAOLA COMPLEX PER VOLUSIA COUNTY SOILS MAP.

LEGAL DESCRIPTION:

LEGAL DESCRIPTION: PER OFFICIAL RECORDS BOOK 6479, PAGE 221, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
 PARCEL 1: LOTS 1,2,3 AND 4, BLOCK 18 ORTONA PARK REPLAT SECTION 2, AS PER MAP IN MAP BOOK 23, PAGE 226, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
 PARCEL 2: LOT 4, BLOCK 12, HALIFAX BEACH, SUBDIVISION IN ORMOND, MAP BOOK 1 PAGE 48, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; TOGETHER WITH ALL LAND LYING WITHIN THE NORTH AND SOUTH LINE OF SAID LOT 4, EXTENDED WESTERLY TO THE EASTERLY RIGHT OF WAY OF U.S. HIGHWAY A1A.
 PARCEL 3: LOTS 1, BLOCK 19 ORTONA PARK REPLAT SECTION 2, AS PER MAP IN MAP BOOK 23, PAGE 226, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

MAYOR
ED KELLEY

COMMISSIONERS
JAMES STOWERS, ZONE 1
TROY KENT, ZONE 2

RICK BOEHM, ZONE 3
BILL PARTINGTON, ZONE 4

CITY MANAGER
JOYCE SHANAHAN

ARCHITECT: DJ DESIGN SERVICES, INC.
913 N. NOVA ROAD
HOLLY HILL, FL 32117
(386) 255-6987
(386) 255-6989 (FAX)
CONTACT: HEIDI CARHIDE, RA, LEED AP

OWNER: CITY OF ORMOND BEACH
22 S. BEACH ST.
ORMOND BEACH, FL 32174
(386) 677-0311
(386) 677-XXXX (FAX)
CONTACT: JOHN NOBLE, P.E.

SURVEYOR: McMILLEN LAND SURVEYING, INC.
880 AIRPORT ROAD, UNIT 105
ORMOND BEACH, FL 32174
(386) 677-2411
(386) 677-2325 (FAX)
CONTACT: DAVID McMILLEN, P.S.M.

ENGINEER: ZEV COHEN & ASSOC., INC.
300 INTERCHANGE BLVD.
ORMOND BEACH, FL 32174
(386) 677-2482
(386) 677-2505 (FAX)
CONTACT: RANDY HUDAK, P.E.

LANDSCAPE ARCHITECT: ZEV COHEN & ASSOC., INC.
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(386) 677-2505 (FAX)
CONTACT: PAUL MOMBERGER, R.L.A.

SHEET	DESCRIPTION
C1	COVER SHEET
C2	CONSTRUCTION NOTES
C3	CONSTRUCTION NOTES
C4	DEMOLITION PLAN
C5	SITE LAYOUT PLAN
C6	PAVING, GRADING AND DRAINAGE PLAN
C7	UTILITY PLAN
C8	DEP DIMENSIONING PLAN
C9	CROSS-SECTIONS
C10	CROSS-SECTIONS
C11	CONSTRUCTION DETAILS
C12	CONSTRUCTION DETAILS
C13	CONSTRUCTION DETAILS
C14	CONSTRUCTION DETAILS
C15	CONSTRUCTION DETAILS
C16	CONSTRUCTION DETAILS
HA1	HARDSCAPE PLAN & DETAIL
HA2	HARDSCAPE PLAN & DETAIL
HA3	HARDSCAPE PLAN & DETAIL
LA1	LANDSCAPE PLAN & DETAIL
LA2	LANDSCAPE PLAN & DETAIL
DUN	DUNE RESTORATION PLAN & DETAILS
E1	LIGHTING PLAN
E2	LIGHTING PLAN
A0.1	ARCHITECTURAL NOTES
A1.1	FLOOR PLAN
A1.2	FOUNDATION PLAN
A1.3	REFLECTED CEILING PLAN
A2.1	ELEVATIONS
A2.2	SITE FACILITIES
A3.1	BUILDING SECTIONS

GOVERNING STANDARDS AND SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

TAX PARCEL ID #: 4224-01-18-0010
24-145-32E

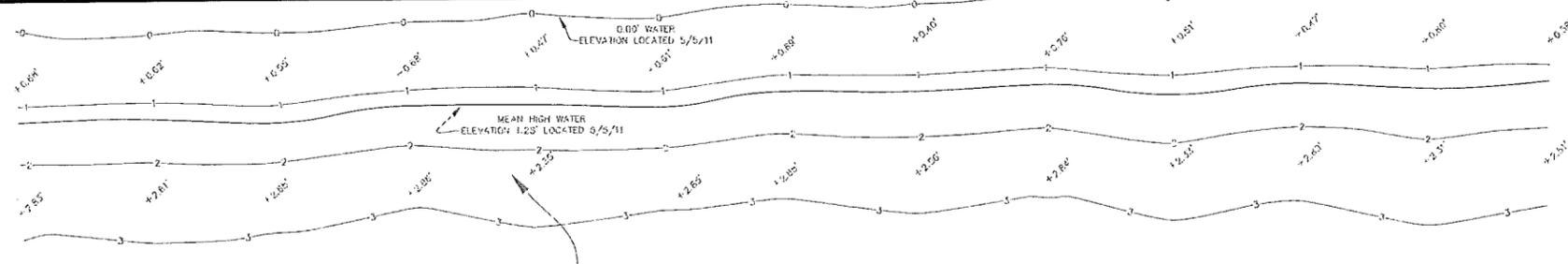
PROJECT STATEMENT OF INTENT

THE DEVELOPMENT OF A PUBLIC BEACHFRONT PARK, INCLUDING PRESERVATION OF NATURAL AREAS, DUNES, OCEAN VIEWS AND PROVIDING OFF-BEACH PARKING AND BEACH ACCESS

GENERAL NOTES:

- ALL DISTURBED AREAS SHALL BE SOODED OR SEEDED AND MULCHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL ELEVATIONS OF EXISTING UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, DISRUPTION OF SERVICE OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGES TO EXISTING UTILITIES.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
- THE LENGTH OF ALL DRAINAGE PIPES AND LOCATION OF ALL DRAINAGE STRUCTURES ARE APPROXIMATE. THE LOCATION OF THE DRAINAGE STRUCTURES SHALL DETERMINE THE LENGTH OF PIPE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE "AS-BUILT" SURVEY SHALL BE PREPARED IN ACCORDANCE WITH APPROPRIATE GOVERNMENTAL REGULATIONS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A RECORD COPY OF ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS ON WHICH ALL FIELD CHANGES ARE TO BE SHOWN. THESE CHANGES ARE TO BE INCORPORATED IN THE "AS-BUILT" SURVEY FURNISHED TO THE ENGINEER.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL REQUIRED PERMITS. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL RELEVANT PERMITS AVAILABLE ON THE JOB SITE AT ALL TIMES.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION.
- ELECTRIC AND TELEPHONE SERVICES TO BE UNDERGROUND PER CITY OF ORMOND BEACH LAND DEVELOPMENT CODE.
- OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM WILL BE PROVIDED BY THE CITY OF ORMOND BEACH.
- MAINTENANCE IS TO INCLUDE:
 - BI-WEEKLY MOWING OF SIDESLOPES FOR VEGETATION CONTROL.
 - QUARTERLY INSPECTION AND/OR CLEANING OF CATCH BASINS AND STORM TECH SYSTEM TO KEEP FREE OF SAND AND DEBRIS.
- ALL DISTURBED AREAS SHALL HAVE GRASS/VEGETATION ESTABLISHED PRIOR TO THE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY.
- ALL REQUIRED FIRE LINES AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF CONSTRUCTION.
- DURING CONSTRUCTION, AN ALL-WEATHER ACCESSIBLE ROADWAY SHALL BE MAINTAINED AT ALL TIMES FOR FIRE APPARATUS.
- WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF ORMOND BEACH.
- THERE ARE NO KNOWN WILDLIFE CORRIDORS FOR FEDERAL AND STATE ENDANGERED SPECIES, THREATENED SPECIES, OR SPECIES OF SPECIAL CONCERN ON SITE.
- THERE ARE NO KNOWN PLANTS AND ANIMALS WHICH INHABIT THE SITE THAT ARE LISTED AS FEDERAL AND STATE ENDANGERED SPECIES, THREATENED SPECIES, OR SPECIES OF SPECIAL CONCERN.
- THERE ARE NO KNOWN HISTORIC OR ARCHAEOLOGICAL SITES.
- PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 12127002190, ENTIRE SITE LIES WITHIN ZONE "X", AREA OUTSIDE 500 YEAR FLOODPLAIN. (LAST REVISED ON APRIL 15, 2002)

No.	Revision	Date
1	REV. PER DEP CONSULTANT COMMENTS DATED 10-14-11 (C4, C5, C6, C8, C9 & C10)	10-18-11



LEGEND:

SF — SF SILT FENCE

TO BE REMOVED

PROJECT CONSTRUCTION LIMITS

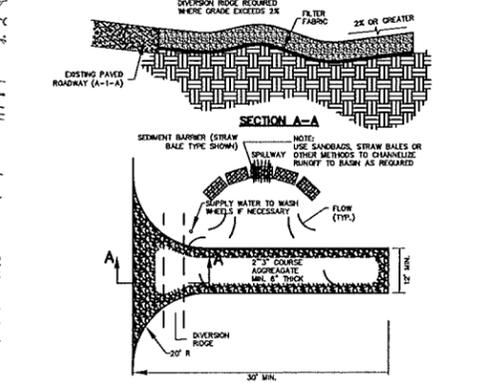
SCALE: 1" = 30'

NOTE
 THE SILT FENCE SHALL BE ERRECTED AS SHOWN ON THIS PLAN PRIOR TO COMMENCING CONSTRUCTION. THE FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

- DEMOLITION AND REMOVAL NOTES:**
- EXISTING IMPROVEMENTS AND TOPOGRAPHY TAKEN FROM BOUNDARY SURVEY BY SUGER AND ASSOCIATES, INC., DATED 5/05/04, JOB #04 1220.
 - INFORMATION SHOWN HEREON IS THE BEST AVAILABLE TO THE ENGINEER. IF DISCREPANCIES ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 - ALL ASPHALT PAVEMENT REMOVALS SHALL BE VERTICAL SAWCUT. ALL CONCRETE PAVEMENT REMOVALS SHALL BE EITHER AT EXISTING JOINTS OR VERTICAL SAWCUT.
 - ACTIVE SERVICES SHALL BE SEVERED WITH PROPER NOTICE GIVEN TO LOCAL UTILITIES COMPANIES HAVING JURISDICTION.
 - STORM DRAINAGE TO REMAIN IN OPERATION AT ALL TIMES. CONTRACTOR TO MAINTAIN WITH EXISTING, NEW OR TEMPORARY PIPING.
 - RELOCATION OF UTILITY POLES AND LINES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE INCLUDED AS PART OF THE PROJECT SCOPE AND COST.
 - THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF DAYTONA BEACH PRIOR TO ANY DEMOLITION TAKING PLACE.
 - REFER TO SITE PLAN PLANS FOR PROPOSED UTILITY CONNECTIONS.
 - NO WORK WITHIN THE STATE ROAD RIGHT-OF-WAY SHALL BE COMMENCED WITHOUT 48 HOURS ADVANCE NOTICE TO THE F.D.O.T.
 - PRIOR TO COMMENCEMENT OF REMOVALS AND CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE ELECTRIC, TELEPHONE, GAS, CABLE TELEVISION AND OTHER UTILITY COMPANIES TO DETERMINE THE TYPE AND LOCATION OF ALL UNDERGROUND FACILITIES IN THE AREA OF CONSTRUCTION.
 - ALL REMOVED OR DEMOLISHED MATERIALS NOT SPECIFICALLY DESIGNATED TO REMAIN THE PROPERTY OF THE OWNER, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
 - DO NOT ALLOW DEBRIS AND RUBBISH TO ACCUMULATE ON THE SITE.
 - CLEANUP THE JOB SITE IN AREAS WHERE NO WORK IS TO BE DONE UNDER THIS CONTRACT FOLLOWING DEMOLITION. REMOVE ALL DEBRIS AND RUBBISH. TEMPORARY FACILITIES AND EQUIPMENT. LEVEL SURFACES IRREGULARITIES. LEAVE THE WORK IN A NEAT AND PRESENTABLE CONDITION.
 - CONTROL THE AMOUNT OF DUST RESULTING FROM DEMOLITION TO PREVENT THE SPREAD OF DUST AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. DO NOT USE WATER WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBSCURABLE CONDITIONS SUCH AS FLOODING AND POLLUTION.
 - CLEAN-UP OF ANY ASBESTOS MATERIAL FOUND IN EXISTING BUILDING MATERIAL SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS BY AN APPROPRIATE LICENSED CONTRACTOR.
 - CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR CONTROLLING SEDIMENT AT THE PROPOSED CONSTRUCTION ENTRANCE AND EXIT. THE CONTRACTOR SHALL CONSTRUCT A TEMPORARY GRAVEL ROAD AT THE ENTRANCE AND EXIT LOCATIONS. THE ROAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND GUIDELINES IN CHAP. 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL, A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FDOP 1988) (SEE DETAIL).



FLORIDA DEPARTMENT OF NATURAL RESOURCES COASTAL CONSTRUCTION CONTROL LINE (COCL) PER MAP BOOK 30, PAGE 20, & OFFICIAL RECORDS BOOK PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA RECORDED ON 1/24/91



- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**
- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASK.



ORMOND BEACH
 300 INTERCHANGE BLVD. ORMOND BEACH, FL 32174
 (407) 877-5435 FAX (407) 877-2505

ST. AUGUSTINE
 445 U.S. 18. STE # 401 ST. AUGUSTINE, FL 32086
 (904) 797-1616 FAX (904) 797-4159

AMELIA ISLAND
 100 S. WINTERGATE BLVD. PERRINAWA, FL 32064
 (904) 407-5626 FAX (904) 797-1616

NO.	DATE	BY	DESCRIPTION
1	10-15-11	REV.	PER DEP. CONSULTANT COMMENTS DATED 10-11-11
2			
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ANDY ROMANO
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT
DEMOLITION PLAN

ZEV COHEN & ASSOCIATES, INC.
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 PLANNERS - TRANSPORTATION - ENVIRONMENTAL
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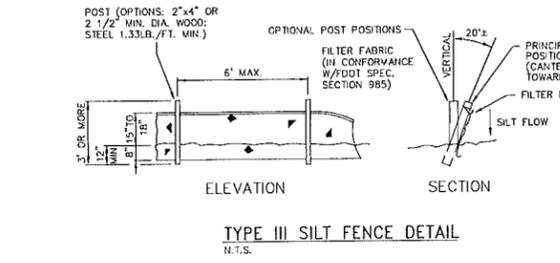
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 DESIGNED BY: CMF
 CHECKED BY: RH
 ISSUE DATE: 07-24-2011
 DESIGNED BY: RH

FILE LOCATION: -

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SCALE: 1"=30'

SHEET C4 OF 16

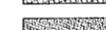
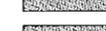


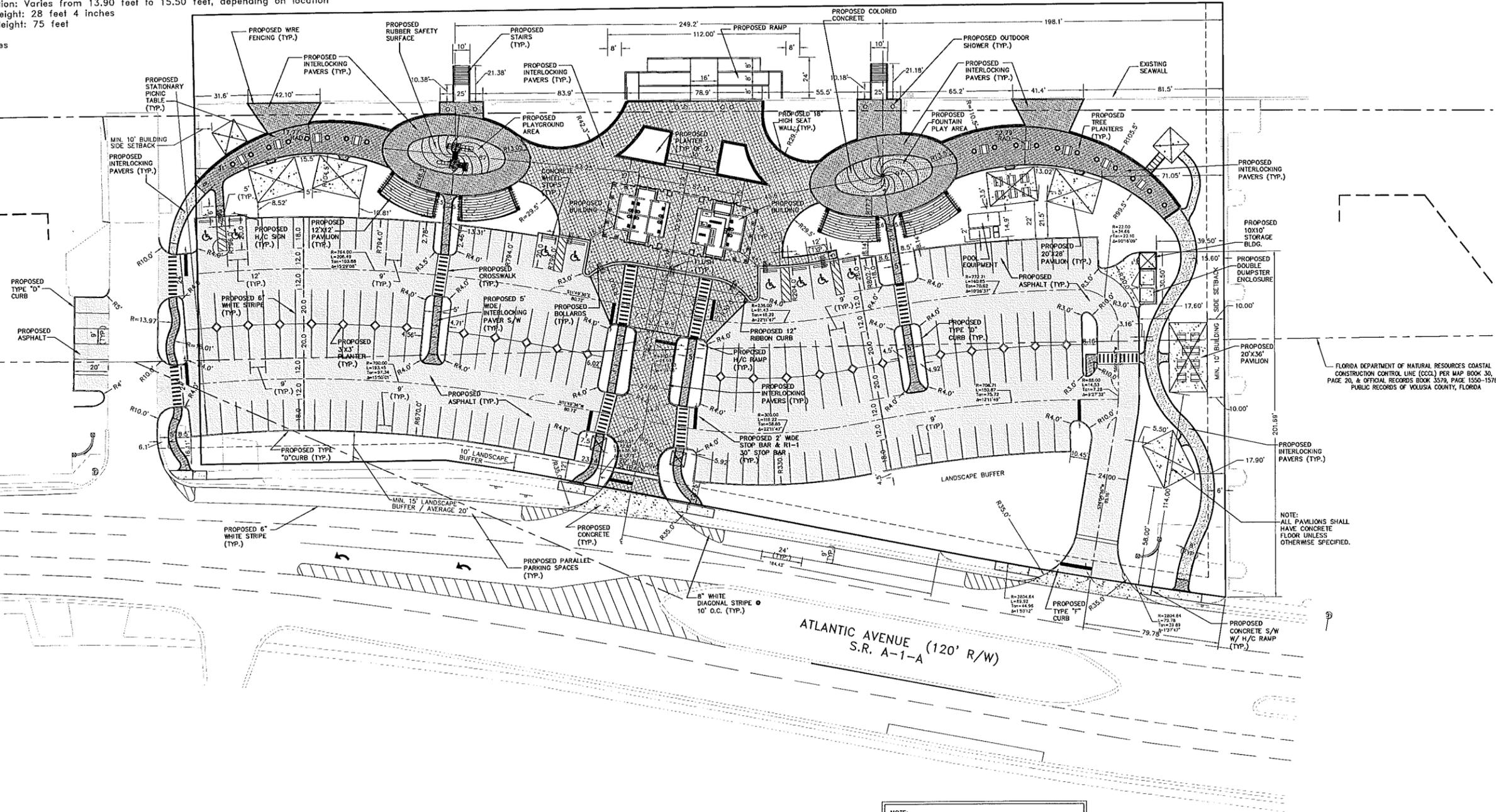
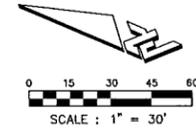
Site Data Table:

Existing Use: Vacant
 Proposed Use: Public Park
 Existing Zoning: B-6
 Proposed Zoning: B-6
 Future Land Use Designation: Tourist Commercial
 Required Setbacks:
 Front: 30 feet
 Side: 10 feet
 Rear: Average Setbacks of all buildings within 800 feet of each side lot line
 Required Buffers:
 Front: 20 feet
 Side: 10 feet
 Rear: 10 feet
 Total Project Area: 4.38 acres (4.07 City of O.B. owned and 0.31 acres Volusia County r/w)
 Proposed Impervious Surface Coverage: 2,635 acres (60.2%)
 Maximum Impervious Surface Coverage: 75%
 Proposed Landscape Coverage: 1.745 acres (39.8%)
 Minimum Landscape Coverage: 25%
 Type of Construction: VB
 Proposed Building Coverage: 3,070 square feet (1.61 %)
 Maximum Building Coverage: 40%
 Number of Stories: 1
 Finished Floor Elevation: Varies from 13.90 feet to 15.50 feet, depending on location
 Proposed Building Height: 28 feet 4 inches
 Maximum Building Height: 75 feet
 Proposed Parking:
 Standard: 194 spaces
 Handicap: 8 spaces
 Total: 202 spaces

ATLANTIC OCEAN

LEGEND:

-  PROPOSED ASPHALT
-  PROPOSED INTERLOCKING PAVERS
-  PROPOSED INTERLOCKING PAVERS
-  PROPOSED INTERLOCKING PAVERS
-  PROPOSED CONCRETE



NOTE:
 PLEASE REFER TO HARDSCAPE & LANDSCAPE PLANS FOR
 DETAILED PLANS & SPECIFICATIONS EAST AND SOUTH OF
 PARKING AREA.



ORMOND BEACH
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 4475 U.S. 1 S. BTE # 601 ST. AUGUSTINE, FL 32086
 (904) 797-6160 FAX (904) 797-4159
 AMELIA ISLAND
 1066 S. WYTHE ST. BTE #10, FERNANDINA BCH, FL 32044
 (904) 461-5408 FAX (904) 797-4159

NO.	DATE	BY	DESCRIPTION
1	10-18-11	REV. PER DEP. CONSULTANT COMMENTS DATED 10-14-11	
REVISIONS:			

**ANDY ROMANO
 BEACHFRONT PARK
 PLANNED BUSINESS DEVELOPMENT
 SITE LAYOUT PLAN**

ZEV COHEN
 & ASSOCIATES, INC.
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 PLANNERS - TRANSPORTATION - ENVIRONMENTAL
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 ISSUE DATE: 07-24-2011 CHECKED BY: RH
 DESIGNED BY: RH
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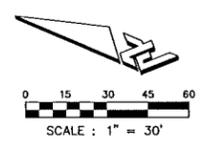
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AMELIA ISLAND
1985 S. 47th ST. STE #19, FERNANDINA BCH, FL 32044
(904) 461-5406 FAX (904) 797-1159



CUT / FILL ANALYSIS

EXCAVATION EAST OF CCCL:
1420 CUBIC YARDS

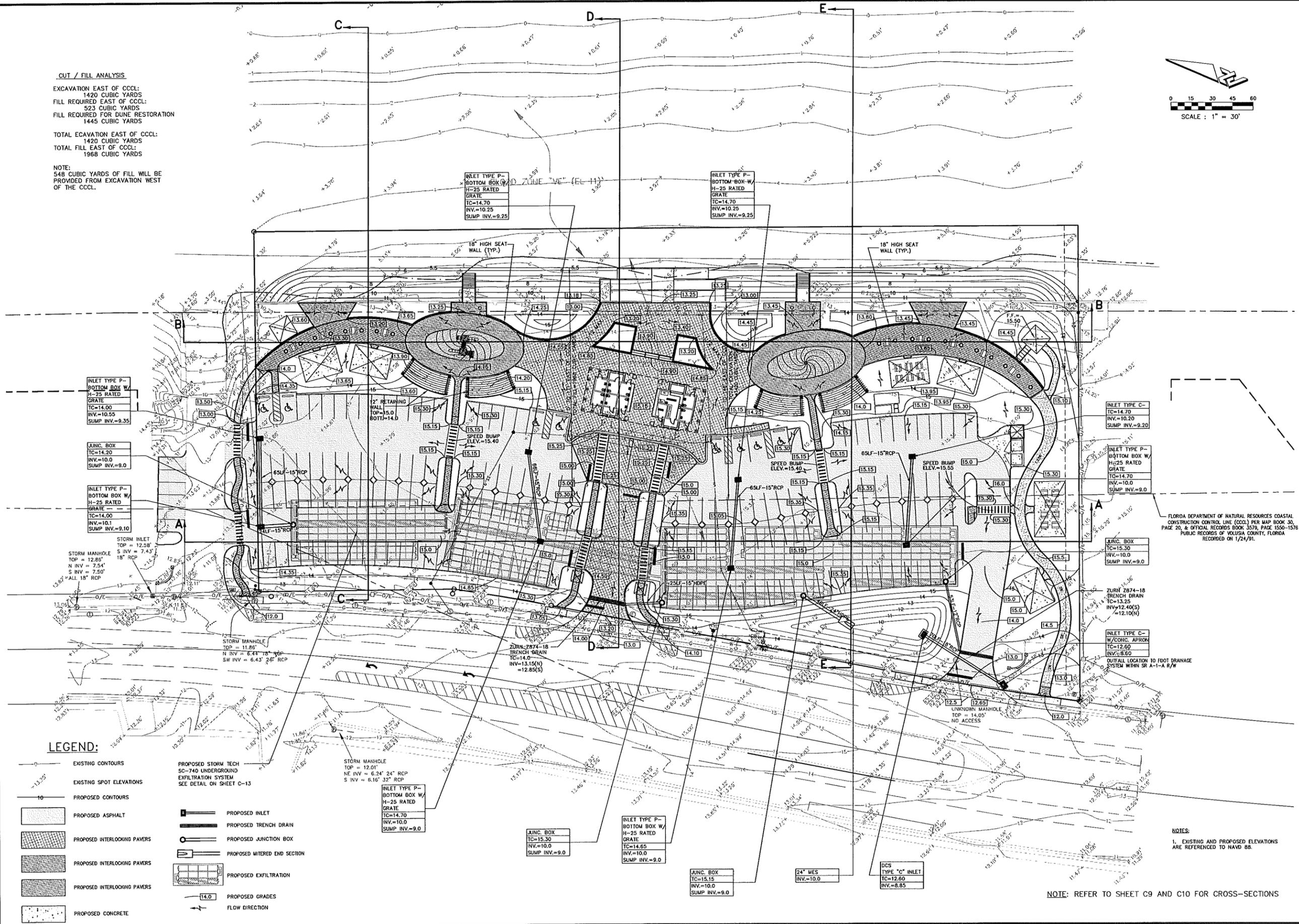
FILL REQUIRED EAST OF CCCL:
523 CUBIC YARDS

FILL REQUIRED FOR DUNE RESTORATION:
1445 CUBIC YARDS

TOTAL EXCAVATION EAST OF CCCL:
1420 CUBIC YARDS

TOTAL FILL EAST OF CCCL:
1968 CUBIC YARDS

NOTE:
548 CUBIC YARDS OF FILL WILL BE PROVIDED FROM EXCAVATION WEST OF THE CCCL.



LEGEND:

- - - - - EXISTING CONTOURS
- EXISTING SPOT ELEVATIONS
- - - - - PROPOSED CONTOURS
- ▨ PROPOSED ASPHALT
- ▩ PROPOSED INTERLOCKING PAVERS
- ▧ PROPOSED INTERLOCKING PAVERS
- ▦ PROPOSED INTERLOCKING PAVERS
- ▤ PROPOSED INTERLOCKING PAVERS
- ▣ PROPOSED INTERLOCKING PAVERS
- ▢ PROPOSED CONCRETE
- PROPOSED STORM TECH SC-740 UNDERGROUND INFILTRATION SYSTEM SEE DETAIL ON SHEET C-13
- PROPOSED INLET
- PROPOSED TRENCH DRAIN
- PROPOSED JUNCTION BOX
- PROPOSED MITERED END SECTION
- PROPOSED EXFILTRATION
- PROPOSED GRADES
- FLOW DIRECTION

FLORIDA DEPARTMENT OF NATURAL RESOURCES COASTAL CONSTRUCTION CONTROL LINE (CCCL) PER MAP BOOK 30, PAGE 20, & OFFICIAL RECORDS BOOK 3579, PAGE 1550-1576 PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA RECORDED ON 1/24/91.

NOTES:
1. EXISTING AND PROPOSED ELEVATIONS ARE REFERENCED TO NAVD 88.

NOTE: REFER TO SHEET C9 AND C10 FOR CROSS-SECTIONS

NO.	DATE	BY	DESCRIPTION
1	10-10-11	REV.	PER DEP. CONSULTANT COMMENTS DATED 10-14-11

**ANDY ROMANO
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT
PAVING GRADING & DRAINAGE PLAN**

CITY OF ORMOND BEACH
COUNTY OF VOLUSIA

ZEV COHEN & ASSOCIATES, INC.
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
PLANNERS - TRANSPORTATION - ENVIRONMENTAL
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PROJECT NO: 10188 DRAFTED BY: CW
ISSUE DATE: 07-21-2011 CHECKED BY: RH
DESIGNED BY: RH

DRAWING FILE: 10188.DWG
XREFS: 10188A.DWG

FILE LOCATION: -

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SCALE: 1"=30'

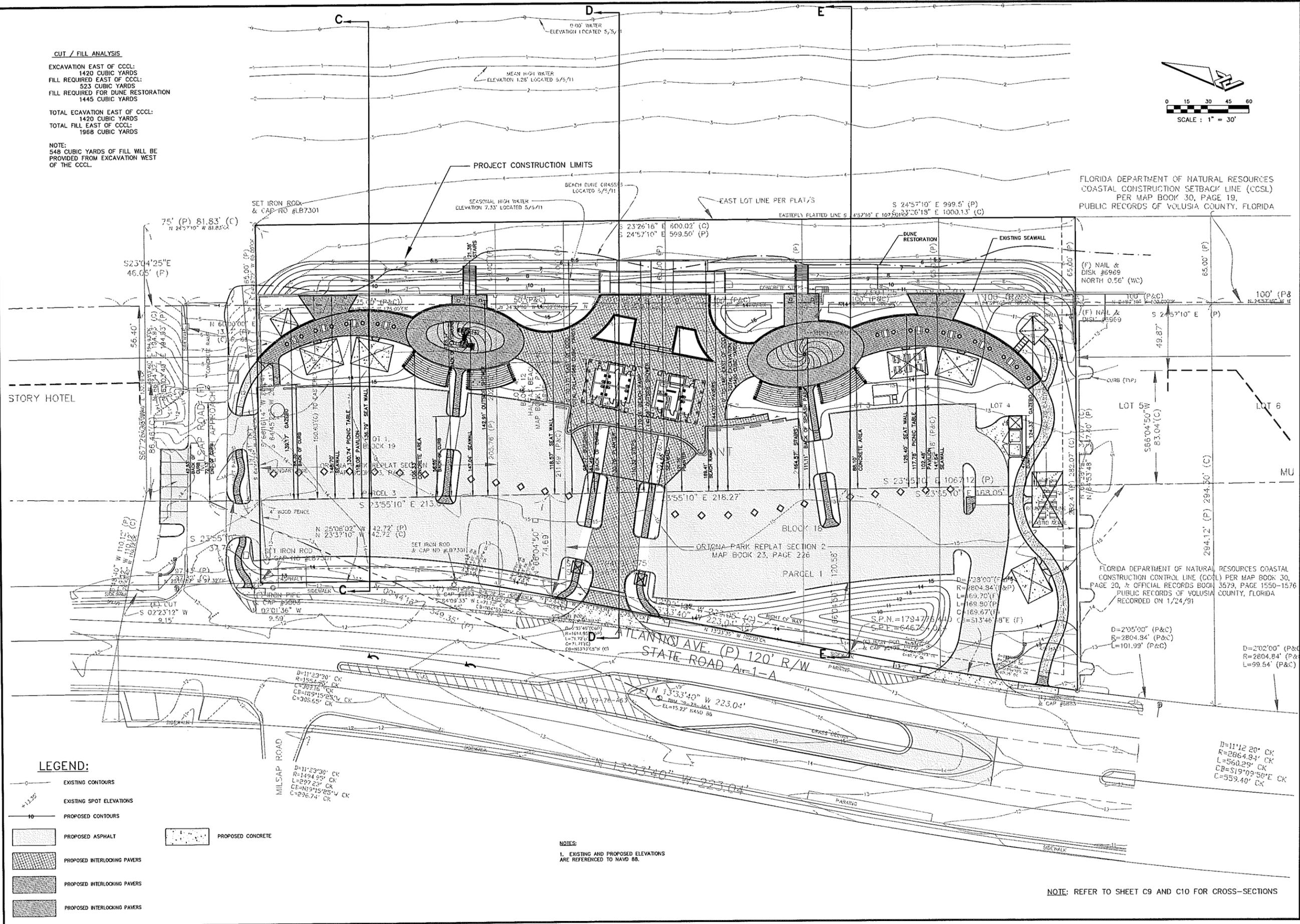
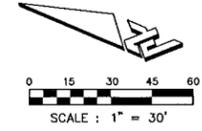
SHEET **C6** OF 16

CUT / FILL ANALYSIS

EXCAVATION EAST OF CCCL:
1420 CUBIC YARDS
FILL REQUIRED EAST OF CCCL:
523 CUBIC YARDS
FILL REQUIRED FOR DUNE RESTORATION:
1445 CUBIC YARDS

TOTAL EXCAVATION EAST OF CCCL:
1420 CUBIC YARDS
TOTAL FILL EAST OF CCCL:
1968 CUBIC YARDS

NOTE:
548 CUBIC YARDS OF FILL WILL BE PROVIDED FROM EXCAVATION WEST OF THE CCCL.



FLORIDA DEPARTMENT OF NATURAL RESOURCES
COASTAL CONSTRUCTION SETBACK LINE (CCSL)
PER MAP BOOK 30, PAGE 19,
PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA

FLORIDA DEPARTMENT OF NATURAL RESOURCES COASTAL
CONSTRUCTION CONTROL LINE (CCCL) PER MAP BOOK 30,
PAGE 20, & OFFICIAL RECORDS BOOK 3679, PAGE 1550-1576
PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA
RECORDED ON 1/24/91

LEGEND:

- EXISTING CONTOURS
- EXISTING SPOT ELEVATIONS
- PROPOSED CONTOURS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED INTERLOCKING PAVERS
- PROPOSED INTERLOCKING PAVERS
- PROPOSED INTERLOCKING PAVERS

NOTES:
1. EXISTING AND PROPOSED ELEVATIONS
ARE REFERENCED TO NAVD 88.

NOTE: REFER TO SHEET C9 AND C10 FOR CROSS-SECTIONS

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ANDY ROMANO
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT

DEF DIMENSIONING PLAN
CITY OF ORLANDO BEACH

<p>PROJECT NO: 10188</p> <p>ISSUE DATE: 07-24-2011</p> <p>DESIGNED BY: RH</p>	<p>DRAFTED BY: CW</p> <p>CHECKED BY: RH</p> <p>DATE: 07-24-2011</p> <p>FILE LOCATION: -</p>
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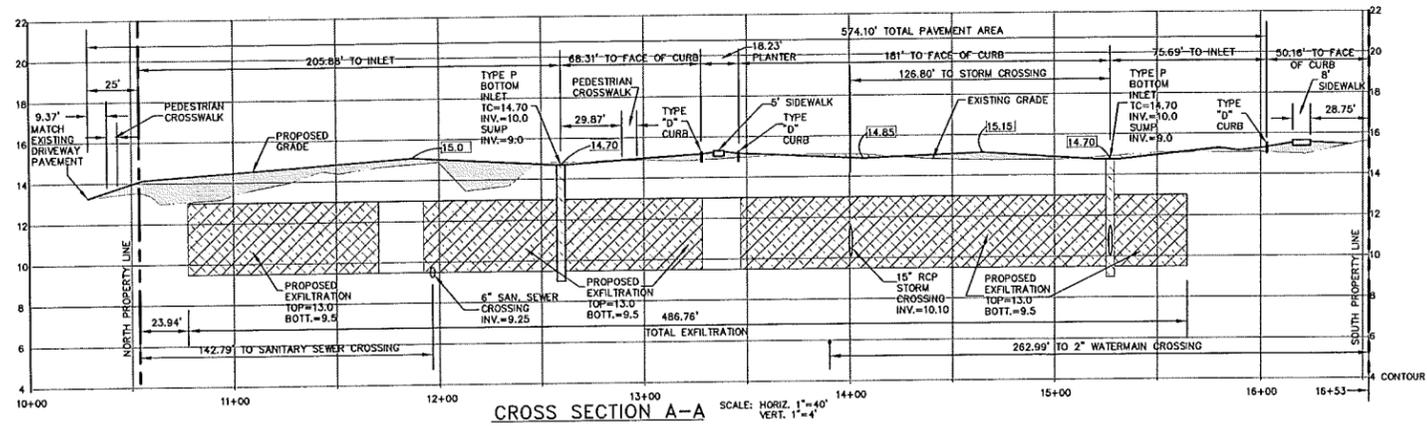
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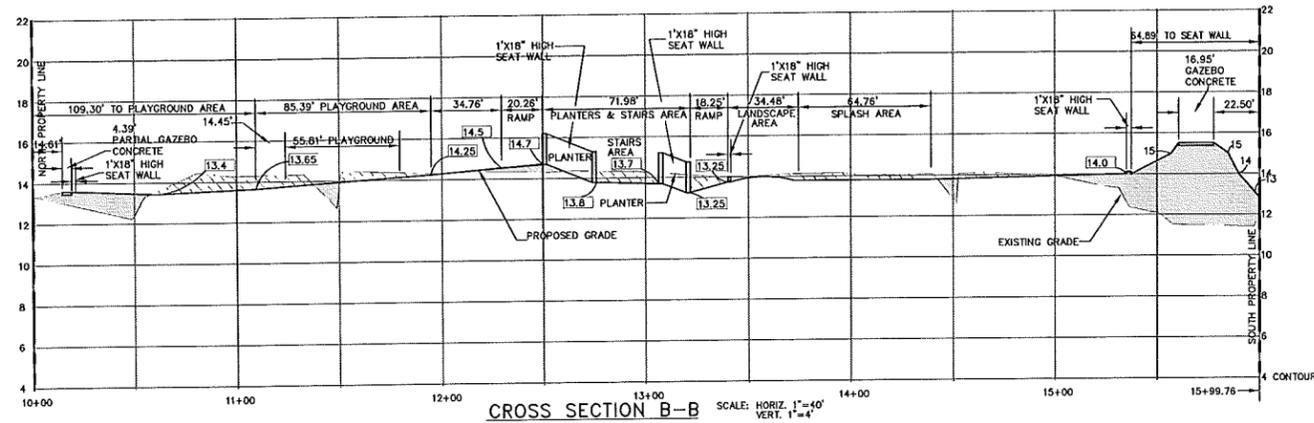
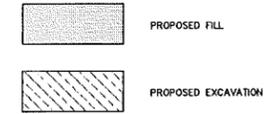
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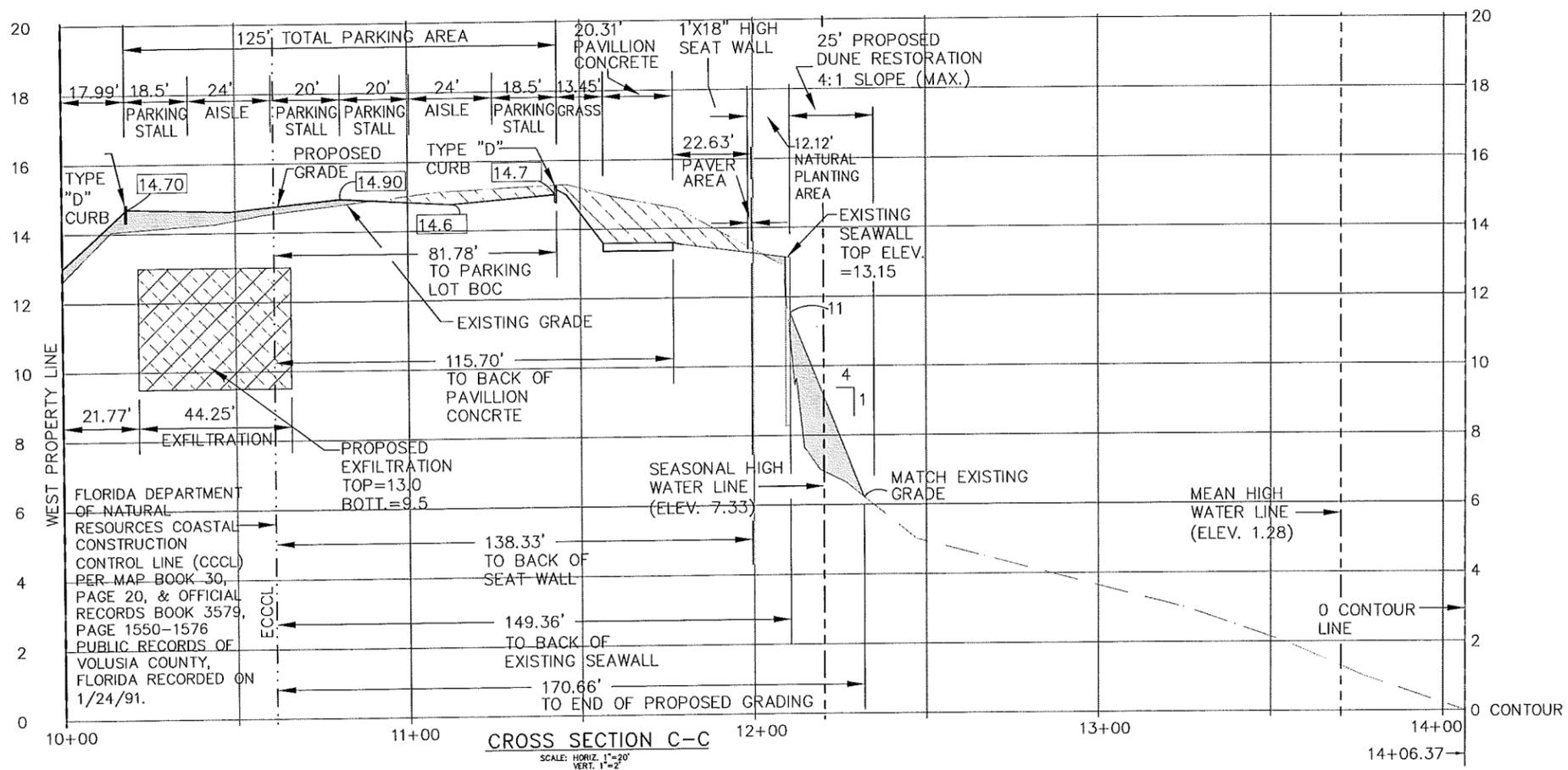
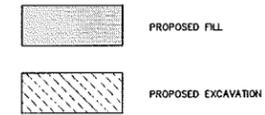
AMELIA ISLAND
1006 S. 14TH ST. STE # 101, FERNANDINA BEACH, FL 32041
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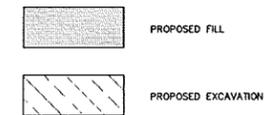
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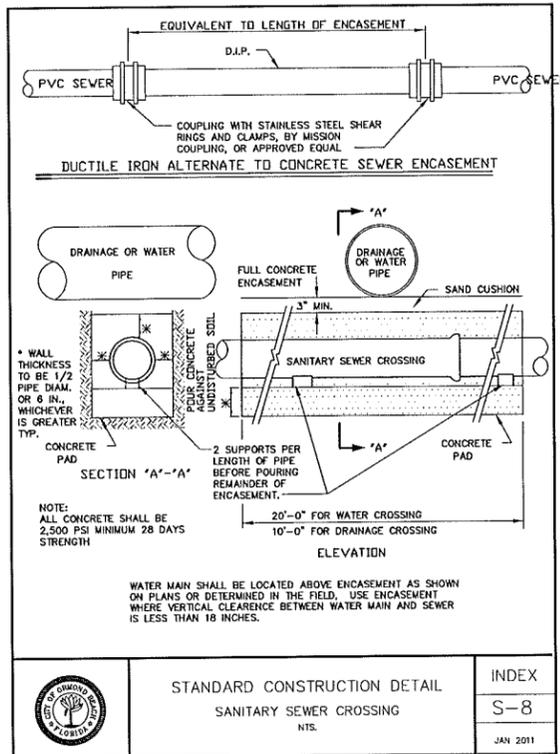
AMELIA ISLAND
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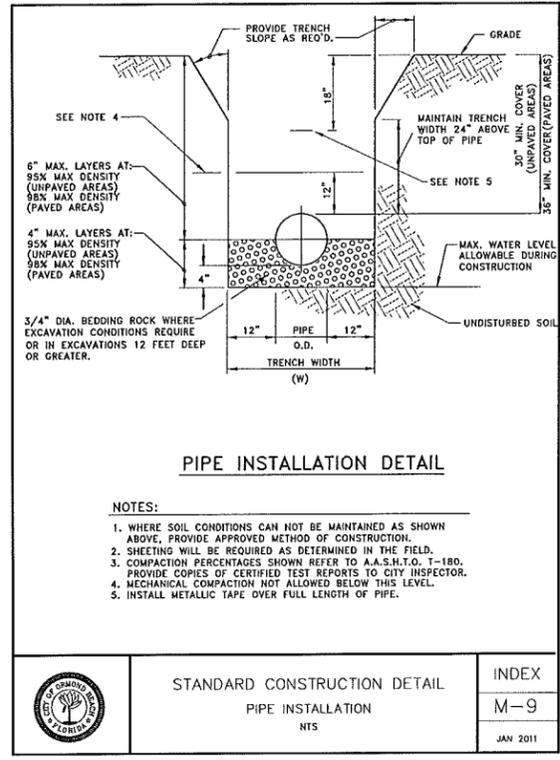
ANDY ROMANO
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT
CITY OF ORMOND BEACH
COUNTY OF VOLUSIA
CROSS-SECTIONS

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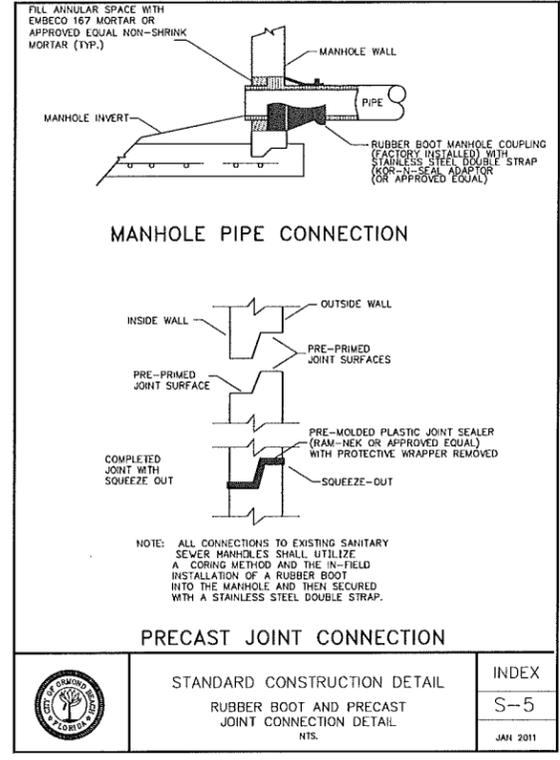
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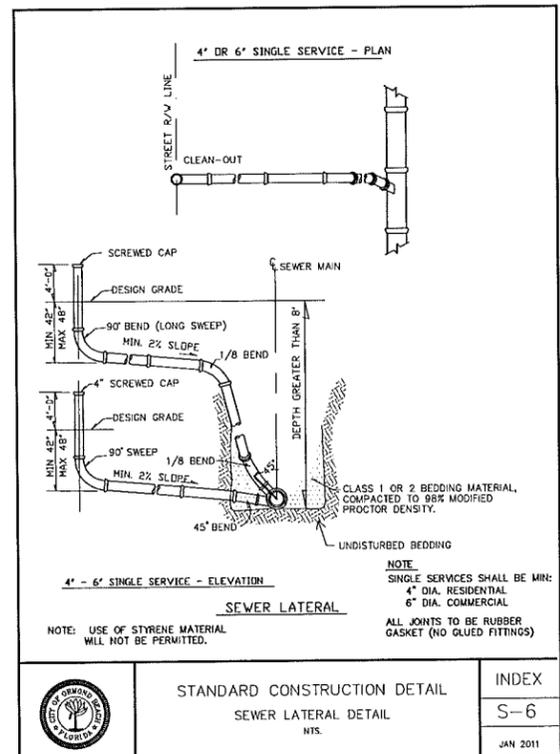
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	SANITARY SEWER CROSSING NTS.	S-8
		JAN 2011



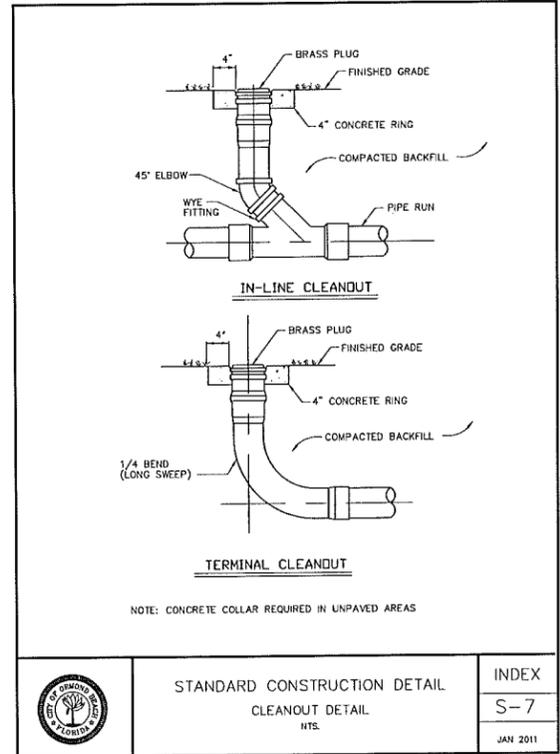
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	PIPE INSTALLATION NTS.	M-9
		JAN 2011



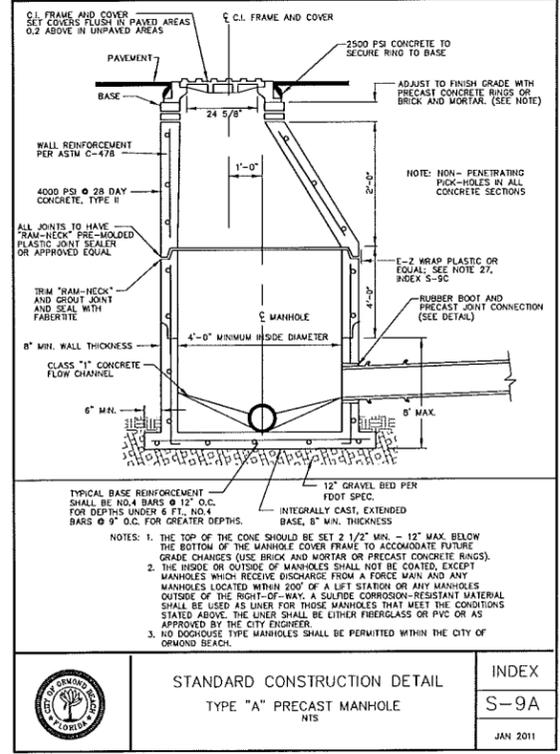
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		JAN 2011



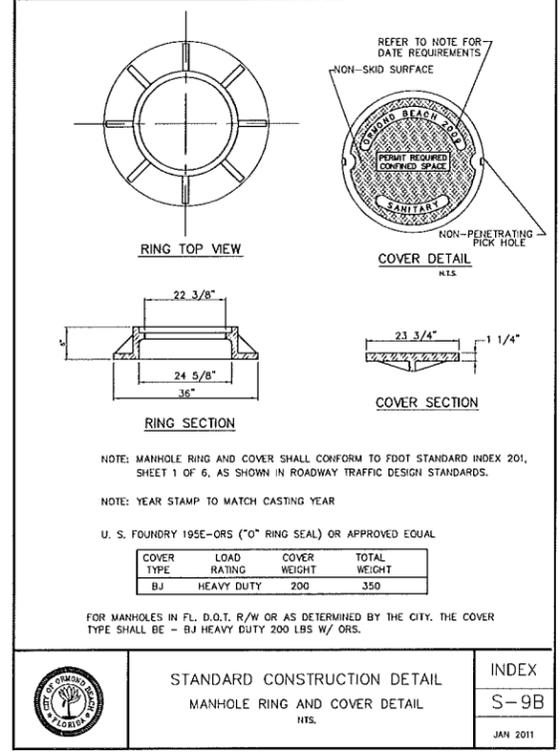
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		JAN 2011



	STANDARD CONSTRUCTION DETAIL	INDEX
	CLEANOUT DETAIL NTS.	S-7
		JAN 2011



	STANDARD CONSTRUCTION DETAIL	INDEX
	TYPE "A" PRECAST MANHOLE NTS.	S-9A
		JAN 2011



	STANDARD CONSTRUCTION DETAIL	INDEX
	MANHOLE RING AND COVER DETAIL NTS.	S-9B
		JAN 2011

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NO.	DATE	REVISIONS:

**ANDY ROMANO
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT**

CONSTRUCTION DETAILS

COUNTY OF VOLUSIA
CITY OF ORMOND BEACH

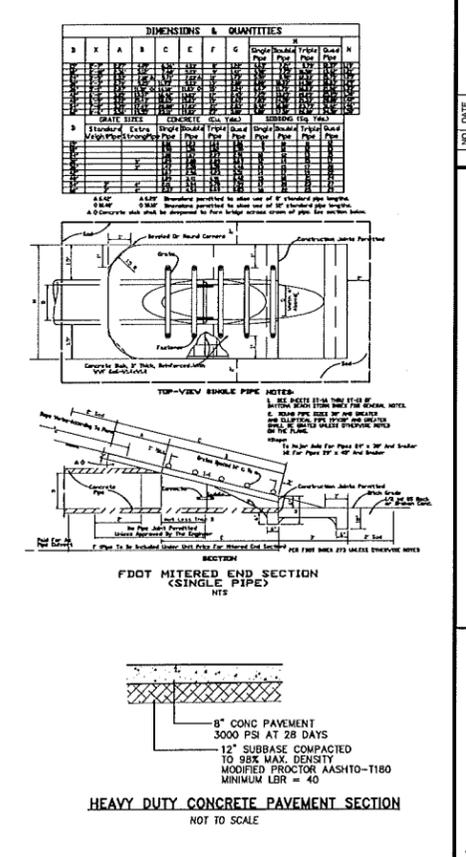
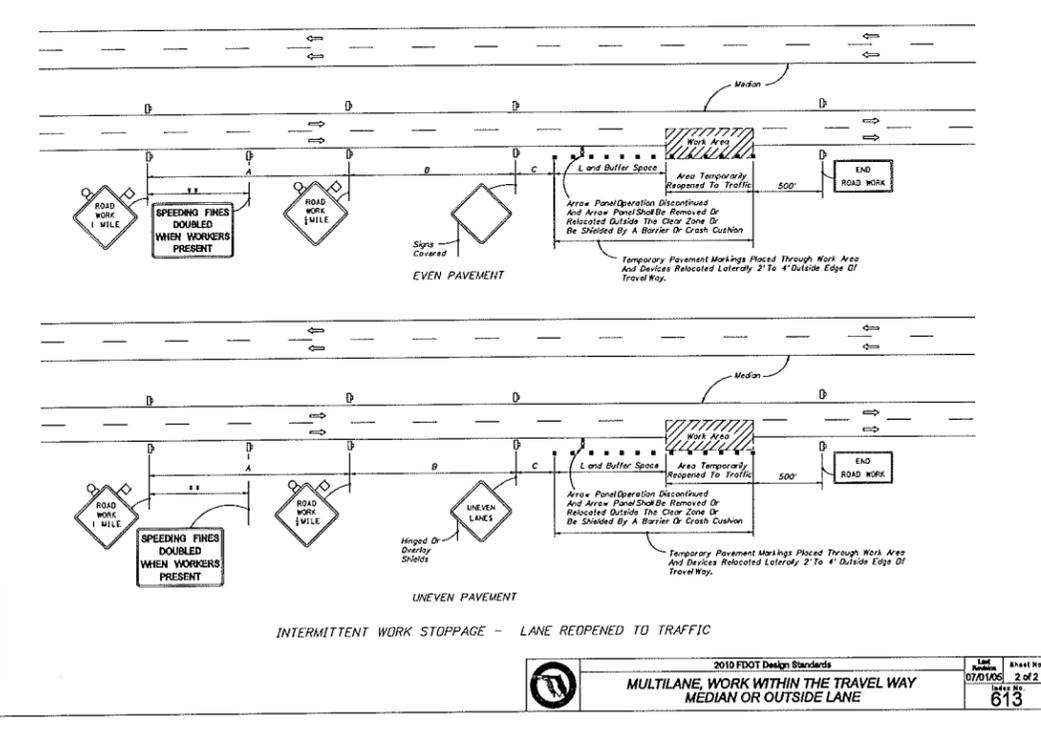
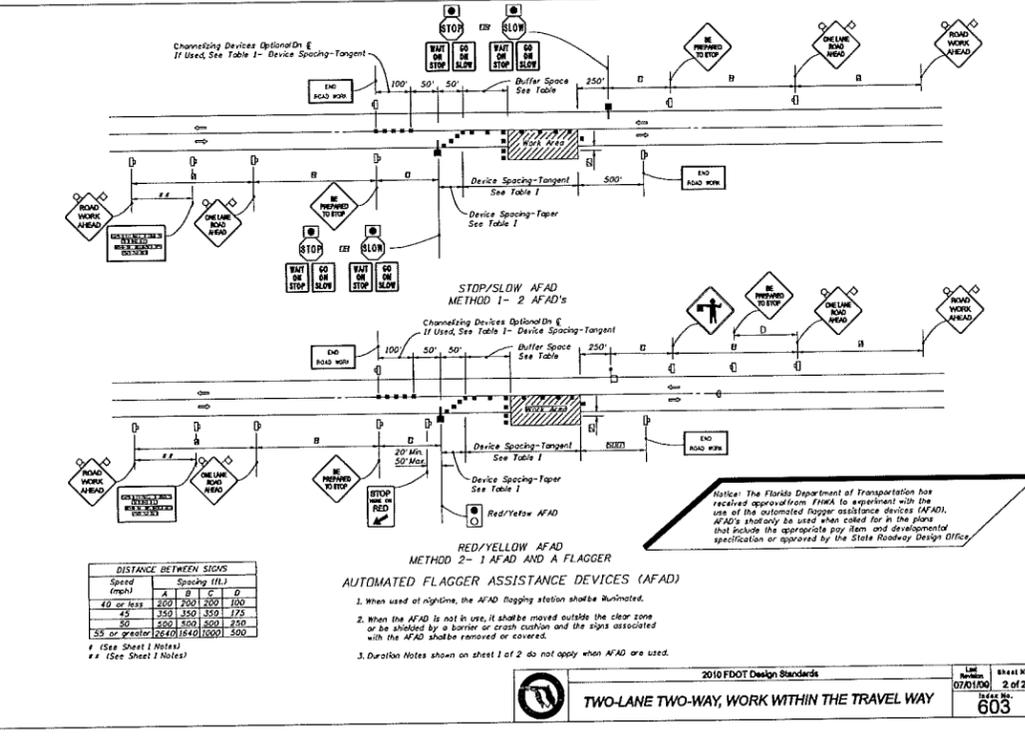
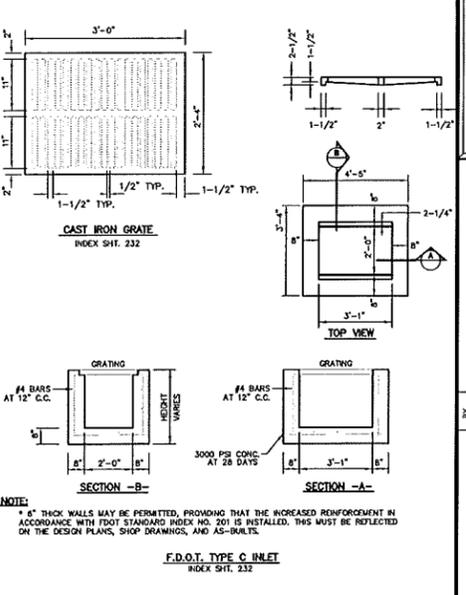
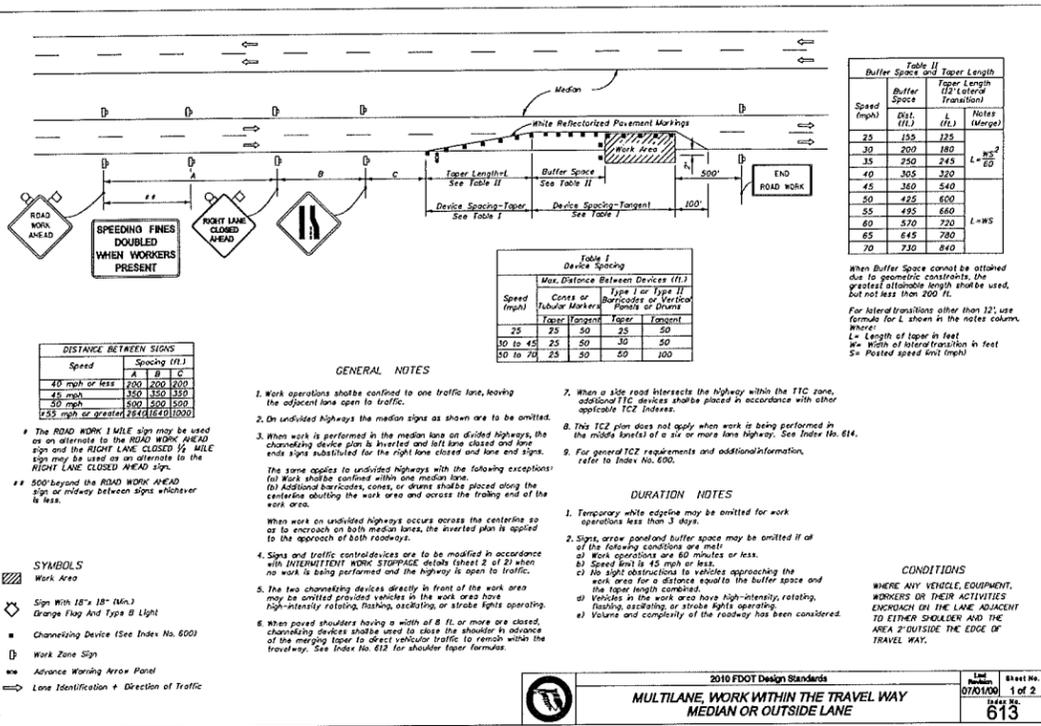
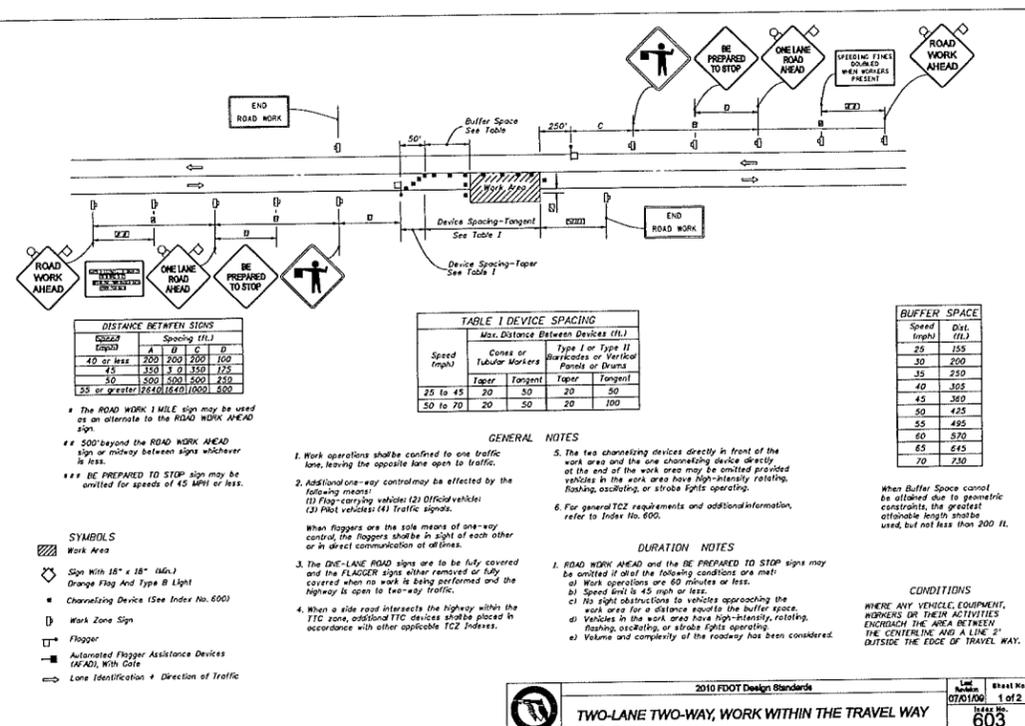
<p>ZEV COHEN & ASSOCIATES, INC. CIVIL ENGINEERS - LANDSCAPE ARCHITECTS PLANNERS - TRANSPORTATION - ENVIRONMENTAL WWW.ZEVCOHEN.COM</p>	PROJECT NO:	10188	DRAFTED BY: CW	CHECKED BY: RH
	ISSUE DATE:	07-27-2011		
	DESIGNED BY:	RH	DRAWING FILE: 101882102.DWG	XREFS: X000000.DWG

FILE LOCATION: -

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SCALE: AS SHOWN

SHEET **C11** OF 16





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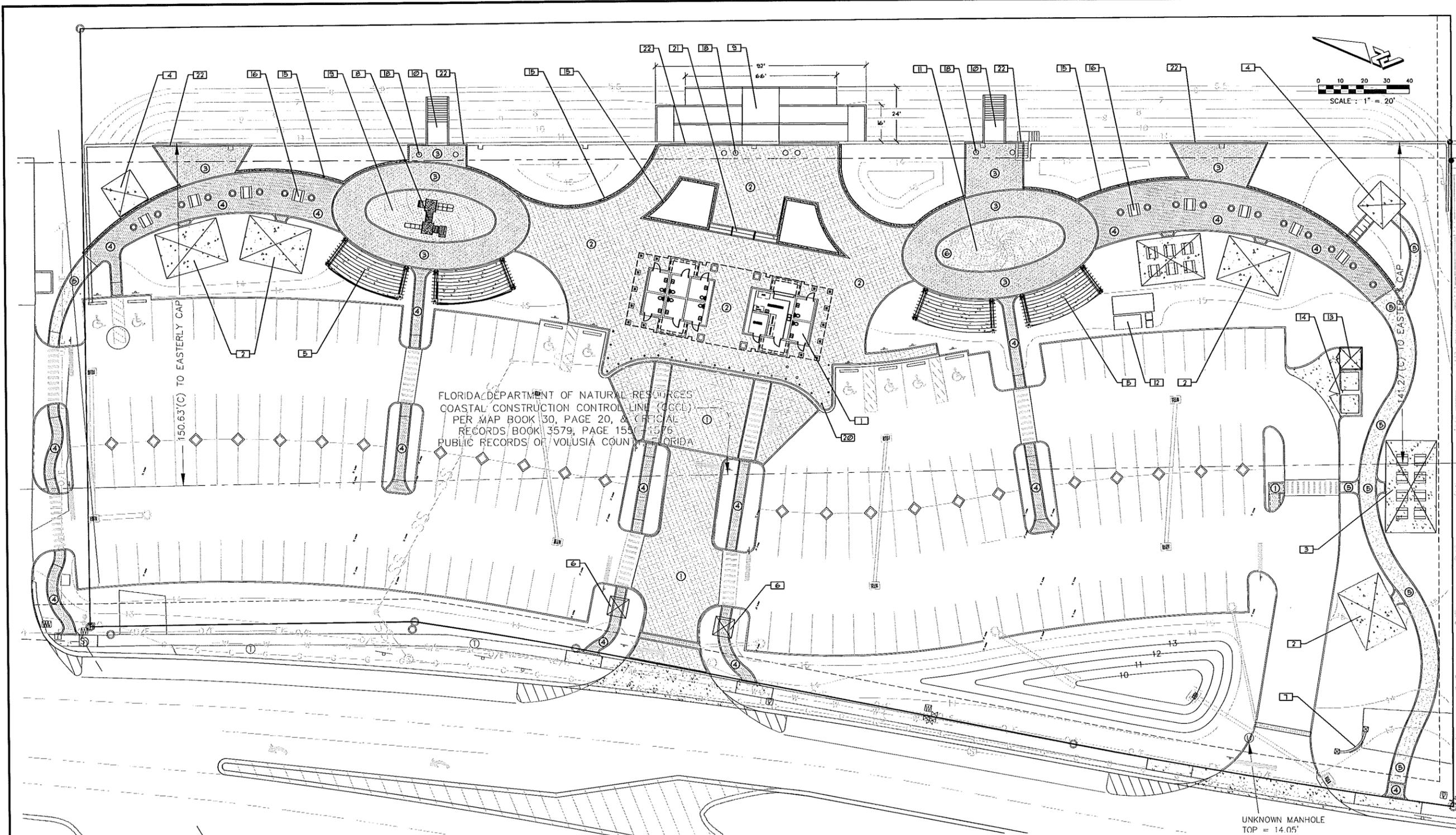
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 4475 U.S. 1, S. 67E #01 ST. AUGUSTINE, FL 32086
 (904) 797-6100 FAX (904) 797-4199

AMELIA ISLAND
 1606 S. 47th STREET PALM BEACH GARDENS, FL 33409
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PROJECT NO: 10188 DRAFTED BY: CMV
 ISSUE DATE: 07-24-2011 CHECKED BY: RH
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 SHEET C15 OF 16



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 1908 SOUTH HALE ST. #103 ORMOND BEACH, FL 32136
 (904) 467-5458 FAX (904) 467-5479
 EDgewater
 1845 W. STATE ST. #200
 ORLANDO, FL 32811
 (407) 242-0225 OFFICE FAX

NO.	DATE	DESCRIPTION

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ANDY ROMANO
 BEACHFRONT PARK
 PLANNED BUSINESS DEVELOPMENT
 HARDSCAPE PLAN & DETAILS
 VOLUSIA COUNTY, FLORIDA
 CITY OF ORMOND BEACH

HARDSCAPE LEGEND

SITE AMENITIES

- 1 RESTROOM/CONCESSION BUILDING
REFERENCE ARCH. PLANS FOR DETAILS
- 2 FAMILY PAVILION (5) - 20'x28'
REFERENCE ARCH. PLANS FOR DETAILS
- 3 GROUP PAVILION - 20'x40'
REFERENCE ARCH. PLANS FOR DETAILS
- 4 OVERLOOK PAVILION (2) - 15'x15'
REFERENCE ARCH. PLANS FOR DETAILS
- 5 TRELLIS (4)
SEE DETAIL #3, SHEET HA3
- 6 ENTRY/GATEWAY MONUMENT (2)
REFERENCE ARCH. PLANS FOR DETAILS
- 7 ENTRY SIGN (2)
SEE DETAIL #2, SHEET HA3
- 8 PLAYGROUND
REFERENCE ARCH. PLANS FOR DETAILS
- 9 ADA BEACH RAMP
SEE DETAIL #1, SHEET HA2
- 10 BEACH CROSSOVER (2)
SEE DETAIL #2, SHEET HA2
- 11 SPLASH PARK
(2) 30" CAST BRONZE, FLUSH MOUNT SPRAY NOZZLES,
MANUFACTURER TBD
- 12 SPLASH PARK EQUIPMENT
RESERVOIR W/ BACKWASH DRAIN, 4 REDYMET TRAP, MANUFACTURER TBD
- 13 STORAGE SHED - 10'x10'
REFERENCE ARCH. PLANS FOR DETAIL
- 14 DUMPSTER ENCLOSURE
REFERENCE CIVIL DRAWINGS FOR DETAIL

- 15 SEAT WALL
SEE DETAILS #6-11, SHEETS HA2-3
- 16 PICNIC TABLE
CONCRETE TABLE, STD. SIZE, MANUFACTURER TBD
- 17 BBQ GRILL
PEDESTAL MOUNT, COATED METAL, STD. PARK SIZE,
MANUFACTURER TBD
- 18 SHOWER/RINSE STATION (8)
SEE DETAIL #4, SHEET HA2
- 19 POURED-IN-PLACE SAFETY SURFACING
SAF-DEK, BI-COLOR (TBD), APPROX. 300 SF
- 20 SECURITY BOLLARDS (23)
STEEL, 8" BEDDED, 48" HT. (36" ABOVE GRADE),
MANUFACTURER TBD
- 21 STAIRS W/ HANDRAIL
SEE DETAIL #5, SHEET HA2
- 22 FENCING
PRESSURE TREATED PINE WITH STAINLESS STEEL WIRE
PICKETS, MANUFACTURER TBD

HARDSCAPE SURFACE MATERIALS & SPECIFICATIONS
 (SEE PAVEMENT INSTALLATION NOTES & SPECIFICATIONS SHEET HA3)

- 1 PRODUCT: CONCRETE PAVERS
SIZE: 12"x12"
COLOR: TBD
PATTERN: ALIGNED, 45° ANGLE
MANUFACTURER/
REP CONTACT: TBD
- 2 PRODUCT: CONCRETE PAVERS
SIZE: 12"x12"
COLOR: TBD
PATTERN: ALIGNED, 45° ANGLE
MANUFACTURER/
REP CONTACT: TBD
- 3 PRODUCT: CONCRETE PAVERS
SIZE: 4"x8"
COLOR: TBD
PATTERN: HERRINGBONE/TBD
MANUFACTURER/
REP CONTACT: TBD
- 4 PRODUCT: CONCRETE PAVERS
SIZE: 6"x6" & 6"x9" COMBO
COLOR: TBD
PATTERN: T-PATTERN
MANUFACTURER/
REP CONTACT: TBD
- 5 PRODUCT: SHELL AGGREGATE PAVEMENT
SIZE: 8"x8"
COLOR: CREAM/TAN
PATTERN: ALIGNED, 45° ANGLE
MANUFACTURER/
REP CONTACT: TBD
- 6 PRODUCT: COLORED CONCRETE
SIZE: 6" DEPTH
COLOR: BI-COLOR, TBD
PATTERN: AS SHOWN
MANUFACTURER/
REP CONTACT: L.M. SCOFIELD COMPANY

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 & ASSOCIATES, INC.
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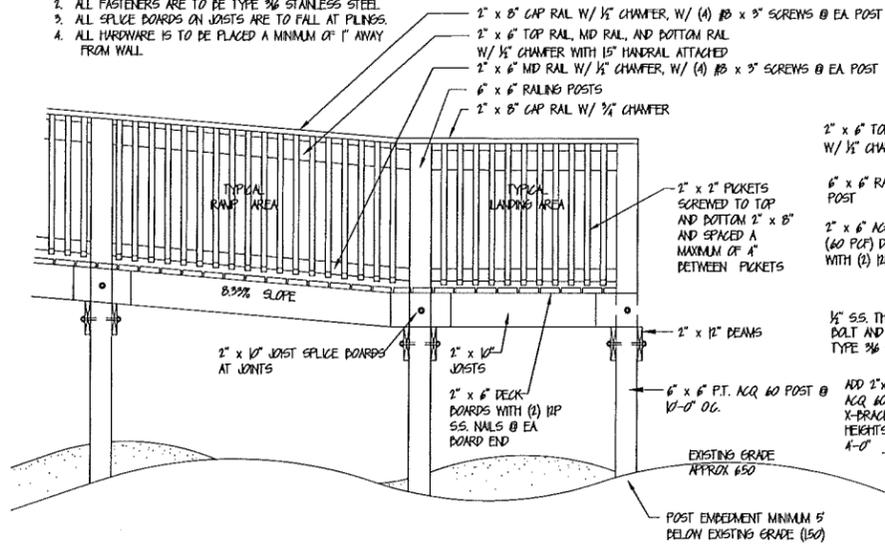
PROJECT NO: 10188
 DRAFTED BY: SRK
 CHECKED BY: PM
 DESIGNED BY: PM/SRK

FILE LOCATION

NOT VALID WITHOUT EMBOSSED SEAL
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 SHEET
HA1 OF 3

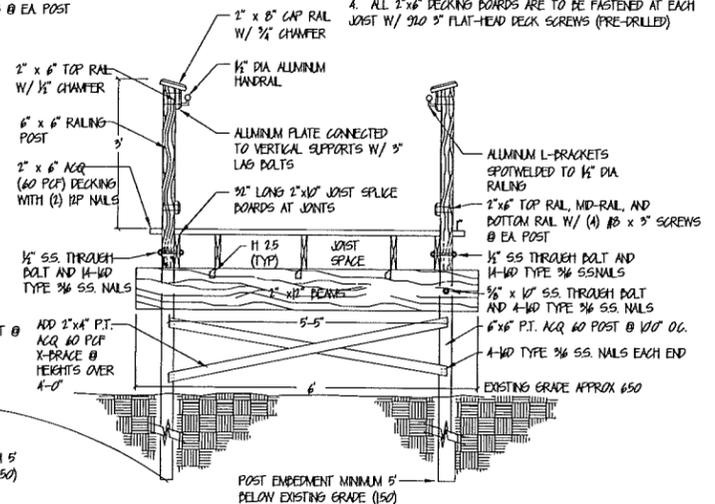
NOTES:

1. ALL WOOD MEMBERS ARE TO BE PRESSURE TREATED ACQ (40 PCF)
2. ALL FASTENERS ARE TO BE TYPE 316 STAINLESS STEEL
3. ALL SPLICE BOARDS ON JOISTS ARE TO FALL AT PLINGS
4. ALL HARDWARE IS TO BE PLACED A MINIMUM OF 1" AWAY FROM WALL



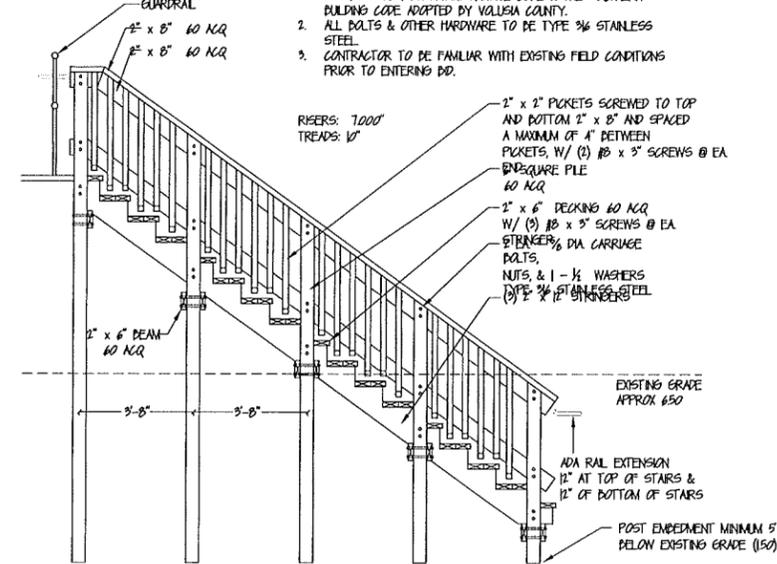
NOTES:

1. ALL WOOD MEMBERS ARE TO BE PRESSURE TREATED ACQ (40 PCF)
2. ALL FASTENERS ARE TO BE TYPE 316 STAINLESS STEEL
3. ALL SPLICE BOARDS ON JOISTS ARE TO FALL AT PLINGS
4. ALL 2"x6" DECKING BOARDS ARE TO BE FASTENED AT EACH JOIST W/ 9/16" 5" FLAT-HEAD DECK SCREWS (PRE-DRILLED)



NOTES:

1. MINIMUM CONSTRUCTION STANDARDS ARE COVERED BY THE STATE OF FLORIDA ADMINISTRATIVE CODE & THE SOUTHERN BUILDING CODE ADOPTED BY VALUOLA COUNTY.
2. ALL BOLTS & OTHER HARDWARE TO BE TYPE 316 STAINLESS STEEL.
3. CONTRACTOR TO BE FAMILIAR WITH EXISTING FIELD CONDITIONS PRIOR TO ENTERING DD.



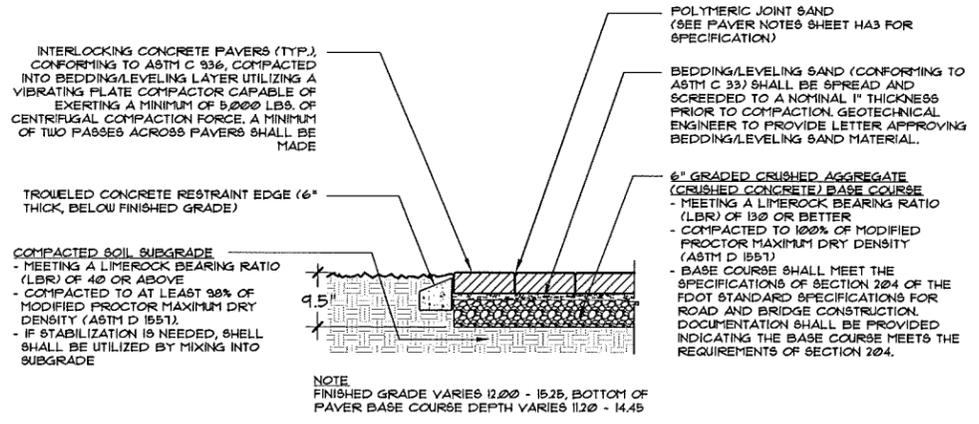
1 BEACH ACCESS RAMP DETAIL

N.T.S.

2 TYPICAL BEACH CROSSOVER DETAIL

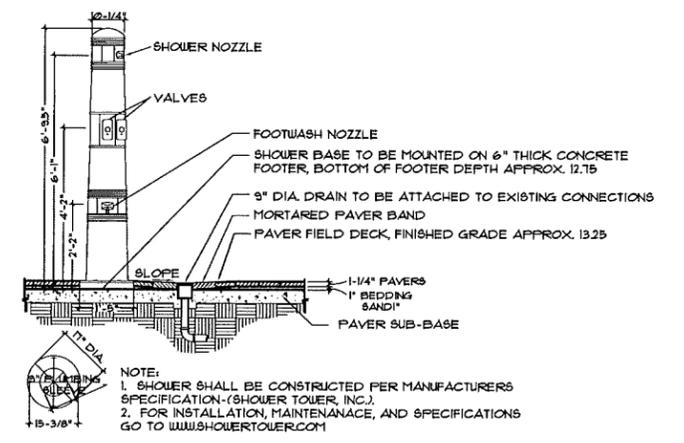
N.T.S.

NOTE
THE SOIL SUBGRADE SHALL BE INSPECTED FOR ANY DELETERIOUS MATERIALS INCLUDING, BUT NOT LIMITED TO, ORGANIC MATERIALS, PLASTIC (CLAYEY) SOILS, DEBRIS, LARGE ROCKS, ETC. IF PRESENT, THEY SHALL BE REMOVED AND REPLACED WITH CLEAN, STRUCTURAL BACKFILL. STRUCTURAL BACKFILL SHALL BE DEFINED AS A CLEAN FINE SAND, CLASSIFIED AS "SP" IN THE UNIFIED SOIL CLASSIFICATION SYSTEM. CONTRACTOR SHALL RETAIN GEOTECHNICAL ENGINEER FOR QUALITY CONTROL TESTING SERVICES (LBR, DENSITY TESTING, ETC.)



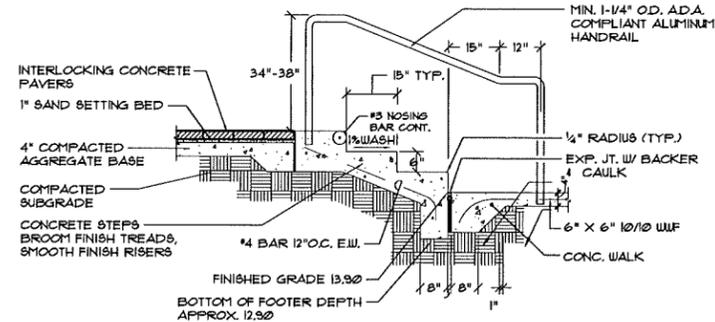
3 PAVER INSTALLATION OVER COMPACTED SOIL SUBGRADE DETAIL

N.T.S.



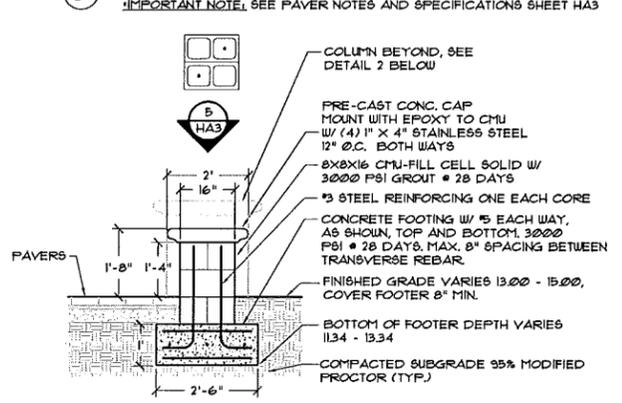
4 SHOWER/RINSE TOWER INSTALLATION DETAIL

N.T.S.



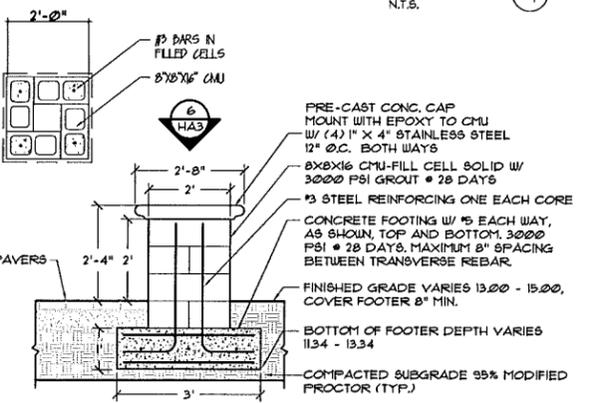
5 RAILING DETAIL

N.T.S.



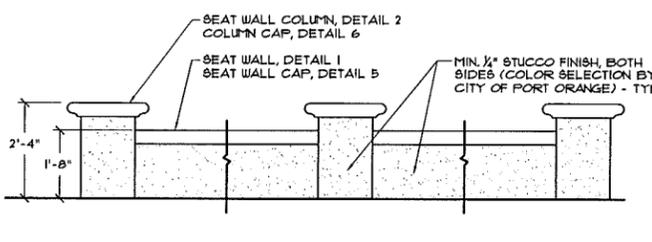
6 SEAT WALL - SECTION

SCALE: 1/4" = 1"



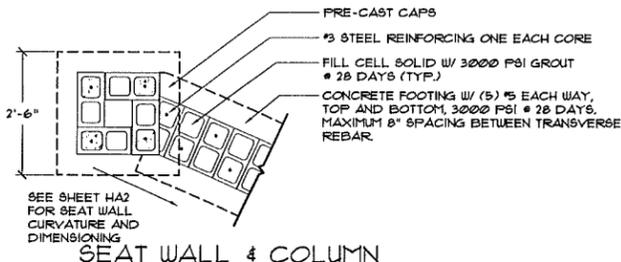
7 SEAT WALL COLUMN - SECTION

SCALE: 1/4" = 1"



8 SEAT WALL - ELEVATION

SCALE: 1/4" = 1"



9 SEAT WALL & COLUMN INTERSECTION DETAIL

SCALE: 1/4" = 1"



ZEV COHEN & ASSOCIATES, INC.
300 INTERCOASTAL BLVD., ORLANDO BEACH, FL 32774
(386) 877-4442 FAX (386) 877-2505
ST. AUGUSTINE
4475 U.S. 1, STE #607, ST. AUGUSTINE, FL 32086
(386) 774-1141
VALUOLA ISLAND
1000 SOUTH W. 14th, STE #122 TERRELLA BEACH, FL 32084
(904) 491-5400 FAX (904) 491-5479
1940 AIRWAY RD., EDgewater, FL 32141
(386) 624-6282 OFFICE AND FAX

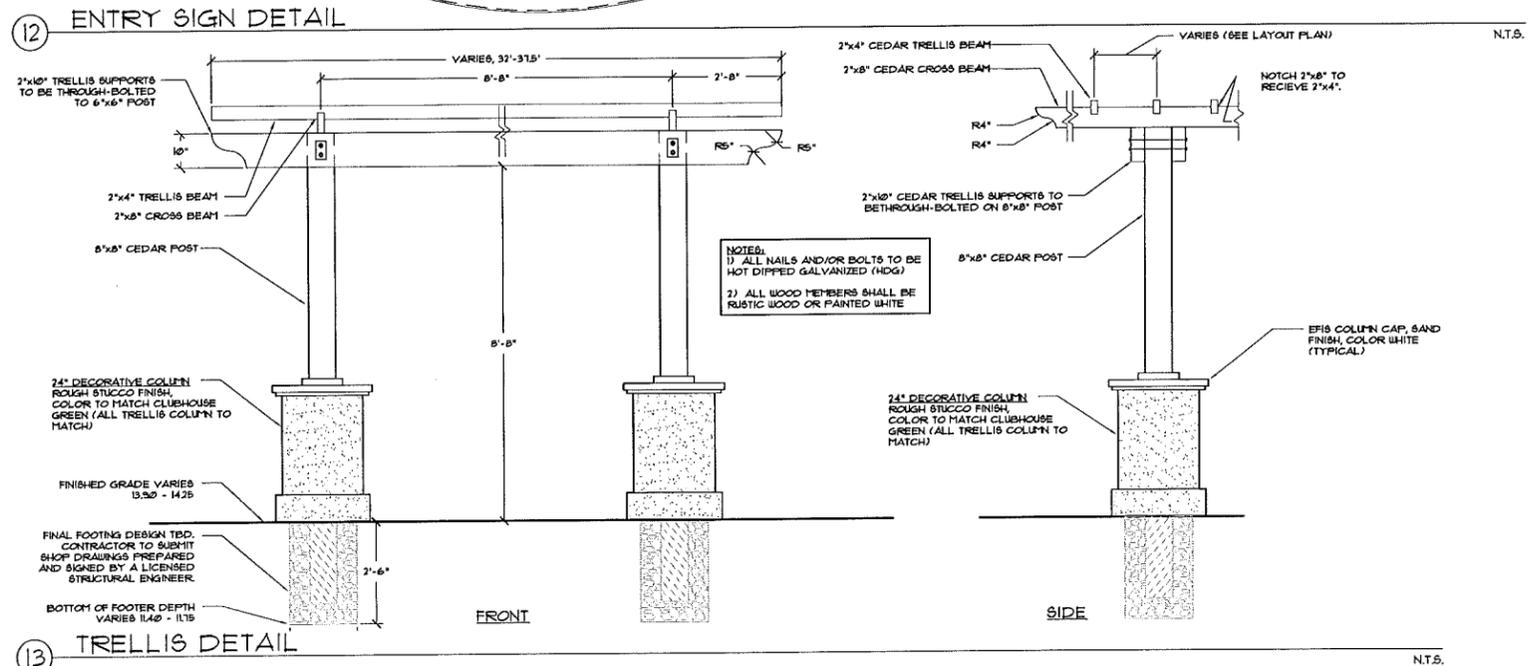
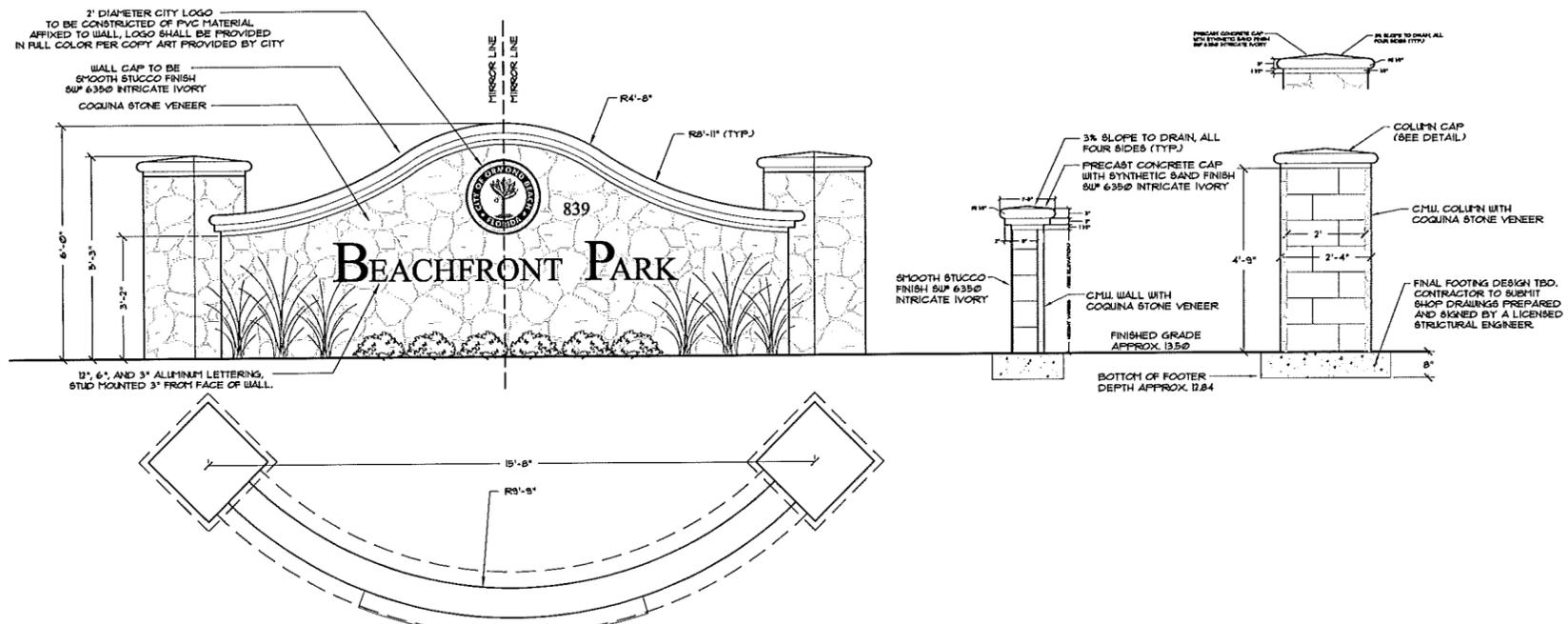
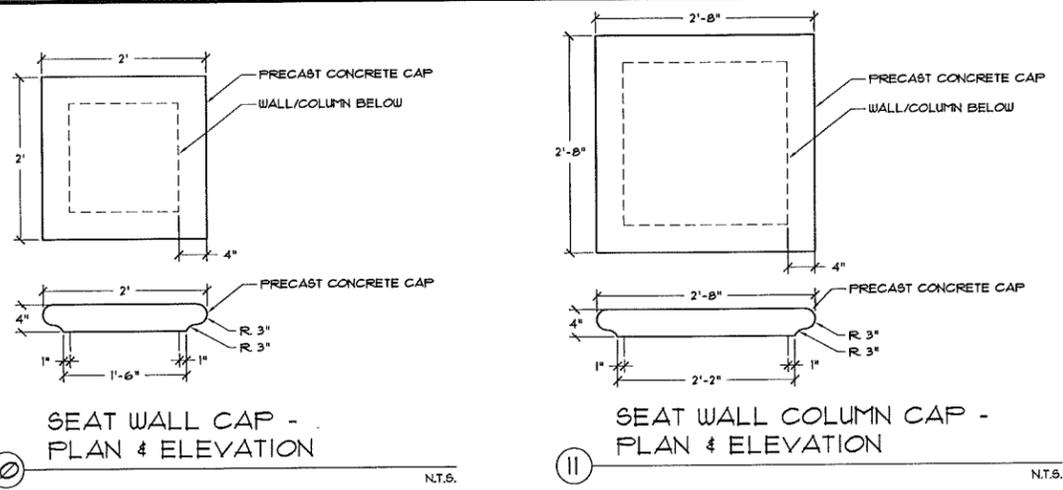
NO.	DATE	DESCRIPTION

ANDY ROMANO
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT
HARDSCAPE PLAN & DETAILS
CITY OF ORLANDO BEACH, FLORIDA
VOLUOLA COUNTY

ZEV COHEN & ASSOCIATES, INC.
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
PLANNERS - TRANSPORTATION - ENVIRONMENTAL
PROJECT NO: 10108
ISSUE DATE: 09/01/11
DESIGNED BY: PM/EBK
CHECKED BY: BIK
DRAWING FILE: 10101011
XREFS: 10101011

FILE LOCATION: 1
NOT VALID WITHOUT EMBOSSED SEAL
SCALE: 1" = 20'
SHEET: HA2 OF 3

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NOT FOR CONSTRUCTION



INTERLOCKING CONCRETE PAVERS

PAVER MANUFACTURER:
ALL PAVERS SPECIFIED ARE TO BE MANUFACTURED BY OLDCASTLE COASTAL. CONTACT: STEVE KUZOIAN (321) 275-6672

SUBMITTALS:

A. CONCRETE PAVERS:
FOUR (4) REPRESENTATIVE FULL-SIZE SAMPLES OF EACH PAVER TYPE, THICKNESS, COLOR, FINISH THAT INDICATE RANGE OF COLOR VARIATION AND TEXTURE EXPECTED IN THE FINISHED INSTALLATION, COLOR(S) SELECTED BY LANDSCAPE ARCHITECT FROM MANUFACTURER'S AVAILABLE COLORS AND/OR CUSTOM COLORS. ACCEPTED SAMPLES BECOME THE STANDARD OF ACCEPTANCE FOR THE WORK.

B. PAVER INSTALLATION SUBCONTRACTOR:
1. A COPY OF SUBCONTRACTOR'S CURRENT CERTIFICATE FROM THE INTERLOCKING CONCRETE PAVEMENT INSTITUTE (ICPI) CONCRETE PAVER INSTALLER CERTIFICATION PROGRAM.
2. JOB REFERENCES FROM PROJECTS OF SIMILAR SIZE AND COMPLEXITY. PROVIDE OWNER/CLIENT/GENERAL CONTRACTOR NAMES, POSTAL ADDRESS, PHONE, FAX, AND EMAIL ADDRESS.

QUALITY ASSURANCE:

A. PAVING SUBCONTRACTOR QUALIFICATIONS:
1. UTILIZE AN INSTALLER HAVING SUCCESSFULLY COMPLETED CONCRETE PAVER INSTALLATION SIMILAR IN DESIGN, MATERIAL, AND EXTENT INDICATED ON THIS PROJECT.
2. UTILIZE AN INSTALLER HOLDING A CURRENT CERTIFICATE FROM THE INTERLOCKING CONCRETE PAVEMENT INSTITUTE (ICPI) CONCRETE PAVER INSTALLER CERTIFICATION PROGRAM.

B. MOCK-UPS:
1. INSTALL A 1'x1' PAVER AREA.
2. USE THIS AREA TO DETERMINE SURCHARGE OF THE BEDDING SAND LAYER, JOINT SIZES, LINES, LAYING PATTERN(S), COLOR(S), AND TEXTURE OF THE JOB.
3. THIS AREA WILL BE USED AS THE STANDARD BY WHICH THE WORK WILL BE JUDGED UPON FINAL INSPECTION.
4. SUBJECT TO APPROVAL BY OWNER, MOCK-UP MAY BE RETAINED AS PART OF FINISHED WORK.
5. IF MOCK-UP IS NOT RETAINED, REMOVE AND PROPERLY DISPOSE OF MOCK-UP.

DELIVERY, STORAGE, & HANDLING:

COMPLY WITH MANUFACTURER'S ORDERING INSTRUCTIONS AND LEAD-TIME REQUIREMENTS TO AVOID CONSTRUCTION DELAYS

A. DELIVERY:
DELIVER MATERIALS IN MANUFACTURER'S ORIGINAL, UNOPENED, UNDAMAGED CONTAINERS PACKAGING WITH IDENTIFICATION LABELS INTACT.

B. STORAGE & PROTECTION:
1. STORE MATERIALS PROTECTED SUCH THAT THEY ARE KEPT FREE FROM MUD, DIRT, AND OTHER FOREIGN MATERIALS. STORE CONCRETE PAVER CLEANERS AND SEALERS PER MANUFACTURER'S SPECIFICATIONS.
2. COVER BEDDING SAND AND JOINT SAND WITH WATERPROOF COVERING IF NEEDED TO PREVENT EXPOSURE TO RAINFALL OR REMOVAL BY WIND. SECURE THE COVERING IN PLACE.
3. AFTER APPLICATION, SURFACE SHOULD BE ALLOWED TO SET FOR 24 HOURS BEFORE DRIVING ON THE SURFACE.

PRODUCT SUBSTITUTIONS:

NO SUBSTITUTIONS ARE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT.

BEDDING AND JOINT SAND:

PROVIDE BEDDING AND JOINT SAND AS FOLLOWS:

1. WASHED, CLEAN, NON-PLASTIC, FREE FROM DELETERIOUS OR FOREIGN MATTER, SYMMETRICALLY SHAPED, NATURAL OR MANUFACTURED FROM CRUSHED ROCK.
2. DO NOT USE LIMESTONE SCREENINGS, CRUSHED SHELL, STONE DUST, OR SAND FOR THE BEDDING SAND MATERIAL THAT DO NOT CONFORM TO THE GRADING REQUIREMENTS OF ASTM C 33.
3. DO NOT USE MASON SAND OR SAND CONFORMING TO ASTM C144 FOR THE BEDDING SAND.
4. WHERE CONCRETE PAVERS ARE SUBJECT TO VEHICULAR TRAFFIC, UTILIZE SANDS THAT ARE AS HARD AS PRACTICALLY AVAILABLE.
5. SIEVE ACCORDING TO ASTM C 136.

IMPORTANT NOTE:
WHERE BELGARD 'URBANA' PAVERS ARE PROPOSED, TECHNISEAL R31 (GRAY) POLYMERIC SAND IS TO BE APPLIED IN PLACE OF JOINT SAND MENTIONED ABOVE.

ACCESSORY TREATMENTS:

CLEANER AND SEALER LISTED BELOW SHALL BE UTILIZED FOR THIS PROJECT AND SHALL BE BY TECHNISEAL (800-465-1325), TECHNISEAL.COM UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT. THE FOLLOWING TECHNISEAL PRODUCTS SHALL BE APPLIED IN THE FOLLOWING ORDER TO MANUFACTURER'S SPECIFICATIONS:

1. CONCRETE PAVER CLEANER: TECHNISEAL HC HARDCAPE CLEANER FOR PAVERS AND SLABS
2. CONCRETE PAVER SEALER: TECHNISEAL UL 4 PROTECTOR FOR PAVERS AND SLABS

APPLICATION OF PAVER CLEANER AND SEALER SHALL BE APPLIED WITH THE FOLLOWING CONSIDERATIONS BEING MADE PRIOR TO APPLICATION:

1. SURFACES MUST BE CLEAN, DRY (24 HOURS WITHOUT PRECIPITATION), AND WARM TO THE TOUCH.
2. TEMPERATURES BETWEEN 50 DEGREES AND 85 DEGREES FAHRENHEIT.
3. AFTER APPLICATION, SURFACE SHOULD BE ALLOWED TO SET FOR 24 HOURS BEFORE DRIVING ON THE SURFACE.



ANDY ROMANO & ASSOCIATES, INC. 2010
300 INTERCHANGE BLVD., ORLANDO BEACH, FL 32774
(407) 975-0725
4477 U.S. 1, STE 407, ST. AUGUSTINE, FL 32086
(800) 797-1810 FAX (904) 797-4159
1008 SOUTH LANTANA STREET, ORLANDO BEACH, FL 32064
(904) 491-5435 FAX (904) 491-5473
1949 WINDWARD FOREVER, FL 32111
(407) 925-0535 OFFICE AND FAX

NO.	DATE	DESCRIPTION

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ANDY ROMANO & ASSOCIATES, INC.
BEACHFRONT PARK
PLANNED BUSINESS DEVELOPMENT
HARDCAPE PLAN & DETAILS
VOLUSIA COUNTY, FLORIDA
CITY OF ORLANDO BEACH

ZEV COHEN & ASSOCIATES, INC. CIVIL ENGINEERS - LANDSCAPE ARCHITECTS PLANNERS - TRANSPORTATION - ENVIRONMENTAL	DRAFTED BY: SKK WWW.ZEVCOHEN.COM
PROJECT NO: 0108 ISSUE DATE: 09/11	CHECKED BY: PM DESIGNED BY: PM / SKK

FILE LOCATION: _____
NOT VALID WITHOUT EMBOSSED SEAL
SCALE: 1" = 2'
SHEET HA3 OF 3



ZEV COHEN & ASSOCIATES, INC.
 300 INTERCHANGE BLVD., ORMOND BEACH, FL 32174
 (386) 877-2425 FAX (386) 877-2505
 4479 U.S. 1 S. STE 801 ST. AUGUSTINE, FL 32086
 (904) 827-1425
 1800 SOUTH 14 ST., STE 401 FERNANDINA BEACH, FL 32044
 (904) 461-5400 FAX (904) 491-5479
 190 ASPENWOOD, EDGEWATER, FL 32141
 (386) 424-8226 OFFICE AND FAX

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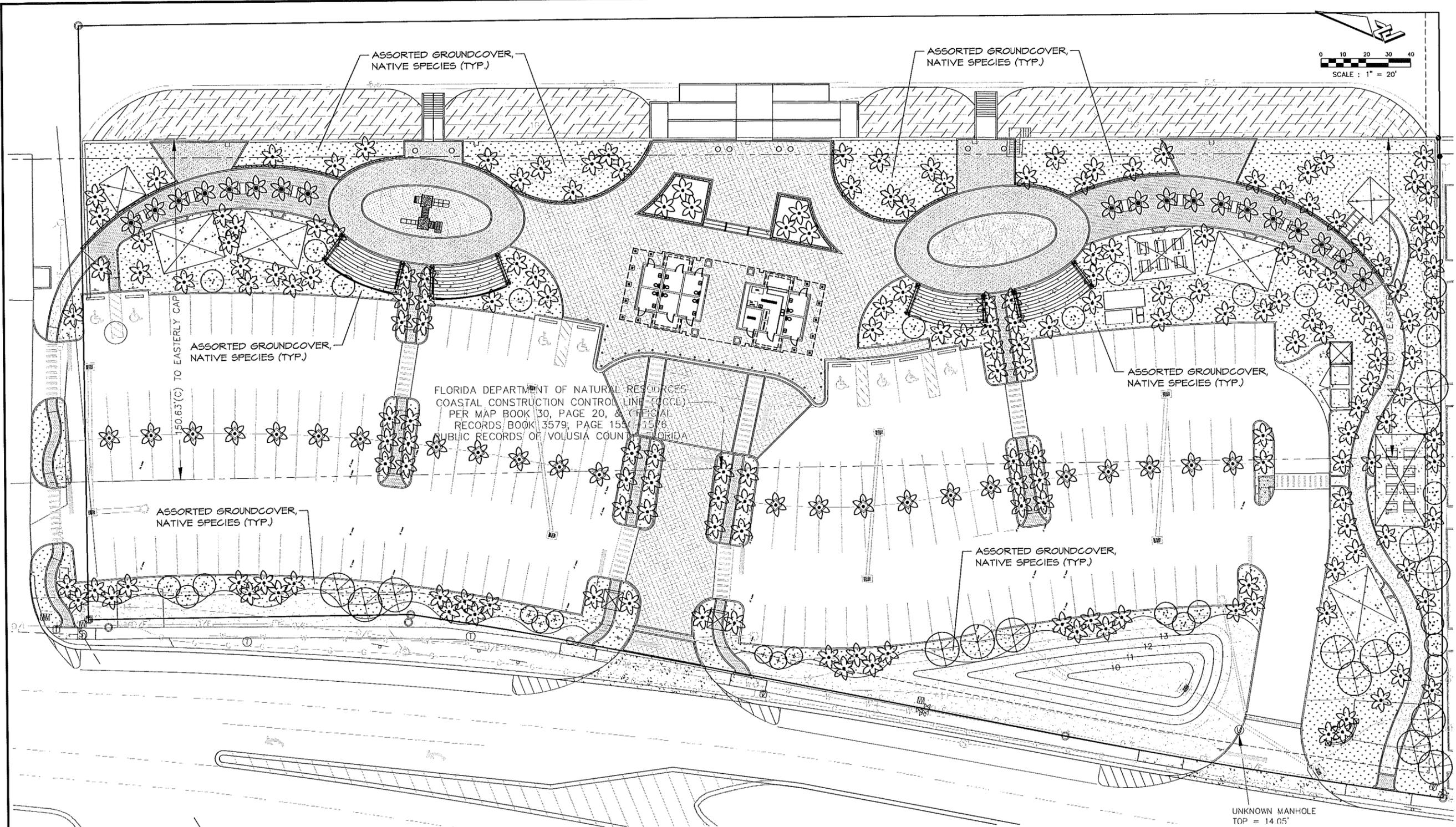
ANDY ROMANO
 BEACHFRONT PARK
 PLANNED BUSINESS DEVELOPMENT
 LANDSCAPE PLAN & DETAILS
 VOLUSIA COUNTY, FLORIDA
 CITY OF ORMOND BEACH

ZEV COHEN & ASSOCIATES, INC.
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 PLANNERS - TRANSPORTATION - ENVIRONMENTAL
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PROJECT NO: 10188
 DRAFTED BY: ESK
 CHECKED BY: PM
 ISSUE DATE: 8/09/11
 DRAWING FILE: TAB01A
 XREFS: 10188A-E
 DESIGNED BY: PM / ESK

FILE LOCATION: 1

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 SCALE: 1" = 20'
 SHEET: LA1 OF 2



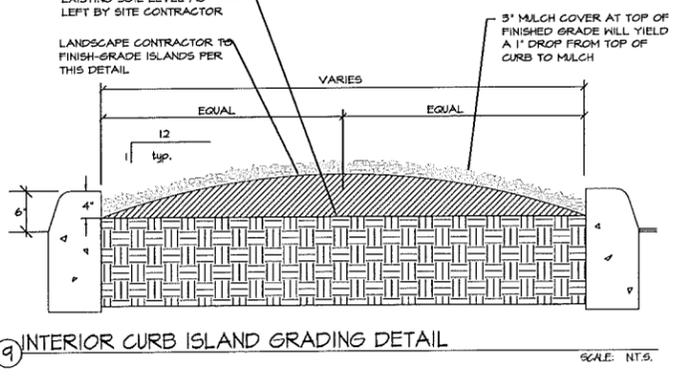
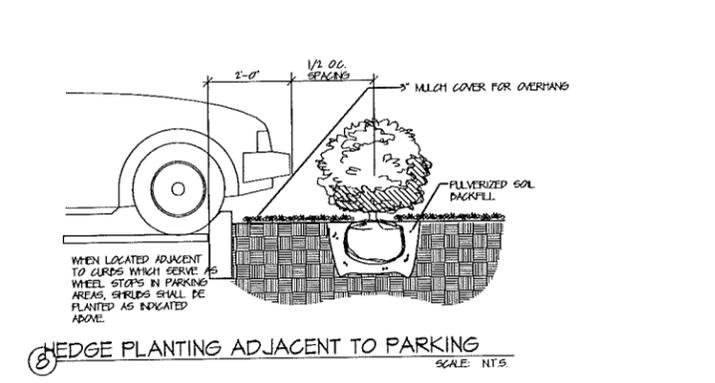
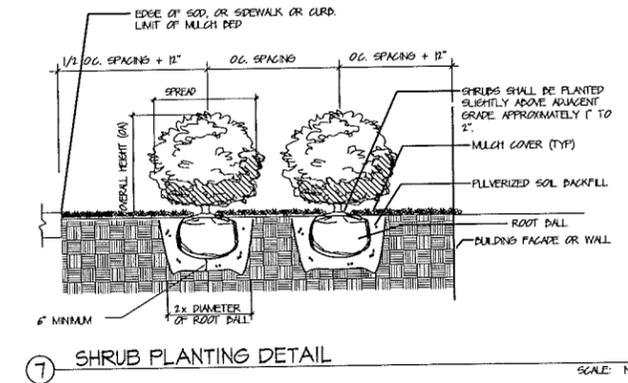
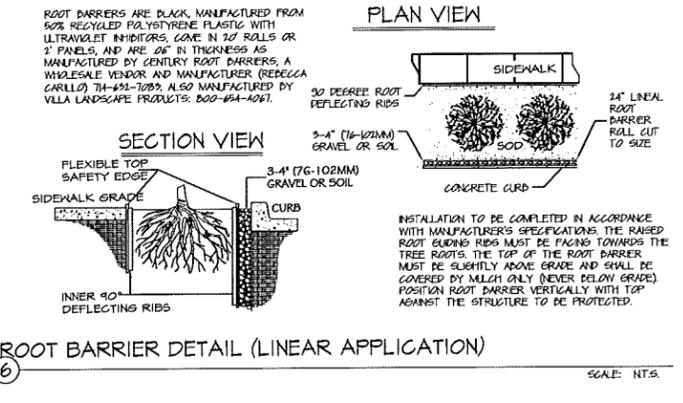
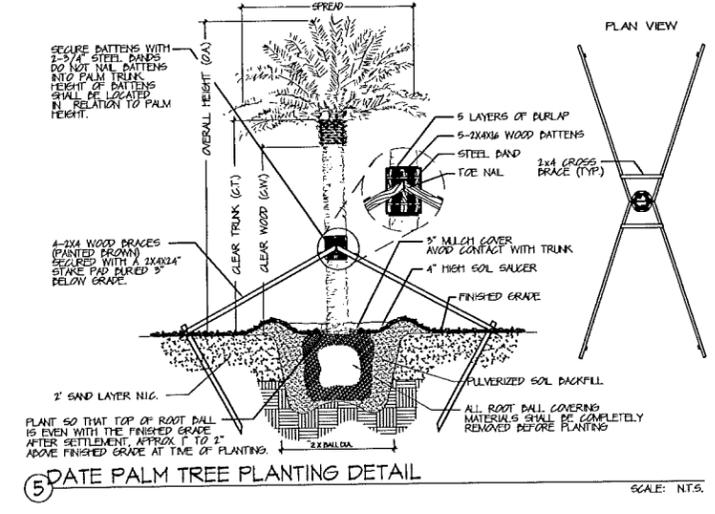
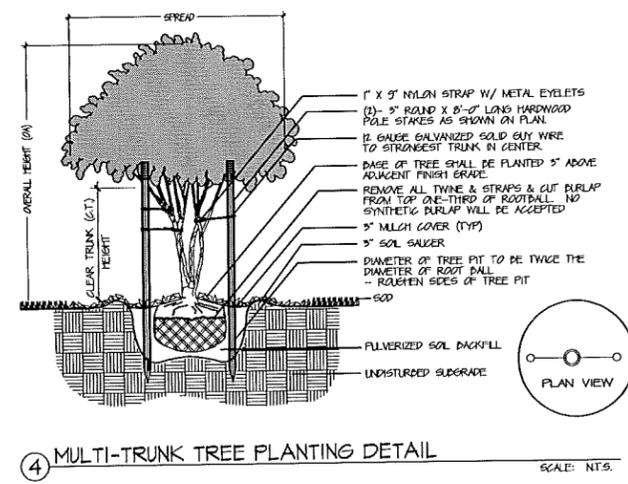
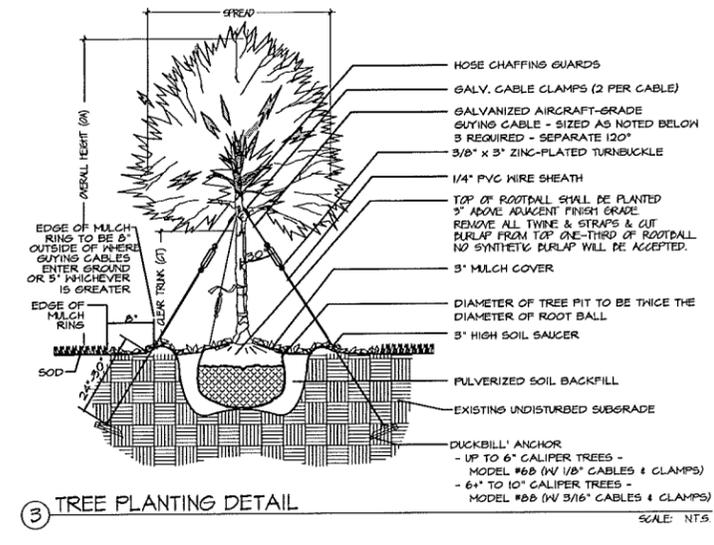
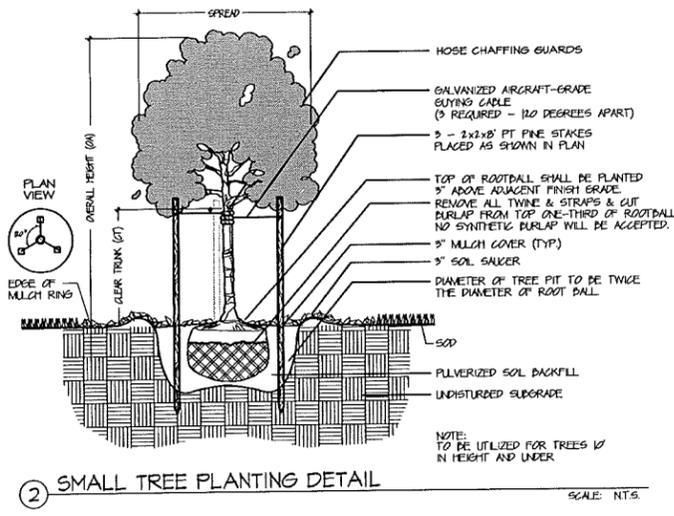
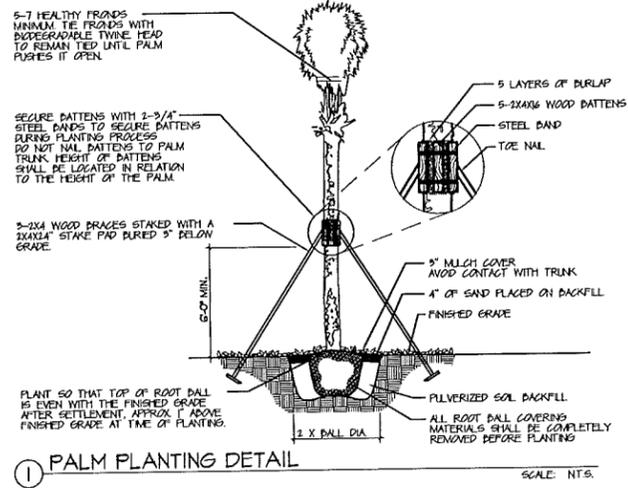
PLANT LIST

SYM.	QTY.	SPECIES	COMMON NAME	SPECIFICATIONS
TREES				
CU	-	COCCOLOBA WIFERA	SEA GRAPE	15 GAL., 6' HT.
LJ	-	LIGUSTRUM JAPONICA 'TREE FORM'	LIGUSTRUM TREE	8' x 8', M.T., 4' C.T., PRUNED
NO	-	NERIUM OLEANDER	PINK OLEANDER	15 GAL., 6' HT.
Q6	-	QUERCUS GEMINATA	SAND LIVE OAK	30 GAL., 2 1/2" CAL., 10' HT.

TOTAL TREES PROVIDED
 235 PALMS (9 PALMS = 1 TREE) = 16 TREES
 TREES PLANTED ON SITE = 50 TREES
 TOTAL TREES PROPOSED ON SITE = 126 TREES

SYM.	QTY.	SPECIES	COMMON NAME	SPECIFICATIONS
PALMS				
PDM	-	PHOENIX DACTYLIFERA 'MEDJOO'	MEDJOO DATE PALM	15' C.T., SPECIMEN
SP	-	SABAL PALMETTO	CABBAGE PALM	VARY CLEAR TRUNK HEIGHTS 8'-16'

SYM.	QTY.	SPECIES	COMMON NAME	SPECIFICATIONS
SHRUBS & GROUNDCOVER				
CA	-	GRINUM ASIATICUM	GRINUM LILY	5 GAL., 30"-36" O.A., SPECIMEN, 4' O.C.
OP	-	GAILLARDIA PULCHELLA	BLANKET FLOWER	1 GAL., 10" HT. X 10" SPRD., FULL, 18" O.C.
HD	-	HELIANTHUS DEBILIS	BEACH SUNFLOWER	1 GAL., 10" HT. X 10" SPRD., FULL, 18" O.C.
HP	-	HAMELIA PATENS	FIREBUSH	5 GAL., 24" HT. X 24" SPRD., 36" O.C.
IP	-	ILLICIUM FLORIDANUM	FLORIDA ANISE	5 GAL., 24" HT. X 18"-24" SPRD., 3' O.C.
JP	-	IPOMOEA PES-CAPRAE	RAILROAD VINE	1 FIN.T., 12" SPRD., 36" O.C.
JC	-	JUNIPERUS CONFERTA	SHORE JUNIPER	5 GAL., 18" HT. X 18" SPRD., FULL, 30" O.C.
MC	-	MALLENBERGIA CAPILLARIS	MHLY GRASS	1 GAL., 10" HT. X 10" SPRD., 30" O.C.
NOP	-	NERIUM OLEANDER 'ICE PINK'	DWARF PINK OLEANDER	5 GAL., 18"-24" X 18"-24", 36" O.C.
PT	-	PITTIOSPORUM TOBIRA	PITTIOSPORUM	5 GAL., 18" HT. X 18" SPRD., FULL, 36" O.C.
UP	-	UNIOLA PANICULATA	SEA OATS	1 FIN.T., 12" HT., FULL, 36" O.C.
ZP	-	ZAMIA FUMILA	COONTIE	5 GAL., 24" HT. X 18" SPRD., FULL, 36" O.C.
ZF	-	ZAMIA FURFURACEA	CARDBOARD PALM	5 GAL., 30" HT X 30" SPRD., FULL, 36" O.C.



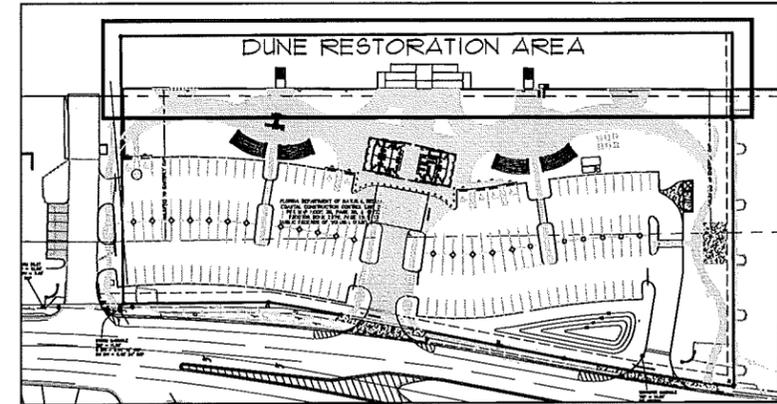
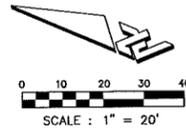
ORLANDO BEACH, FL 32714
 800 INTERCOASTAL BLVD., SUITE 100
 (407) 877-5462 FAX (407) 877-5254
 ST. AUGUSTINE, FL 32088
 447 U.S. 1 S.E. SITE 807 ST. AUGUSTINE, FL 32088
 (904) 797-1810 FAX (904) 797-4159
 1908 SOUTH 14 ST. W. STE. 102 PALM BEACH, FL 33480
 (561) 491-5536 FAX (561) 491-5179
 EDgewater, FL 33411
 1840 18th AVE. S.E. OFFICE AND FAX
 (888) 624-5252

NO.	DATE	DESCRIPTION

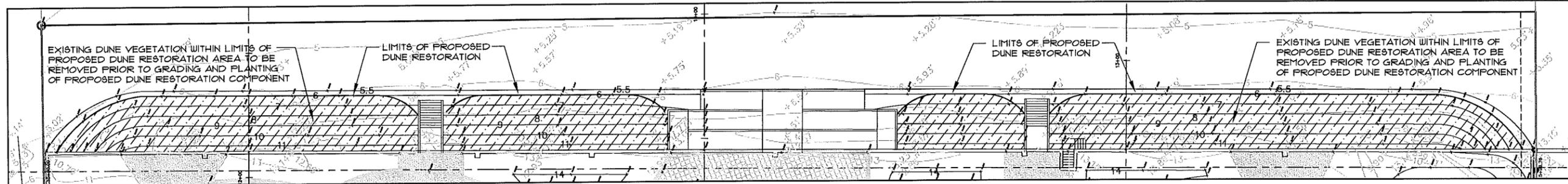
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ANDY ROMANO
 BEACHFRONT PARK
 PLANNED BUSINESS DEVELOPMENT
 LANDSCAPE PLAN & DETAILS
 VOLUSIA COUNTY, FLORIDA
 CITY OF ORLANDO BEACH

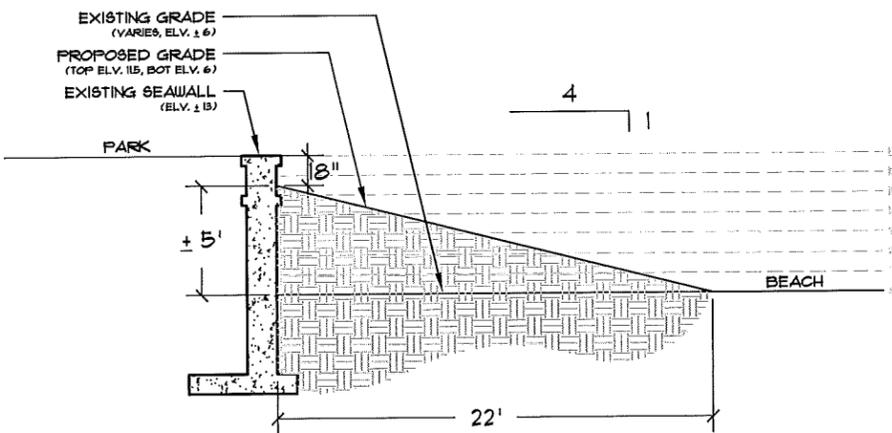
ZEV COHEN & ASSOCIATES, INC.
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 PLANNERS - TRANSPORTATION - ENVIRONMENTAL
 PROJECT NO: 10108
 DRAFTED BY: SBK
 CHECKED BY: PM
 ISSUE DATE: 03/01/11
 DESIGNED BY: PM / SBK
 XREFS: 10108A



SITE LOCATION MAP

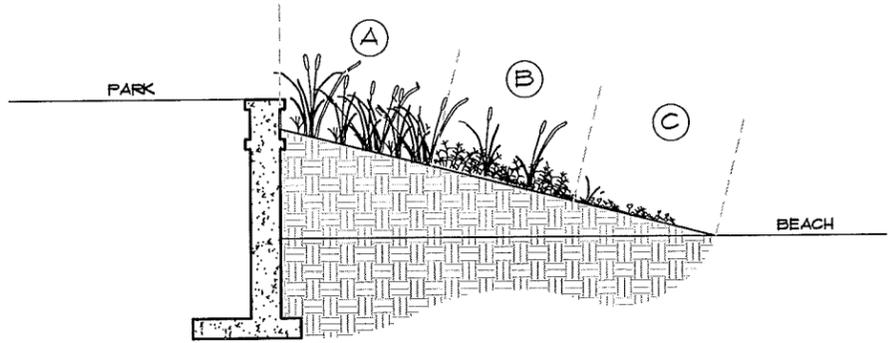


DUNE RESTORATION AREA ENLARGEMENT



① DUNE RESTORATION GRADING DETAIL

N.T.S.



② DUNE RESTORATION PLANTING DETAIL

N.T.S.

PLANTING ZONES:

ZONE (A)

- 75% - UNIOLO PANICULATA (SEA OATS) - 4" POT/LINER, 24" O.C.
- 25% - SPARTINA PATENS (SALTMEDADOW CORDGRASS) - 4" POT/LINER, 24" O.C.

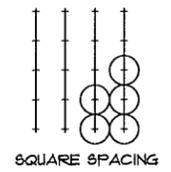
ZONE (B)

- 50% - UNIOLO PANICULATA (SEA OATS) - 4" POT/LINER, 24" O.C.
- 20% - CANAVALLIA ROSEA (BEACH BEAN) - 4" POT/LINER, 30" O.C.
- 15% - SPARTINA PATENS (SALTMEDADOW CORDGRASS) - 4" POT/LINER, 24" O.C.
- 15% - HELIANTHUS DEBILIS (DUNE SUNFLOWER) - 4" POT/LINER, 24" O.C.

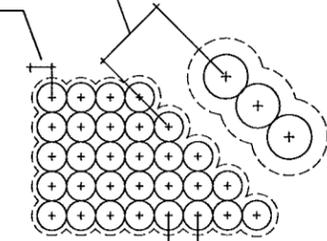
ZONE (C)

- 50% - HELIANTHUS DEBILIS (DUNE SUNFLOWER) - 4" POT/LINER, 36" O.C.
- 25% - IPOMEA PES-CAPRAE (RAILROAD VINE) - 4" POT/LINER, 36" O.C.
- 25% - SEBUIYUM PORTULACASTRUM (SEA FURSLANE) - 4" POT/LINER, 36" O.C.

DISTANCE BETWEEN PLANTS SHOULD BE FAR ENOUGH TO ALLOW PLANTS TO REACH MATURE SIZE WITHOUT INTERFERING WITH GROWTH OF ADJACENT PLANT MATERIALS



DISTANCE TO CENTERLINE WILL VARY ACCORDING TO SPECIES AND HABITAT OF GROWTH SO THAT MATURE PLANTS WILL NOT OVER LAP ONTO SIDEWALK, STRUCTURES, PAVED AREAS, ETC.



③ TYPICAL PLANT SPACING DETAIL



300 INTERCHANGE BLVD., ORLANDO BEACH, FL 32774
 (386) 877-5482 FAX (386) 877-5595
 4471 U.S. 1 S., SUITE 100, WINTER GARDEN, FL 32789
 (888) 797-8100 FAX (888) 797-4159
 1800 BOUTHILL ST., STE 100, WINTER HAVEN, FL 33884
 (888) 797-8100 FAX (888) 797-4159
 1540 AIRPORT RD., EDGEWATER, FL 32141
 (386) 64-4828 OFFICE AND FAX

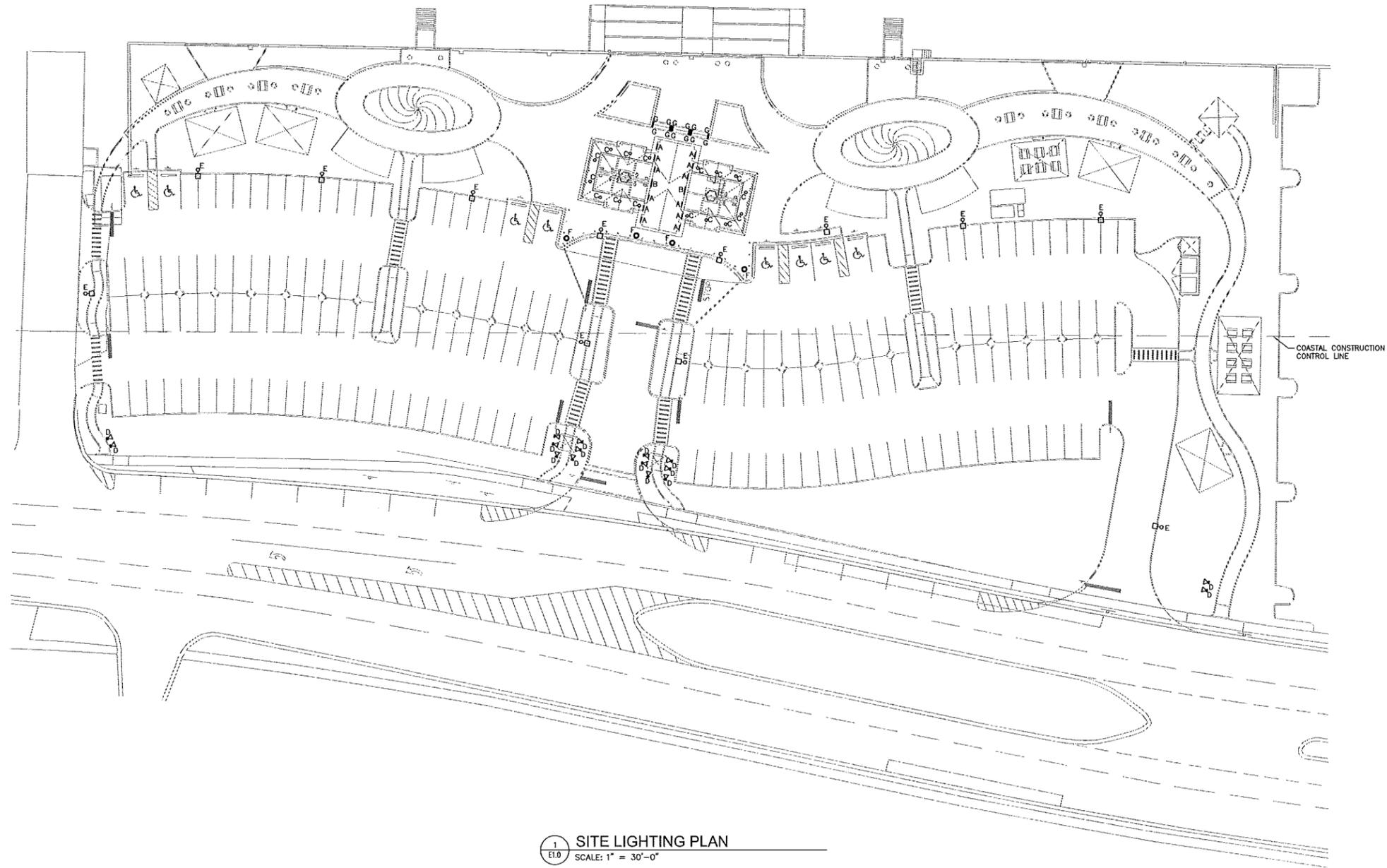
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ANDY ROMANO
 BEACHFRONT PARK
 PLANNED BUSINESS DEVELOPMENT
 DUNE RESTORATION PLAN
 CITY OF ORLANDO BEACH, FLORIDA

ZEV COHEN & ASSOCIATES, INC.
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 PLANNERS - INSURATION BROKERS - ENVIRONMENTAL
 PROJECT NO: 1018
 ISSUE DATE: 8/2011
 DESIGNED BY: PM/ESK
 DRAFTED BY: SIK
 CHECKED BY: PM
 DRAWING FILE: 1018/1A
 SHEET: 1018/1A

NOT VALID WITHOUT EMBOSSED SEAL
 SCALE: 1" = 20'
 SHEET
 DUNE

LUMINAIRE SCHEDULE					
SYMBOL	FIXTURE	TOTAL NUMBER OF EACH FIXTURE	BULB LUMENS / TYPE	TYPE OF MOUNT	MOUNTING HEIGHT
A	BEGA 4470LED.537-120-XX AMBER LED-20W-1700 LUMEN	12	1700 LUMENS / AMBER LED	WALL UPLIGHT	8'-0"
B	BEGA 4470LED.537-120-XX AMBER LED-40W-3400 LUMEN	2	3400 LUMENS / AMBER LED	WALL UPLIGHT	8'-0"
C	BEGA 6826LED-120-XX AMBER LED-13W-900 LUMEN	16	900 LUMENS / LED	CEILING	8'-10"
D	BEGA 7550LED-120-XX AMBER LED-40W-3400 LUMEN	16	4495 LUMENS	PEDESTAL	ON GRADE
E	STERNBERG 1527TRLED AMBER LED-128W-4300 LUMEN	12	4300 LUMENS / AMBER LED	POLE	12'-0"
F	ARCHITECTURAL AREA LIGHTING TRD-VR-36LED-WW-1805-BLK	4	5100K / LED	BOLLARD	42"
G	BEGA 2382LED.537-120-XX AMBER LED-5W-315 LUMEN	12	315 LUMENS / AMBER LED	STEP DIRECTED	8"



1 SITE LIGHTING PLAN
E1.0 SCALE: 1" = 30'-0"

NOTE:
AS DIRECTED BY THE CITY OF ORMOND BEACH,
THIS PARK IS NOT INTENDED FOR NIGHT TIME USE.

REV#	REVISION	DATE
1	REVIEW COMMENTS	7/06/11

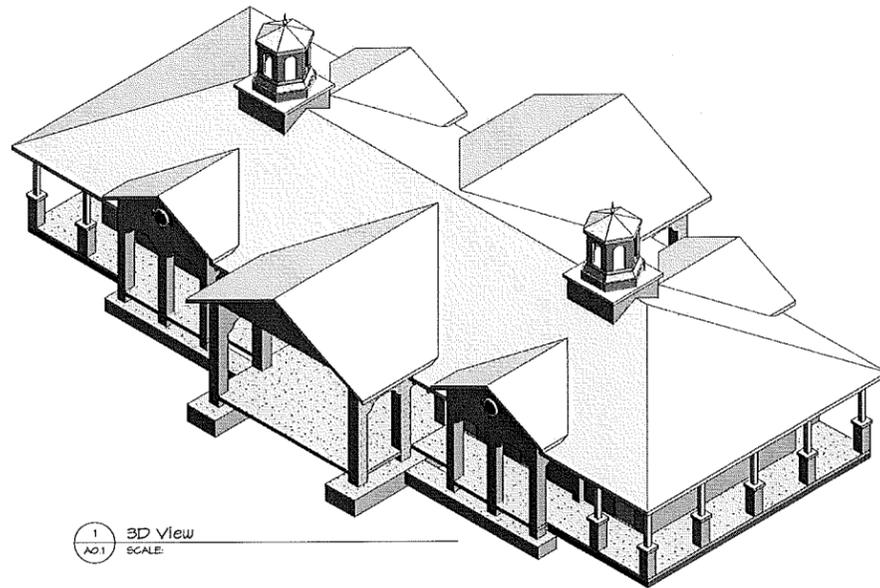
DICKENS & ASSOCIATES, INC.
Consulting Engineers
 232 Bay Street
 Daytona Beach, FL 32114
 Phone: (386) 253-1511
 Fax: (386) 252-0673

**ANDY ROMANO PARK
SITE LIGHTING**
 ORMOND BEACH, FLORIDA

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CA#: 0002396
 ENG: JORGE E. RODRIGUEZ
 PE#: 48537
 PJT#: 4646.00
 DATE: 9/29/11
 DRN. BY: ADK
 DGN. BY: EWB
 REV. BY: JER
 SCALE: 1" = 30'-0"

SHEET
E1.0



1 3D View
A0.1 SCALE

GENERAL NOTES

1. THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPLY WITH THE REQUIREMENTS OF EACH DIVISION (I.E. CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC.) AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS UNLESS OTHERWISE SPECIFICALLY NOTED IN THE DRAWINGS OR PROJECT MANUAL. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT/ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWINGS AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER NOR THE ARCHITECT/ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ARCHITECT/ENGINEER IS OBLIGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.
2. ALL IMPROVEMENTS MUST BE IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE (FV2004 REVISIONS) WITH RESPECT TO HANDICAPPED ACCESSIBILITY DESIGN AND CONSTRUCTION STANDARDS.
3. ALL NEW DOORS INSTALLED IN THE MEANS OF EGRESS INCLUDING EXIT ACCESS DOORS FROM ALL WALK-IN ROOMS AND AREAS ARE 36" WIDE THEREBY PROVIDING A MINIMUM 32" CLEAR OPENING.
4. DOOR HARDWARE FURNISHED FOR NEW DOORS INSTALLED IN THE MEANS OF EGRESS, INCLUDING EXIT ACCESS DOORS, WILL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KEY, EFFORT OR KNOWLEDGE. THE HARDWARE IS A LEVER HANDLE OR EQUAL PER 2007 FLORIDA BUILDING CODE (FV2004 REVISIONS). DOORS WILL RELEASE WHEN NO MORE THAN 15 LB. IS APPLIED TO THE RELEASES, APPROVED DOOR CLOSER PER NFPA 5-1.2.1 (C).
5. CHANGES IN ELEVATIONS OF 1/4" TO 1/2" MUST BE BEVELED AT A SLOPE OF 1:2 OR LESS, CHANGES IN ELEVATION OF 1/2" TO 2" ARE RAISED WITH REQUIRED PLATFORMS AND RAILINGS PER 2007 FLORIDA BUILDING CODE (FV2004 REVISIONS).
6. INSTALL HANDICAPPED GRAB BAR AS PER MANUFACTURER'S INSTRUCTIONS TO PROVIDE A LIVE LOAD STRENGTH OF 250 POUNDS, PER 2007 FLORIDA BUILDING CODE (FV2004 REVISIONS).
7. ANY AND ALL DEVIATIONS FROM SPECIFIED PRODUCTS MUST BE APPROVED BY THE ARCHITECT.
8. PAINT ALL NEW SURFACES AS SCHEDULED AND AS REQUIRED TO ASSURE A UNIFORM APPEARANCE.
9. ALL PROPOSED CONSTRUCTION IS PURSUANT TO INFORMATION SHOWN ON THESE PLANS AND LOCAL CODES. OBTAIN ALL NECESSARY LICENSES AND PERMITS, UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
10. PROVIDE SAFE, SUFFICIENT, AND PROPER FACILITIES AT ALL TIMES FOR THE INSPECTION OF THE WORK BY THE OWNER, ENGINEER, AND ALL APPROPRIATE GOVERNMENTAL AND REGULATORY AGENCIES.
11. CONSTRUCT THE PROJECT TO COMPLY WITH 2007 FLORIDA BUILDING CODE (FV2004 REVISIONS) CHAPTER 16, FOR STRUCTURAL DESIGN LOADS INCLUDING APPLICABLE WINDLOADS AND UPLIFT, AND ADOPTED AMENDMENTS AS REQUIRED BY CITY ORDINANCE. CERTIFY THAT ALL CONNECTIONS HAVE BEEN CHECKED TO WITHSTAND ALL APPLICABLE LOADS. REFER TO STRUCTURAL DRAWINGS.

CODE REVIEW DATA

APPLICABLE CODES:
 2007 FLORIDA BUILDING CODE WITH 2004 REVISIONS
 2007 FLORIDA FIRE PREVENTION CODE
 2004 NFPA 1 and 2004 NFPA 101 LIFE SAFETY CODE

AUTHORITY HAVING JURISDICTION
 CITY OF ORMOND BEACH
 CHIEF BUILDING OFFICIAL- JOE LEVEREAUX

OCCUPANCY TYPE (CHAPTER 3)
 GROUP V - UTILITY

CONSTRUCTION TYPE (CHAPTER 6)
 TYPE V B
 STRUCTURAL FRAME 0 HR
 BEARING WALLS- EXTERIOR 0 HR
 BEARING WALLS- INTERIOR 0 HR
 FLOOR CONSTRUCTION 0 HR
 ROOF CONSTRUCTION 0 HR

ALLOWABLE AREA (CHAPTER 5)
 TABLE 503 - 5,500 SF - GROUP V OCCUPANCY - TYPE V B CONSTRUCTION

PROJECT BUILDING AREA AND HEIGHT
 TOTAL BUILDING 3,070 SQUARE FEET
 1 STORY, 11'-3" ROOF HEIGHT
 28'-4" TOWER HEIGHT

FIRE SUPPRESSION SYSTEM
 NONE

WIND LOAD REQUIREMENTS (CHAPTER 16)
 BASIC WIND SPEED (FIGURE 1609) 120 mph
 WIND IMPORTANCE CATEGORY (TABLE 1604.5) 1.0 EXPOSURE B
 WIND EXPOSURE CATEGORY (1609.4) 1.0
 HEIGHT AND EXPOSURE COEFFICIENT (TABLE 1609.4 D) 1.0
 ENCLOSURE STATUS 1/ - 0.16
 INTERNAL PRESSURE COEFFICIENT YES
 WIND BORNE DEBRIS ZONE YES



413 NORTH NOVA RD.
 HOLLY HILL, FL 32117
 AA 26000567
 PHONE (386) 255-6437
 FAX (386) 255-6434

REVISIONS

A	A	A	A	A	A	A	A	A	A
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Codes, Notes, and Abbreviations
 ORMOND BEACH'S ANDY ROMANO
 BEACHFRONT PARK

PJT#: 02237
 DATE: 09-24-11
 DGN BY: HEIDI CARHDE
 REV BY: HEIDI CARHDE
 SCALE:

FOR REFERENCE ONLY
 NOT FOR CONSTRUCTION

A0.1



415 NORTH NOVA RD.
 HOLLY HILL, FL 32117
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 FAX (386) 255-6404

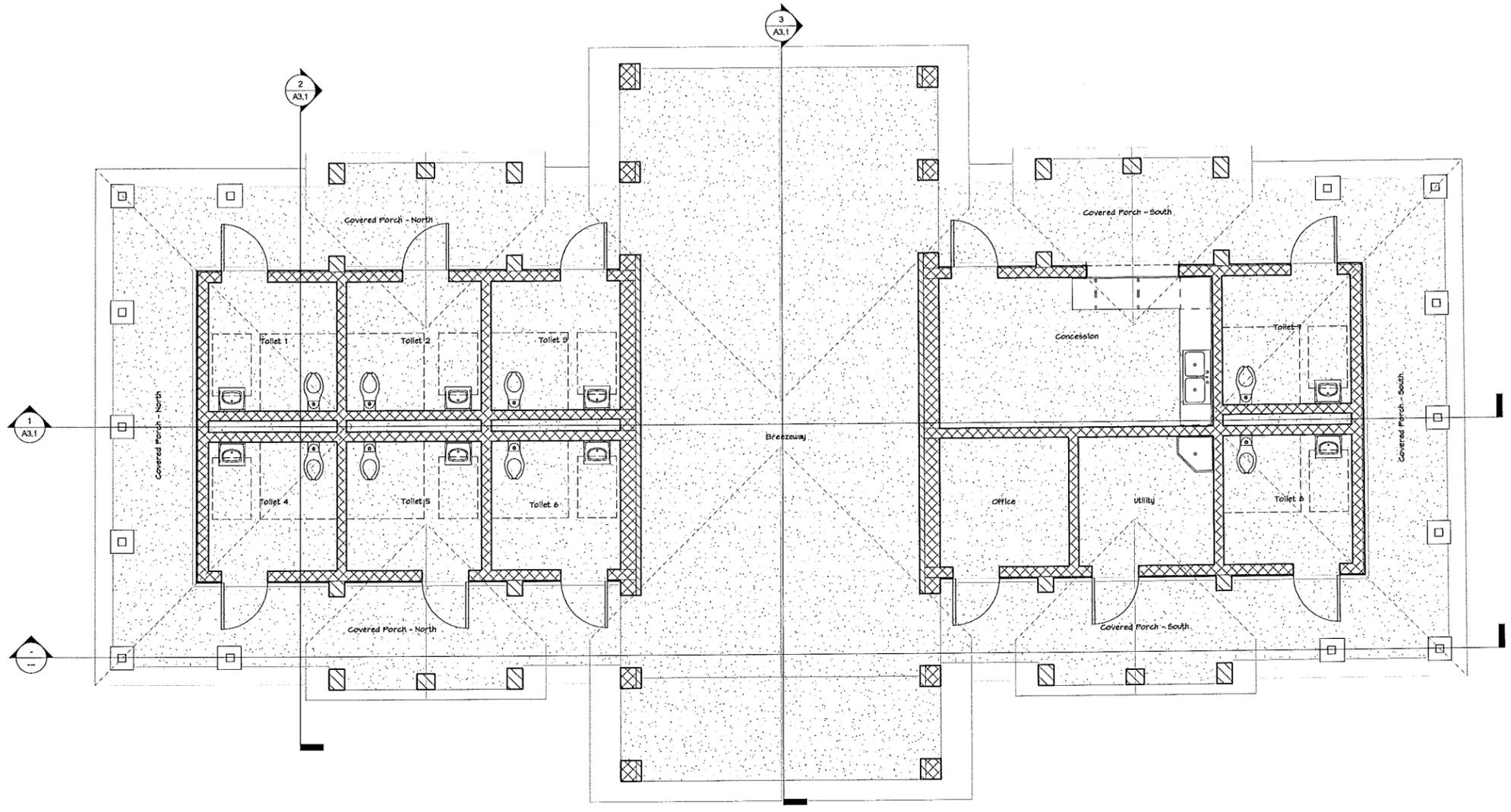
REVISIONS
 Revised per Coastal Consultant Comments 10-19-11

A	
A	
A	
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A	

FLOOR PLAN
 ORMOND BEACH'S ANDY ROMANO
 BEACHFRONT PARK

PLT#: 02291
 DATE: 09-24-11
 DGN BY: HEIDI CARHIDE
 REV BY: HEIDI CARHIDE
 SCALE: 1/4" = 1'-0"

A1.1



1 Floor Plan
 A1.1 SCALE: 1/4" = 1'-0"

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413 NORTH NOVA RD.
 HOLLY HILL, FL 32111
 AA 26000861
 PHONE (386) 255-6487
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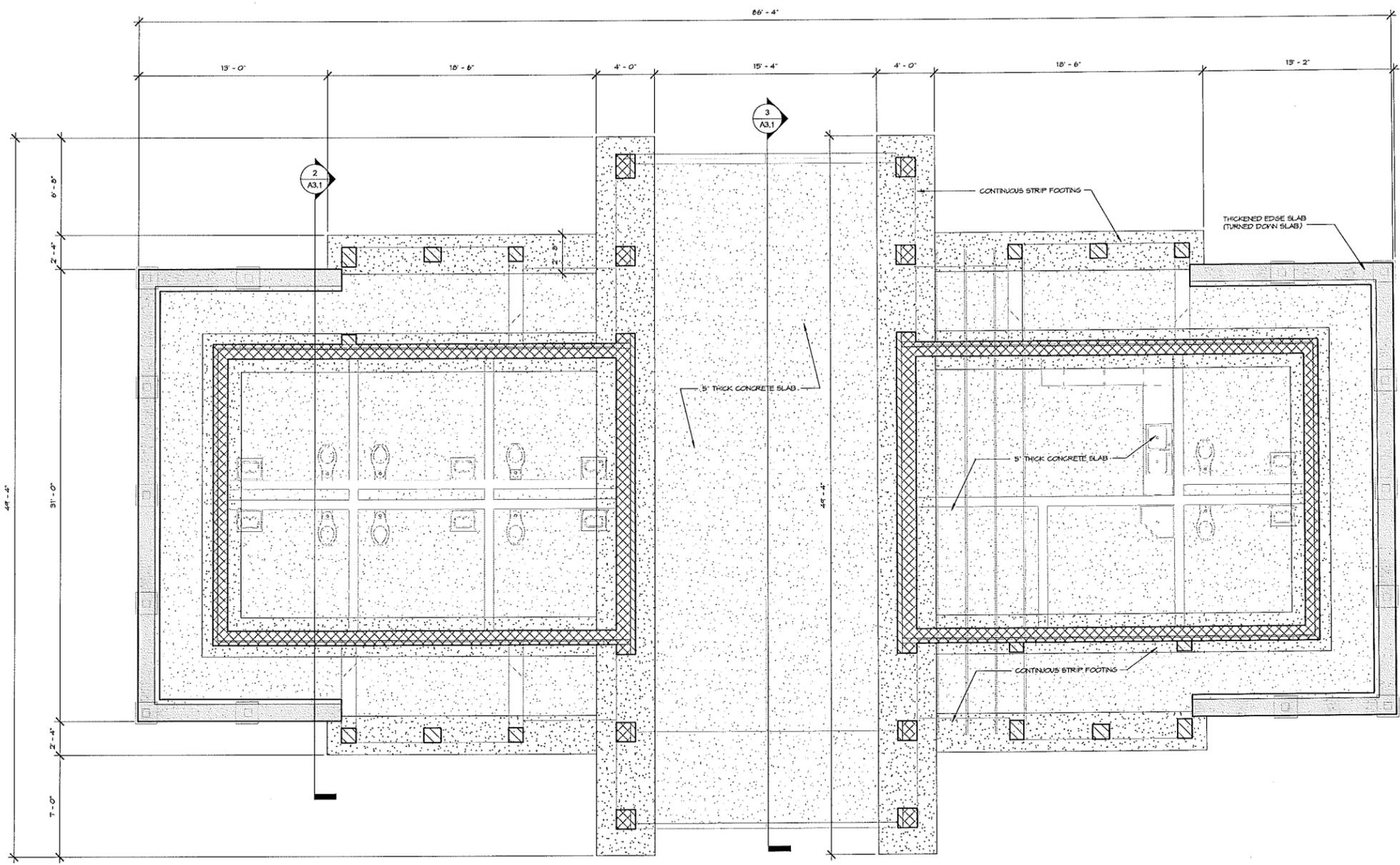
REVISIONS
 Revised per Coastal Consultant Comments 10-13-11

1	A
2	A
3	A
4	A
5	A
6	A
7	A
8	A
9	A
10	A

Foundation Plan
 ORMOND BEACH'S ANDY ROMANO
 BEACHFRONT PARK

PJT#: 02237
 DATE: 09-29-11
 DSN BY: HEIDI CARHIDE
 REV BY: HEIDI CARHIDE
 SCALE: 1/4" = 1'-0"

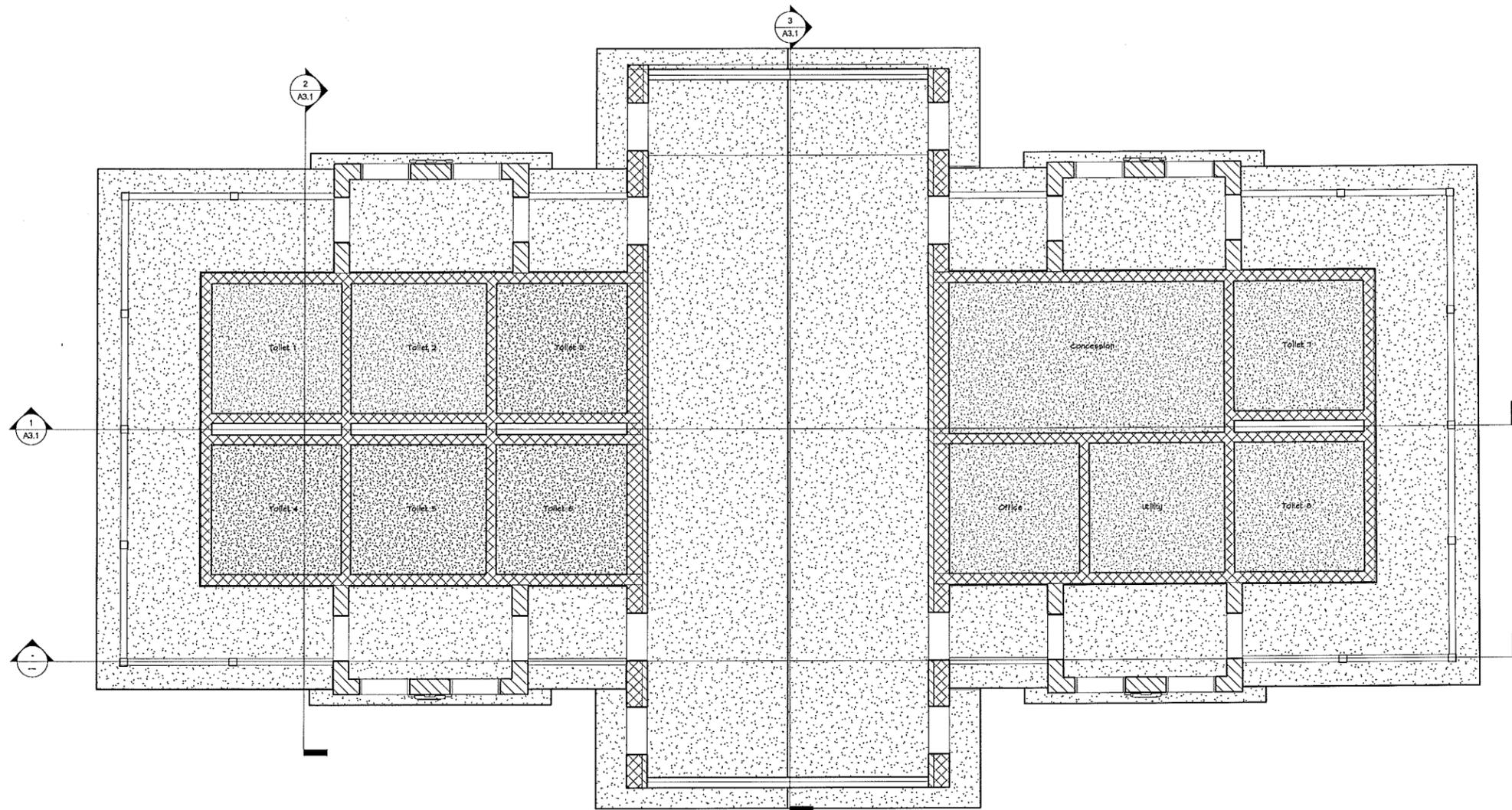
A1.2



1 Foundation Plan
 A1.2 SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY
 NOT FOR CONSTRUCTION

10/26/2011 2:00:14 PM P:\Active Projects\02237 CB Andy Romano Beachfront Park\Drawings\Current\Facility Model\A13



1 Reflected Ceiling Plan
A1.3 SCALE: 1/4" = 1'-0"



418 NORTH NOVA RD.
HOLLY HILL, FL 32111
AA-26002937
PHONE (386) 255-4481
FAX (386) 255-6484

REVISIONS

Revised per Coastal Consultant Comments 10-13-11

1	A	
2	A	
3	A	
4	A	
5	A	
6	A	
7	A	
8	A	
9	A	
10	A	

Reflected Ceiling Plan
ORMOND BEACH'S ANDY ROMANO
BEACHFRONT PARK

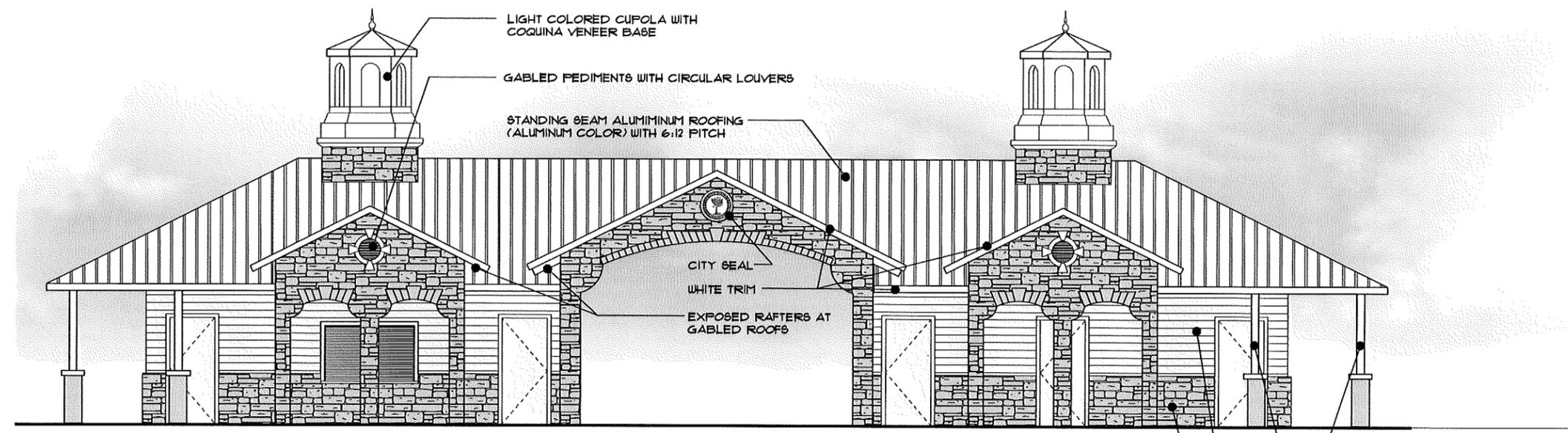
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DATE: 09-29-11
DGN BY: Designer
REV BY: Checker
SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY
NOT FOR CONSTRUCTION

A1.3

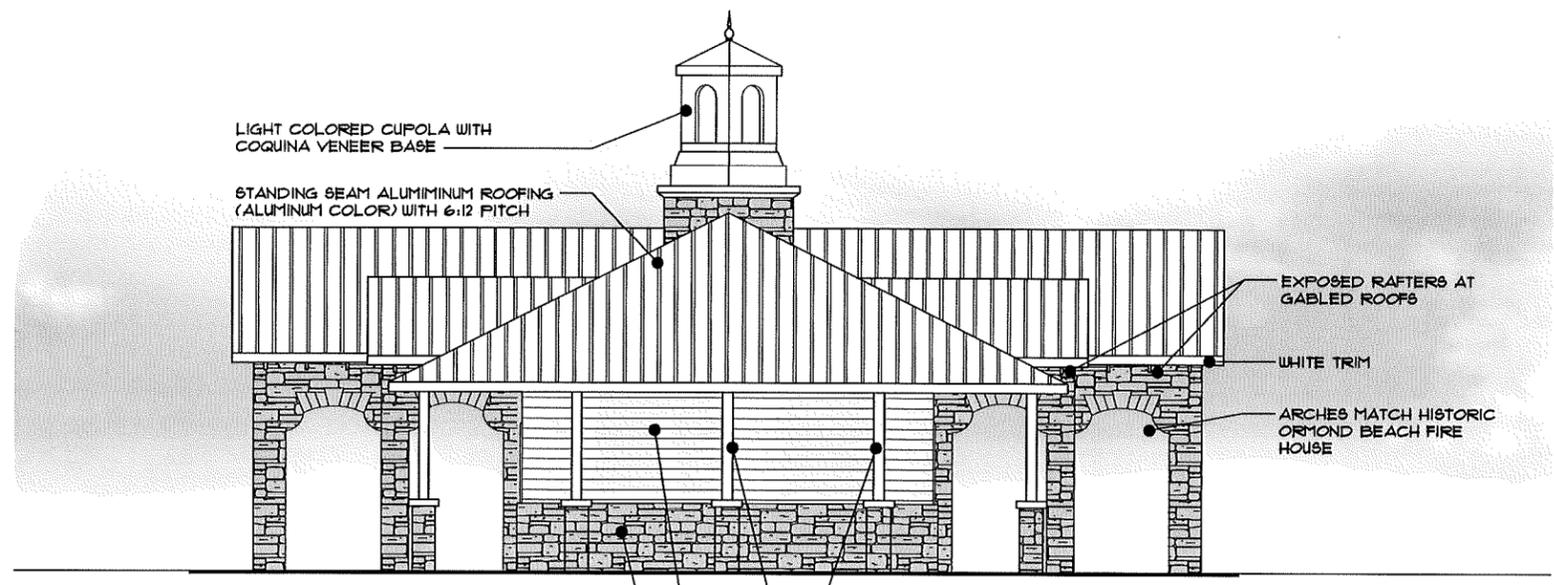


418 NORTH NOVA RD.
 HOLLY HILL, FL 32117
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EAST ELEVATION (WEST SIMILAR) 1
 SCALE: 1/4"=1'-0" A2.1

LIGHT COLORED CUPOLA WITH COQUINA VENEER BASE
 GABLED PEDIMENTS WITH CIRCULAR LOUVERS
 STANDING SEAM ALUMINUM ROOFING (ALUMINUM COLOR) WITH 6:12 PITCH
 CITY SEAL
 WHITE TRIM
 EXPOSED RAFTERS AT GABLED ROOFS
 CONTINUOUS COQUINA VENEER BASE
 LIGHT COLORED FAUX WOOD SIDING (CEMENTITIOUS SIDING)
 COVERED WRAP-AROUND PORCH WITH WOODEN POSTS AND COQUINA VENEER BASE



NORTH ELEVATION (SOUTH SIMILAR) 2
 SCALE: 1/4"=1'-0" A2.1

LIGHT COLORED CUPOLA WITH COQUINA VENEER BASE
 STANDING SEAM ALUMINUM ROOFING (ALUMINUM COLOR) WITH 6:12 PITCH
 EXPOSED RAFTERS AT GABLED ROOFS
 WHITE TRIM
 ARCHES MATCH HISTORIC ORMOND BEACH FIRE HOUSE
 CONTINUOUS COQUINA VENEER BASE
 LIGHT COLORED FAUX WOOD SIDING (CEMENTITIOUS SIDING)
 COVERED WRAP-AROUND PORCH WITH WOODEN POSTS AND COQUINA VENEER BASE

NOTE:
 AFTER COLLECTING INFORMATION FROM THE RESIDENTS OF ORMOND BEACH AND THE CITY COMMISSION VIA SURVEYS AND PUBLIC MEETINGS THAT OCCURRED FROM MAY 2011 THROUGH JULY 2011, THERE WAS A CLEAR DISTINCTION OF PREFERENCE TOWARD A 'VERNACULAR ARCHITECTURE THAT INCORPORATES HISTORIC COQUINA DESIGN'.
 THEREFORE, THE DESIGN OF THIS STRUCTURE IS A SYNTHESIS OF TWO ARCHITECTURAL DESIGN STANDARDS: BERMUDA AND FLORIDA CRACKER.

REVISIONS



SITE FACILITIES
ORMOND BEACH'S ANDY ROMANO
BEACHFRONT PARK

PJT#: 02231
 DATE: 10-26-11
 DSN BY: HEDI GARNIDE
 REV BY: HEDI GARNIDE
 SCALE: AS NOTED

A2.1



413 NORTH NOVA RD.
HOLLY HILL, FL 32117
AA 26000561
PHONE (386) 255-6481
FAX (386) 255-6481

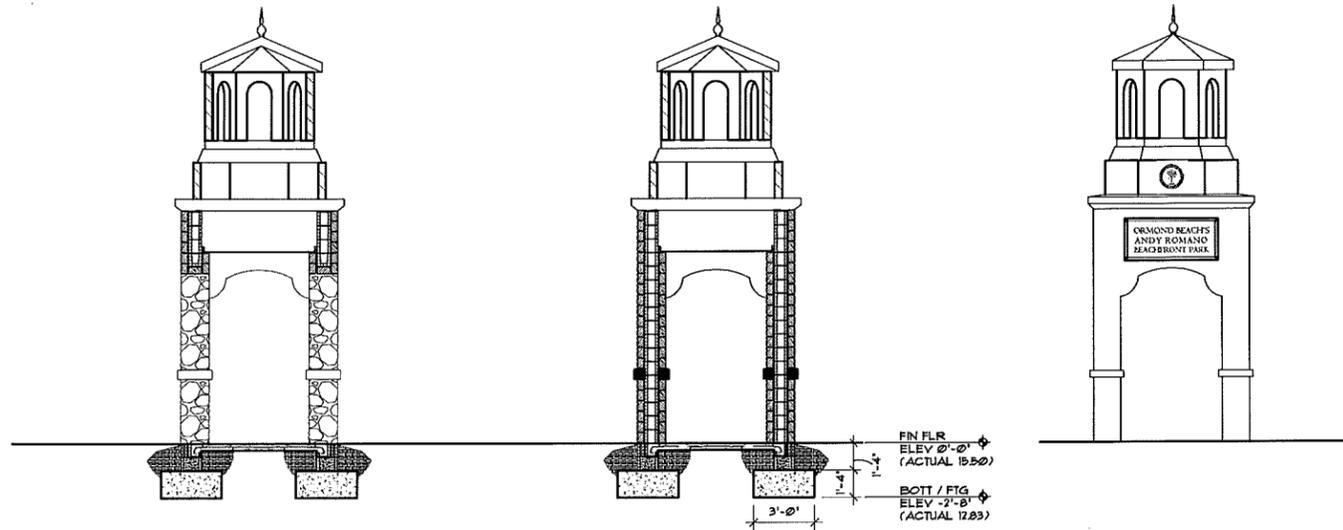
REVISIONS
REVISED PER COASTAL CONSULTANT COMMENTS 10-13-11

1 2 3 4 5 6

SITE FACILITIES
ORMOND BEACH'S ANDY ROMANO
BEACHFRONT PARK

PJT#: 02251
DATE: 10-25-11
DSN BY: HEDI CARHOE
REV BY: HEDI CARHOE
SCALE: AS NOTED

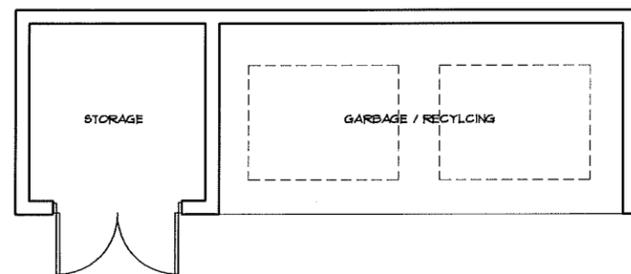
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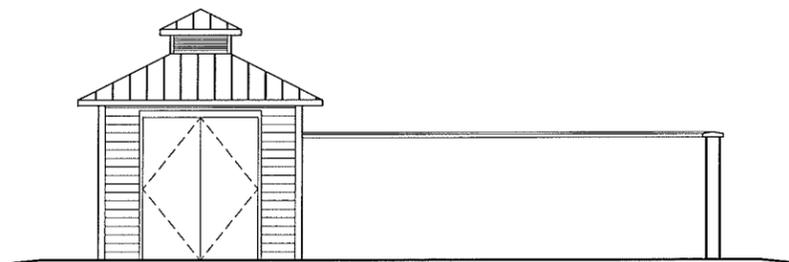
ENTRY GATE - SECTION 1
SCALE: 1/4"=1'-0"
A2.2

ENTRY GATE - SECTION 2
SCALE: 1/4"=1'-0"
A2.2

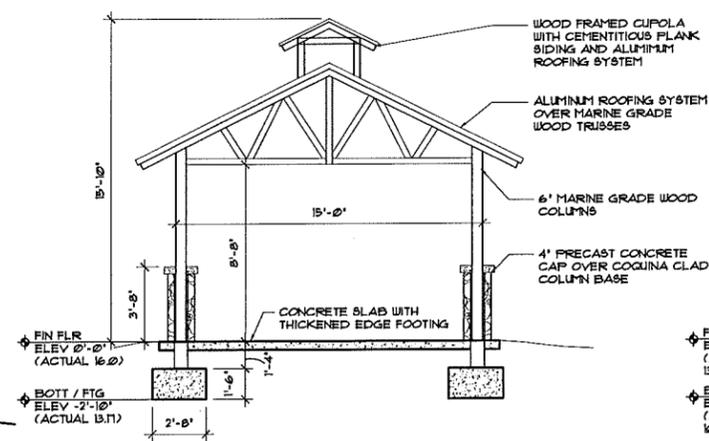
ENTRY GATE - ELEVATION 3
SCALE: 1/4"=1'-0"
A2.2



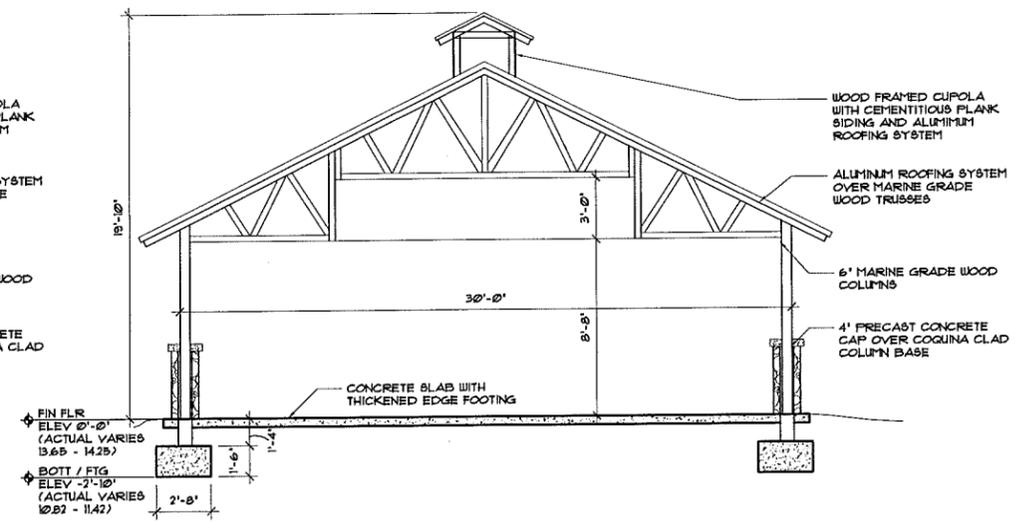
STORAGE / GARBAGE AREA - PLAN 4
SCALE: 1/4"=1'-0"
A2.2



STORAGE / GARBAGE AREA - ELEVATION 5
SCALE: 1/4"=1'-0"
A2.2



FAMILY PAVILION SECTION 6
SCALE: 1/4"=1'-0"
A2.2



GROUP PAVILION SECTION 7
SCALE: 1/4"=1'-0"
A2.2

FOR REFERENCE ONLY
NOT FOR CONSTRUCTION

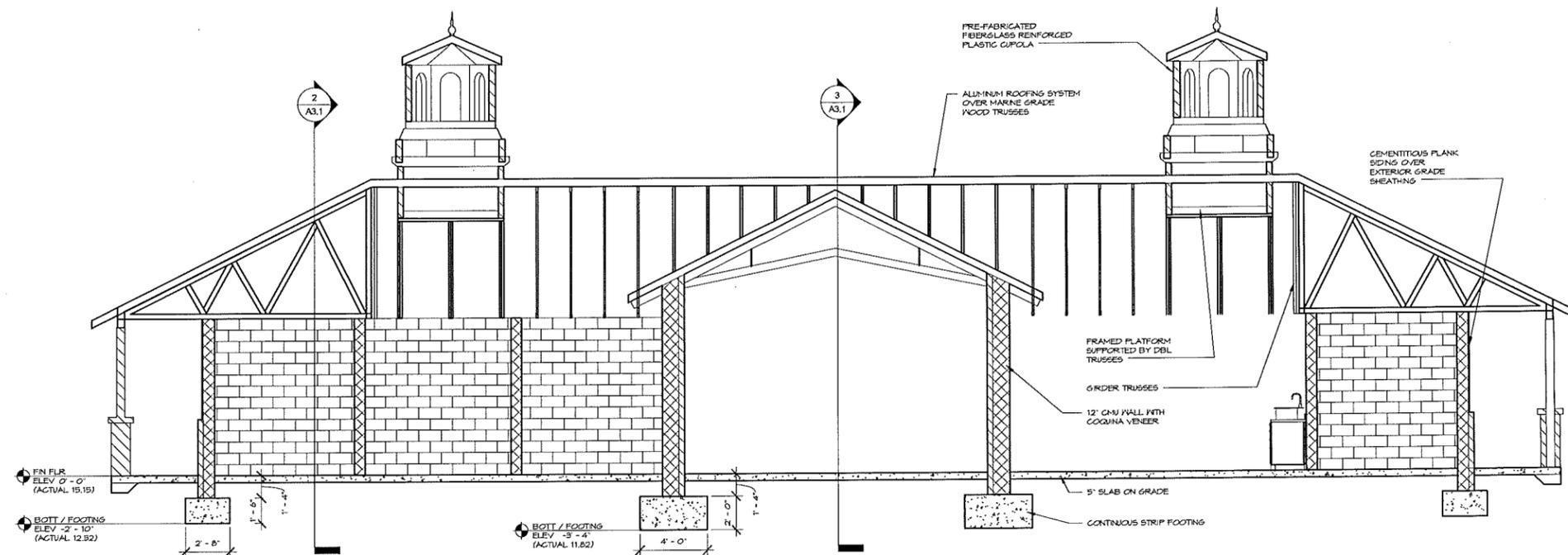
REVISIONS

1	Revised per Coastal Consultant Comments 10-18-11
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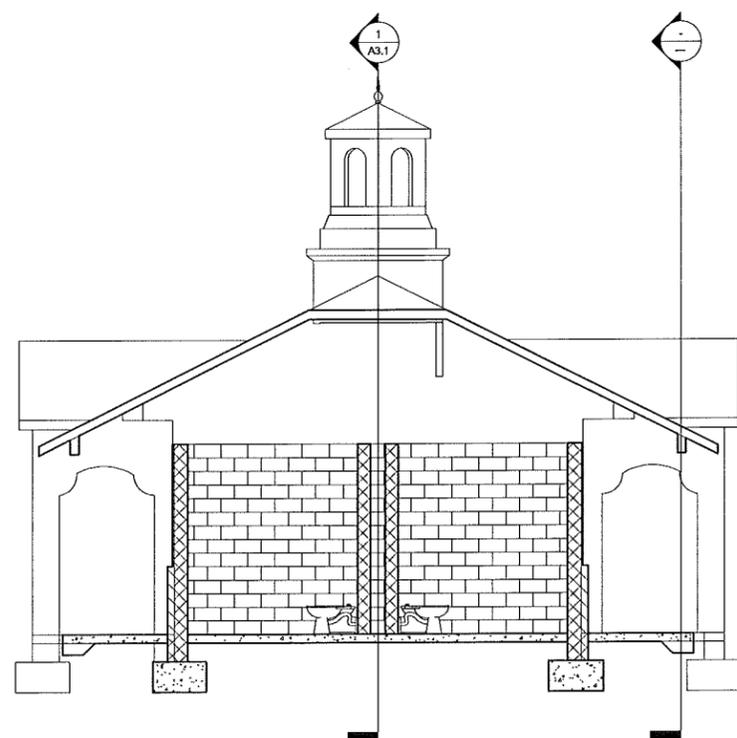
Building sections
ORMOND BEACH'S ANDY ROMANO
BEACHFRONT PARK

PJT# 02237
DATE: 07-24-11
DSN BY: HEIDI CARHDE
REV BY: HEIDI CARHDE
SCALE: 1/4" = 1'-0"

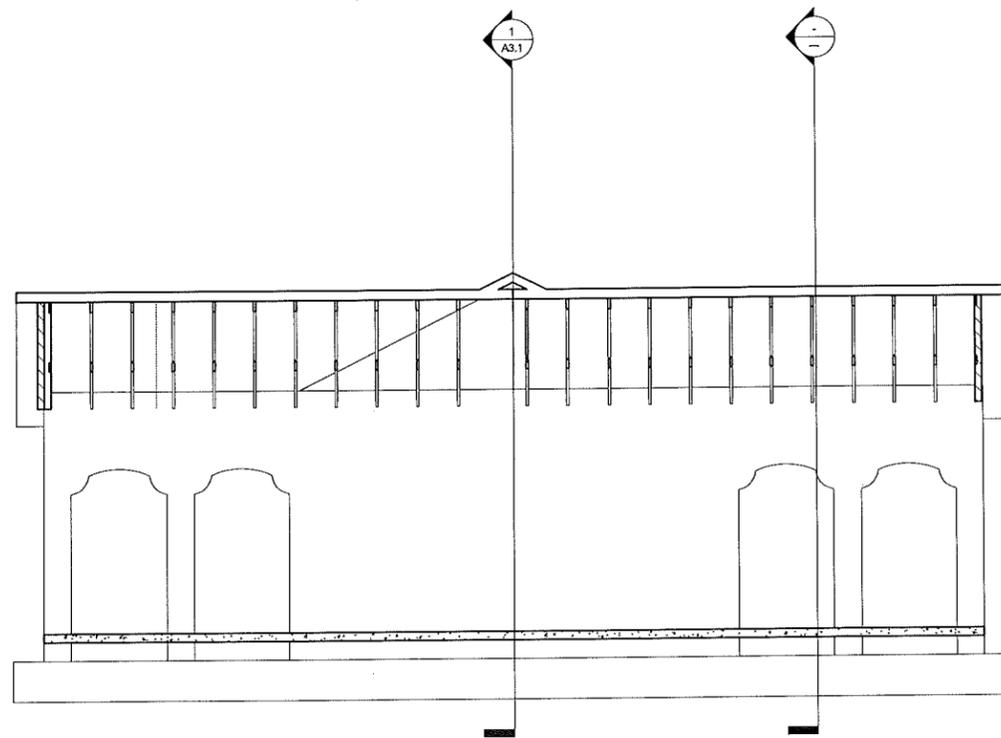
A3.1



1 Section 2
A3.1 SCALE: 1/4" = 1'-0"



2 Section 3
A3.1 SCALE: 1/4" = 1'-0"



3 Section 4
A3.1 SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY
NOT FOR CONSTRUCTION

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: November 3, 2011

SUBJECT: 2011 Capital Improvements Element (CIE) Annual Update

APPLICANT: Administrative

NUMBERS: CPA 12-004

PROJECT PLANNER: S. Laureen Kornel, AICP, Senior Planner

INTRODUCTION: Every year local governments must update their Capital Improvements Element (CIE), including the Five-Year Schedule of Capital Improvements (Schedule) [Ch. 163.3177(3)(b)1, F.S. and 9J-5.016(5), F.A.C.] to show that they have funded or planned to fund the public facility improvements needed to support their population. These facilities include water, sewer, stormwater, solid waste, roads, parks, and schools. The subject Comprehensive Plan Amendments are administrative amendments to the CIE of the City of Ormond Beach Comprehensive Plan, updating the Capital Improvements Schedule, in accordance with State law. This amendment does not include any text changes to the goals, objectives and policies of the CIE.

BACKGROUND: Local governments are mandated to plan for the availability of public facilities and services to support development and the impacts of such development. The purpose of the CIE and the Schedule is to identify the capital improvements that are needed to implement the Comprehensive Plan and ensure that the adopted Level of Service (LOS) Standards are achieved and maintained for concurrency-related facilities. This CIE commences in the fiscal year 2011/2012 and identifies potential projects for the initial five-year planning period.

DISCUSSION: The CIE Schedule includes all projects required to meet or maintain adopted LOS standards for concurrency-related facilities or implement the Goals, Objectives, and Policies of the Comprehensive Plan. The concurrency management system for the City of Ormond Beach is established by policy in the City's Comprehensive Plan, and administered through regulations contained within the City's Land Development Code. The Planning Department is responsible for regularly monitoring the cumulative effect of all approved Development Orders and Development Permits on the capacity of public facilities. In addition to the individual concurrency reviews for current development proposals, staff has identified and provided a brief summary of most of the public facilities and services subject to concurrency review at sufficient levels.

Recreation & Open Space: Based on the 2010 Census date the population of Ormond Beach is 38,137. The City's adopted comprehensive plan applies a level of service of 13 acres per 1,000 people. According to the adopted Parks and Recreation Master

Plan Study there are approximately 472 total acres of parkland in Ormond Beach. Since the adoption of the Study the following additional parkland acres have been acquired: Ormond Crossings (17 acres), linear parks (7 acres) and the Andy Romano Beachfront Park (4.07 acres). The current total number of acres of parkland in Ormond Beach is ±500.07 acres. The City exceeds its LOS standard by approximately 3.7 acres. The City will likely need to review proposed facility improvements based on available funding.

Sanitary Sewer: The existing wastewater treatment plant is currently permitted for a rated capacity of 6 Million Gallons per Day (MGD) for wastewater influent flow from the sanitary sewer collection system. The most recent annual period average daily flow to the facility is 3.84 MGD. The City obtained a FDEP permit for plant expansion and is currently underway with Capital Improvement Project No. 2010-10 to rehabilitate existing plant components and expand the plant rated capacity to 8 MGD. The project is anticipated for substantial completion around June 2013. The existing demand and approved projects for waste water treatment use is 5.76 MGD. The capacity remaining without the expansion is 0.24 MGD and the remaining capacity with the expansion shall be 2.24 MGD if all approved projects are built out. The LOS for sanitary sewer continues to be met.

Potable Water: The City operates a single water treatment plant having a permitted and rated capacity of 12 MGD. The existing demand for water use during the most recent annual period is 5.60 MGD. When the proposed projects for the City's service area are added to the existing demand, the total is 7.41 MGD. There is a remaining capacity of 4.59 MGD if all approved projects are built out. The LOS for potable water service continues to be met.

Solid Waste: The City maintains a solid waste, recycling, yard waste and construction/demolition debris roll-off collection program through a private contractor. Current manual solid waste collection occurs twice per week per residential unit, with recycling and yard waste collection occurring once per week. Roll-off collection is customer generated and is on an as needed basis. Commercial or mechanical solid waste collection occurs from a minimum of three days per week to a maximum of six days per week. Solid waste collections average 5.67 pounds per capita. In addition, recycling collections average 3.27 pounds per capita. While the City's solid waste collections exceed the adopted LOS Standard (4.0 pounds per capita), the amount of solid waste generated by individuals is not something the City cannot control. The City will continue to promote recycling programs, work towards achieving the adopted LOS Standard.

Traffic: The City maintains a traffic concurrency monitoring system for new development outside of the designated multimodal corridors to determine impacts to roadways within the City. City roadways are meeting or exceeding the adopted LOS Standards. County and State roadways which are impacted by Ormond Beach development have segments that do not meet adopted LOS Standards. Tymber Creek Road, from Peruvian to Airport Road has an unfunded improvement identified and all development impacting this segment is required to enter into a proportionate fair share agreement for

their impacts. The segment of Tymber Creek Road from Peruvian Way south to Granada Boulevard has a failing LOS but is funded in FY 11/12 of Volusia County's three-year work program. Clyde Morris Boulevard widening from a 2-lane undivided road facility to a 4-lane divided road facility was completed and the road operates at an acceptable LOS.

While the CIE is for years between 2008 and 2013, the City's Long Term Roadway Assessment for 2010-25 indicates that should traffic trends continue, segments of A1A, Granada Boulevard, Hand Avenue and Williamson Boulevard will have an LOS of E or worse. In 2025 without road improvements increasing capacity or reducing vehicle miles travelled through multimodal strategies, segments of US 1 and Williamson, most of Granada Boulevard and most of Hand Avenue will have an LOS of E or worse.

Public Schools: Based on the most up to date LOS Tables provided by the School Board from 2011, overall the City is currently meeting its LOS Standards.

The subject amendments to the CIE are attached for review (Exhibit A) and include the updated Schedule to update data related to the Schedule and other statutorily required information such as:

- Projects included in the Transportation Planning Organization TIP (Transportation Improvements Program) that the City relies on for concurrency; and
- The Volusia County School District Five-Year Work Program.

It is expected that the Annual Update to the CIE will be reviewed by the City Commission on December 1, 2011 (1st reading) and again on December 13, 2011 (2nd Reading).

RECOMMENDATION: Staff recommends that the Planning Board recommend **approval** to the City Commission of the adoption of the 2011 CIE Annual Update.

Attachments: Exhibit A – 2011 Capital Improvement Element Annual Update

Exhibit A

2011 Capital Improvements Element
Annual Update

Amendments are shown in ~~strikethrough~~ (deleted)
and underline (proposed text)

Table A

Leisure Services

Capital Improvements Schedule
September, 2009

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	RELATIONSHIP TO COMPREHENSIVE PLAN
Neighborhood Parks									
4	South-Ormond Neighborhood Park Field Renovations	FRDAP	\$ —	\$ —	\$ 75,000	\$ —	\$ —	\$ 75,000	Recreation Element— Obj. 1.1
		Property Taxes— General Capital Improvements Program (CIP)	\$ —	\$ —	\$ 75,000	\$ —	\$ —	\$ 75,000	
2	South-Ormond Neighborhood Park Improvements	Property Taxes— General Capital Improvements Program (CIP)	\$ 205,000	\$ —	\$ —	\$ —	\$ —	\$ 205,000	Recreation Element— Obj. 1.1
Community Parks									
3	Gymnastic-Center Improvements	Property Taxes— General CIP	\$ 45,000	\$ —	\$ —	\$ —	\$ —	\$ 45,000	Recreation Element— Obj. 1.1
4	Nova-Community Park Racquetball Courts	Property Taxes— General CIP	\$ —	\$ —	\$ —	\$ 75,000	\$ —	\$ 75,000	Recreation Element— Obj. 1.1
		FRDAP	\$ —	\$ —	\$ —	\$ 75,000	\$ —	\$ 75,000	
5	Nova-Community Park Renovations	Property Taxes— General CIP	\$ —	\$ 60,000	\$ 135,000	\$ 52,000	\$ —	\$ 247,000	Recreation Element— Obj. 1.1
		FRDAP	\$ —	\$ —	\$ 135,000	\$ —	\$ —	\$ 135,000	
6	Nova-Community Skate Park-Rebuild	Property Taxes— General CIP	\$ —	\$ —	\$ —	\$ —	\$ 250,000	\$ 250,000	Recreation Element— Obj. 1.1
		FRDAP	\$ —	\$ —	\$ —	\$ —	\$ 200,000	\$ 200,000	
7	Ormond-Beach Sports	Property Taxes— General CIP	\$ 45,000	\$ —	\$ —	\$ —	\$ —	\$ 45,000	Recreation Element— Obj. 1.1

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	RELATIONSHIP TO COMPREHENSIVE PLAN
8	Ormond Crossings Land for Airport Sports Complex/Community Parks	Developer Exaction	\$ 1,000,000	\$ -	\$ -	\$ -	\$ 4,500,000	\$ 5,500,000	Recreation Element-Obj. 1.1.4
-Cultural									
9	Performing Arts Center Marquee Replacement	Property Taxes-General CIP	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ 60,000	Recreation Element-Obj. 1.1
40	The Casements Architectural Improvements (Phase 1)	Property Taxes-Tax Increment Financing	\$ 295,000	\$ -	\$ -	\$ -	\$ -	\$ 295,000	Recreation Element-Obj. 1.1
		Eseological Cultural Heritage Outdoors	\$ 250,000	\$ -	\$ -	\$ -	\$ -	\$ 250,000	
TOTAL			\$1,900,000	\$ 60,000	\$420,000	\$ 202,000	\$4,950,000	\$ 7,532,000	

FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14
Property Taxes-General CIP	\$ 355,000	\$ 60,000	\$ 240,000	\$ 127,000	\$ 250,000	\$ 1,002,000
FRDAP Grant	\$ -	\$ -	\$ 210,000	\$ 75,000	\$ 200,000	\$ 485,000
Property Taxes TIF	\$ 295,000	\$ -	\$ -	\$ -	\$ -	\$ 295,000
ECHO Grant	\$ 250,000	\$ -	\$ -	\$ -	\$ -	\$ 250,000
Developer Exaction	\$1,000,000	\$ -	\$ -	\$ -	\$4,500,000	\$5,500,000
TOTAL	\$1,900,000	\$ 60,000	\$ 420,000	\$ 202,000	\$4,950,000	\$ 7,532,000

Table B
Utilities
Capital Improvements Schedule
September, 2009

#	Project Description/ Area	Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	Relationship to Comprehensive Plan	Relationship to Water Supply Work Plan Project #
Waste Water Expansion										
1	Force Main Improvements	State Revolving Fund (CF)	\$ 3,200,000	\$ -	\$ -	\$ -	\$ -	\$ 3,200,000	Utilities Element - Objs. 1.1, 1.7 and 1.8	20
		St. Johns River Water Management District (SJRWMD) Grant	\$ -	\$ 600,000	\$ -	\$ -	\$ -	\$ 600,000		
		Wastewater Impact Fees	\$ -	\$ 600,000	\$ -	\$ -	\$ -	\$ 600,000		
2	Hunter's Ridge Irrigation	SRF Loan (CF)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 670,000	Utilities Element - Objs. 1.2	21
		Reuse Impact Fees	\$ -	\$ -	\$ 410,000	\$ -	\$ -	\$ 410,000		
3	Waste Water Plant Rehab Expansion	SRF Loan (CF)	\$ 15,820,000	\$ -	\$ -	\$ -	\$ -	\$ 15,820,000	Utilities Element - Objs. 1.1, 1.7 and 1.8	22
Waste Water System Improvements										
4	Pump Station Repair & Replacement	SRF Loan (CF)	\$ 435,000	\$ -	\$ -	\$ -	\$ -	\$ 435,000	Utilities Element - Objs. 1.1, 1.7 and 1.8	29
5	Sanitary Sewer Pipeline Repair	40% Water and Waste Water R and R	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ 200,000	Utilities Element - Objs. 1.1, 1.7 and 1.8	N/A
6	US1 Sewer Service	Water and Sewer Chargers	\$ 350,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ -	\$ 950,000	Utilities Element - Objs. 1.1, 1.7 and 1.8	N/A
7	Ormond Crossings System Improvements	Developer Fair Share	\$ -	\$ -	\$ -	\$ -	\$ 2,940,000	\$ 2,940,000	Future Land Use Element, Directive Text for Ormond Crossings	1

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table B
Utilities
Capital Improvements Schedule
September, 2009**

#	Project Description/ Area	Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	Relationship to Comprehensive Plan	Relationship to Water Supply Work Plan Project #
Water System Expansion										
8	Distribution System	SRF Loan	\$ 2,000,000	\$ -	\$ -	\$ -	\$ -	\$ 2,000,000	Utilities Element - Objs.1.1, 1.7 and 1.8	1
		Bond Proceeds	\$ 1,350,000	\$ 2,680,000	\$ 650,000	\$ 1,100,000	\$ -	\$ 5,780,000	Utilities Element - Objs.1.1, 1.7 and 1.8	1
9	Lime Softening Facility Upgrades	Water and Sewer Charges	\$ 165,000	\$ 6,500	\$ -	\$ -	\$ -	\$ 171,500	Utilities Element - Objs.1.1, 1.7 and 1.8	3, 13, 14, 15
10	Rima Ridge Wells	Bond Proceeds (CF)	\$ 720,000	\$ -	\$ -	\$ -	\$ -	\$ 720,000	Utilities Element - Objs.1.1, 1.7 and 1.8	2
Water System Improvements										
11	High Service Pumps - VFD Project	Water and Sewer Charges	\$ 250,000	\$ -	\$ -	\$ -	\$ -	\$ 250,000	Utilities Element - Objs.1.1, 1.7 and 1.8	10
12	Cross Section Control Panel	Water and Sewer Charges	\$ 55,000	\$ 55,000	\$ 55,000	\$ 90,000	\$ 90,000	\$ 345,000	Utilities Element - Objs.1.1, 1.7 and 1.8	N/A
13	Hydrant Replacement	Water and Sewer Charges	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ -	\$ 600,000	Utilities Element - Objs.1.1, 1.7 and 1.8	9
14	LPRO Process Upgrades	Water and Sewer Charges	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ 50,000	Utilities Element - Objs.1.1, 1.7 and 1.8	N/A
15	Meter Installations - New	Water and Sewer Charges	\$ 90,000	\$ 90,000	\$ 90,000	\$ 90,000	\$ 90,000	\$ 450,000	Utilities Element - Objs.1.1, 1.7 and 1.8	N/A
16	Pet Tanks	Pet Tank Fees	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 150,000	Utilities Element - Objs.1.1, 1.7 and 1.8	10

Table B
Utilities
Capital Improvements Schedule
September, 2009

#	Project Description/ Area	Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	Relationship to Comprehensive Plan	Relationship to Water Supply Work Plan Project #
17	Utility Relocation	Water and Sewer Charges	\$ 630,000	\$ -	\$ -	\$ -	\$ -	\$ 630,000	Utilities Element - Objs.1.1, 1.7 and 1.8	15
18	Water Plant Install of Dust Arrestor/Bag Shaker	Water and Sewer Charges	\$ 80,000	\$ -	\$ -	\$ -	\$ -	\$ 80,000	Utilities Element - Objs.1.1, 1.7 and 1.8	16, 17
19	Water Plant Membrane Replacement	Water and Sewer Charges	\$ -	\$ -	\$ 365,000	\$ -	\$ -	\$ 365,000	Utilities Element - Objs.1.1, 1.7 and 1.8	18
20	Reuse System Improvements	SRF Loan	\$ -	\$ 4,370,000	\$ -	\$ -	\$ -	\$ 4,370,000	Utilities Element - Objs.1.1, 1.7 and 1.8	23, 24, 25
21	Ormond Crossings Service Improvements	Developer Fair Share	\$ -	\$ -	\$ -	\$ -	\$ 3,820,000	\$ 3,820,000	Future Land Use Element, Directive Text for Ormond Crossings	1
TOTAL			\$ 25,575,000	\$ 8,181,500	\$ 3,220,000	\$ 1,660,000	\$ 9,970,000	\$ 45,606,500		

CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES

Table B
Utilities
Capital Improvements Schedule
September, 2009

FUNDING SCHEDULE

Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14
SRF	\$ 21,455,000	\$ 4,370,000	\$ 670,000	\$ -	\$ -	\$ 26,495,000
SJRWMD Grant	\$ -	\$ 600,000	\$ -	\$ -	\$ -	\$ 600,000
Wastewater Impact Fee (Waste IF)	\$ -	\$ -	\$ 600,000	\$ -	\$ -	\$ 600,000
Bond Proceeds	\$ 2,070,000	\$ 2,680,000	\$ 650,000	\$ 1,100,000	\$ -	\$ 6,500,000
Reuse Impact Fee	\$ -	\$ -	\$ 410,000	\$ -	\$ -	\$ 410,000
Water and Sewer Charges	\$ 1,820,000	\$ 501,500	\$ 860,000	\$ 530,000	\$ 180,000	\$ 3,891,500
Pep Tank Charges	\$ 60,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 150,000
409-Water and Waste Water R and R	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ 200,000
Developer Fair Share	\$ -	\$ -	\$ -	\$ -	\$ 6,760,000	\$ 6,760,000
TOTAL	\$ 25,575,000	\$ 8,181,500	\$ 3,220,000	\$ 1,660,000	\$ 6,970,000	\$ 45,606,500

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table B
Utilities
Capital Improvements Schedule
September, 2009**

FUNDING SCHEDULE

Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14
SRF	\$ 21,455,000	\$ 4,370,000	\$ 670,000	\$ —	\$ —	\$ 26,495,000
SJRWMD Grant	\$ —	\$ 600,000	\$ —	\$ —	\$ —	\$ 600,000
Wastewater Impact Fee (Waste-IF)	\$ —	\$ —	\$ 600,000	\$ —	\$ —	\$ 600,000
Bond Proceeds	\$ 2,070,000	\$ 2,680,000	\$ 650,000	\$ 1,100,000	\$ —	\$ 6,500,000
Reuse Impact Fee	\$ —	\$ —	\$ 410,000	\$ —	\$ —	\$ 410,000
Water and Sewer Charges	\$ 1,820,000	\$ 501,500	\$ 860,000	\$ 530,000	\$ 180,000	\$ 3,891,500
Pep-Tank Charges	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 150,000
409 Water and Waste Water R and R	\$ 200,000	\$ —	\$ —	\$ —	\$ —	\$ 200,000
Developer Fair Share	\$ —	\$ —	\$ —	\$ —	\$ 6,760,000	\$ 6,760,000
TOTAL	\$ 25,575,000	\$ 8,181,500	\$ 3,220,000	\$ 1,660,000	\$ 6,970,000	\$ 45,606,500

Table C
Transportation
Capital Improvements Schedule
September, 2009

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	RELATIONSHIP TO COMPREHENSIVE PLAN
1	Road Repair/ Reconstruction	Property Taxes - Transportation (CF)	\$ 160,000	\$ —	\$ —	\$ —	\$ —	\$ 160,000	Transportation Element — Obj. 1.1
2	Hull Road Turn Lane	Property Taxes - General Capital Improvements Program (CIP)	\$ 18,750	\$ —	\$ —	\$ —	\$ —	\$ 18,750	Transportation Element — Obj. 1.1
		Metropolitan Planning Organization	\$ 56,250	\$ —	\$ —	\$ —	\$ —	\$ 56,250	
3	Collector Road Upgrades	Grant	\$ 1,150,000	\$ —	\$ —	\$ —	\$ —	\$ 1,150,000	Transportation Element — Obj. 1.1
		Property Taxes - Transportation (FB)	\$ 515,000	\$ —	\$ —	\$ —	\$ —	\$ 515,000	
		Bond Proceeds	\$ 1,070,000	\$ 2,150,000	\$ —	\$ —	\$ —	\$ 3,220,000	
4	Road Resurfacing	Local Option Gas Tax	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000	\$ —	\$ 2,000,000	Transportation Element — Obj. 1.1
		Property Taxes - Transportation	\$ 125,000	\$ 200,000	\$ 225,000	\$ 200,000	\$ 700,000	\$ 1,450,000	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	RELATIONSHIP TO COMPREHENSIVE PLAN
5	Sidewalks	Property Taxes-Transportation	\$ 250,000	\$ —	\$ —	\$ —	\$ —	\$ 250,000	CIE—Obj. 1.3
6	SR 40 Signal Interconnect	Property Taxes-General-Capital Improvements Program (CIP)	\$ 33,700	\$ 22,500	\$ —	\$ —	\$ —	\$ 56,200	CIE—Obj. 1.3
		Metropolitan Planning Organization	\$ —	\$ 168,700	\$ —	\$ —	\$ —	\$ 168,700	CIE—Obj. 1.3
7	Nova Road Audible Pedestrian Signals	Property Taxes-General-Capital Improvements Program (CIP)	\$ 17,200	\$ 11,500	\$ —	\$ —	\$ —	\$ 28,700	CIE—Obj. 1.3
		Metropolitan Planning Organization	\$ —	\$ 86,000	\$ —	\$ —	\$ —	\$ 86,000	CIE—Obj. 1.3
8	Tomoka State Park Sidewalk	FDOI	\$ —	\$ 379,040	\$ —	\$ —	\$ —	\$ 379,040	CIE—Obj. 1.3
		City-in-kind Services	\$ —	\$ 94,760	\$ —	\$ —	\$ —	\$ 94,760	
9	SR 40 PD&E Study (Tymer-Creek-to-I-95)	Developer	\$ —	\$ —	\$ —	\$ 750,000	\$ —	\$ 750,000	Transportation Element -Obj.2.1
10	Upgrade and re-paving 2.5 segment of Tymer Creek Road to a standard 2-lane-typical cross-section	Developer	\$ —	\$ —	\$ —	\$ —	\$ —	\$ 1,200,000 Beyond Five Years	Transportation Element -Obj.2.1
44	SR 40 Multi-Use Trail	ARRA	Phase 1 \$ 179,000 Phase 2 \$ 184,000	Phase 3 \$ 587,000	\$ —	\$ —	\$ —	\$ 950,000	Transportation Element -Objs. 1.6, 1.7, and 1.8

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14	RELATIONSHIP TO COMPREHENSIVE PLAN
12	Adaptive Control System	Volusia County	\$ —	\$ —	\$ -300,000	\$ —	\$ —	\$ -300,000	Transportation Element -Obj-2.
13	Crossings Boulevard (Segment 1)	CRA/Developer	\$ —	\$ —	\$ —	\$ —	\$ -8,500,000	\$ -8,500,000	Transportation Element Policy-6.1.3
14	Crossings Boulevard (Segment 2)	CDD/Developer	\$ —	\$ —	\$ —	\$ —	\$ 8,000,000	\$ 8,000,000	Transportation Element Policy-6.1.3
15	I-95/US-1 Interchange ramp improvements	Developer	\$ —	\$ —	\$ —	\$ —	\$ —	Beyond Five Years	Transportation Element Policy-6.1.3
		TOTAL	\$4,258,900	\$4,199,500	\$1,025,000	\$-1,450,000	\$17,200,000	\$28,133,400	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table C
Transportation
Capital Improvements Schedule
September, 2009**

FUNDING SCHEDULE

Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14
Property Taxes - Transportation	\$ 1,050,000	\$ 200,000	\$ 225,000	\$ 200,000	\$ 700,000	\$ 2,375,000
Metropolitan Planning Organization	\$ 56,250	\$ 254,700	\$	\$	\$	\$ 310,950
City in-kind Services	\$	\$ 94,760	\$	\$	\$	\$ 94,760
Bond	\$ 1,070,000	\$ 2,150,000	\$	\$	\$	\$ 3,220,000
Property Taxes - CIP	\$ 69,650	\$ 34,000	\$	\$	\$	\$ 103,650
FDOT	\$	\$ 379,040	\$	\$	\$	\$ 379,040
Gas Tax	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000	\$	\$ 2,000,000
Developer	\$	\$	\$	\$ 750,000	\$ 16,509,000	\$ 750,000
Grant	\$ 1,150,000	\$	\$	\$	\$	\$ 1,150,000
Volusia County	\$	\$	\$ 300,000	\$	\$	\$ 300,000
ARRA	\$ 363,000	\$ 587,000	\$	\$	\$	\$ 950,000
TOTAL	\$ 4,258,900	\$ 4,199,500	\$ 1,025,000	\$ 1,450,000	\$ 17,200,000	\$ 28,133,400

Table D
Volusia County Metropolitan Planning Organization (MPO) Projects
 Capital Improvements Schedule
 September, 2009

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 09-10	FY 10-11	FY 11-12	FY 13-14	FY 13-14	FY 09-14	RELATIONSHIP TO COMPREHENSIVE PLAN
1	Tymer Creek Road SR-40 to Peruvian Lane	Volusia County	\$-5,100,000	\$-500,000	\$-	\$-	\$-	\$-5,600,000	Transportation Element-Obj. 1.1
2	SR-5 (US 1)/SR-40 Intersection Improvement	FDOT	\$-1,979,245	\$-	\$-102,690	\$-	\$-	\$-2,081,935	Transportation Element-Obj. 1.1
TOTAL			\$7,079,245	\$-500,697	\$-102,690	\$-	\$-	\$-7,681,935	-

FUNDING SCHEDULE

Funding Source	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14	FY 09-14
Florida Department of Transportation	\$-1,979,245	\$-500,000	\$-	\$-	\$-	\$-5,600,000
Volusia County	\$-5,100,000	\$-	\$-102,690	\$-	\$-	\$-2,081,935
TOTAL	\$-7,097,245	\$-500,000	\$-102,690	\$-	\$-	\$-7,681,935

CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES

Table E

Volusia County School District Five-Year Work Program
September, 2009

#	PROJECT DESCRIPTION/AREA	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14
New Construction						
1	*Marks, George Elm-- Replacement	\$ —	\$ —	\$ —	\$ 971,290	\$ 17,682,000
2	New Elm "A" Relieve-Cypress Creek, Horizon, Chisholm	\$ —	\$ —	\$ —	\$ —	\$ 988,000
3	New Elm "C" Relieve Pathways, Pine Trail	\$ —	\$ —	\$ —	\$ —	\$ 988,000
4	*New-K-8 "FF" Relieve-New Smyrna Mid, Indian River, Edgewater	\$ —	\$ —	\$ 1,120,000	\$ —	\$ 38,750,000
5	Pierson/Seville Replacement	\$ —	\$ —	\$ —	\$ —	\$ 18,600,000
New Construction TOTAL		\$ —	\$ —	\$ 1,120,000	\$ 971,290	\$ 77,008,000
Major Projects at Existing Schools & Facilities						
6	Delfona HS--Reroof Campus	\$ 2,880,000	\$ —	\$ —	\$ —	\$ —
7	Enterprise Elm-- Addition	\$ —	\$ —	\$ 4,500,000	\$ 500,000	\$ —
	Enterprise Elm--9 Classroom Addition	\$ 2,880,000	\$ —	\$ —	\$ —	\$ —
	Friendship Elm--9 Classroom Addition	\$ 2,880,000	\$ —	\$ —	\$ —	\$ —
	Holly Hill Mid--Demo Buildings	\$ —	\$ 410,000	\$ —	\$ —	\$ —
	Horizon Elm--9 Classroom Addition	\$ 2,880,000	\$ —	\$ —	\$ —	\$ —
8	Pine Ridge HS--HVAC Bldg.	\$ 1,516,000	\$ —	\$ —	\$ —	\$ —
5						

#	PROJECT DESCRIPTION/AREA	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14
9	Portables—Lease	\$ 1,200,000	\$ 1,000,000	\$ 250,000	\$ 250,000	\$ 250,000
10	Portables—Moves & Compliance	\$ 690,000	\$ 640,000	\$ 590,000	\$ 540,000	\$ 490,000
11	Seabreeze HS—10 Year Sports Complex Lease	\$ 600,000	\$ —	\$ —	\$ —	\$ —
12	Southwestern Mid—Additions	\$ 500,000	\$ 500,000	\$ 500,000	\$ —	\$ 500,000
13	Sunrise Elm—9 Classroom Addition	\$ 2,650,000	\$ —	\$ —	\$ —	\$ —
14	Various Schools—Minor Projects	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000
15	Various Facilities—Facilities Review Projects	\$ 3,872,422	\$ 8,000,000	\$ 8,000,000	\$ 8,000,000	\$ 8,000,000
	Major Prjs. @ Existing Schools/Fac. TOTAL	\$ 23,608,422	\$ 16,350,000	\$ 15,140,000	\$ 10,590,000	\$ 10,040,000
	Facilities Management					
16	Facilities Mgmt.—Various Projects	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000
	Technology					
17	Network, EDP & Communications Equipment	\$ 9,000,000	\$ 9,000,000	\$ 9,000,000	\$ 9,000,000	\$ 9,000,000
	System-wide Equipment & Vehicles					
18	Various Schools & Departments—Furniture and Equipment	\$ 1,800,000	\$ 1,800,000	\$ 1,800,000	\$ 1,800,000	\$ 1,800,000
	Buses					
19	Transportation Dept.—Bus Replacement	\$ —	\$ —	\$ —	\$ —	\$ 7,239,765
	Transfers					
20	Transfers—Debt Service—Impact Fee	\$ 7,488,108	\$ 7,490,909	\$ 2,681,218	\$ 2,681,258	\$ 2,681,278
21	Transfers—Debt Service—LCIF	\$ 4,446,525	\$ 4,448,975	\$ 4,447,292	\$ 4,449,432	\$ 7,069,654
22	Transfers—Debt Service—Sales Tax	\$ 39,664,477	\$ 39,663,044	\$ 44,472,644	\$ 44,467,584	\$ 47,306,833

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	PROJECT DESCRIPTION/AREA	FY 09-10	FY 10-11	FY 11-12	FY 12-13	FY 13-14
23	Transfers—Equipment Leases & Property Insurance	\$ 3,411,250	\$ 3,411,250	\$ 3,411,250	\$ 3,411,250	\$ 3,411,250
24	Transfers—Maintenance	\$ 15,800,000	\$ 15,800,000	\$ 15,800,000	\$ 15,800,000	\$ 15,800,000
	Total Transfers	\$ 70,810,360	\$ 70,814,175	\$ 70,812,404	\$ 70,809,524	\$ 76,269,015
	GRAND TOTAL	\$ 108,218,782	\$ 100,964,175	\$ 100,872,404	\$ 96,107,814	\$ 184,356,780

Table F
2025 Mass Transit Schedule of Capital and Operating Improvements
September, 2010

Project No.	Project Description	Expense Type	Projected Total Cost [†]	FY 1	General Location	Other Funding Sources	Consistency with Other Elements																																																	
1	SR 40 Transit Service Expansion	Capital	2,460,000	2018	See Figure 8 of the Future Land Use Element	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes																																																	
		Operating	15,536,000	2018-2025				2	US 1 Transit Service Expansion	Capital	1,760,000	2016	See Figure 9 of the Future Land Use Element	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes	Operating	14,160,000	2016-2025	3	A1A Transit Service Expansion	Capital	1,170,000	2016	See Figure 6 of the Future Land use Element	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes	Operating	9,480,000	2016-2025	4	Transit Amenities	Capital	2,200	2010	Citywide	Transit Fee	Yes	5	Transit Amenities	Capital	75,000	2011	Citywide	Transit Fee	Yes	6	Transit Amenities	Capital	125,000	2012	Citywide	Transit Fee	Yes	Total		
2	US 1 Transit Service Expansion	Capital	1,760,000	2016	See Figure 9 of the Future Land Use Element	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes																																																	
		Operating	14,160,000	2016-2025				3	A1A Transit Service Expansion	Capital	1,170,000	2016	See Figure 6 of the Future Land use Element	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes	Operating	9,480,000	2016-2025	4	Transit Amenities	Capital	2,200	2010	Citywide	Transit Fee	Yes	5	Transit Amenities	Capital	75,000	2011	Citywide	Transit Fee	Yes	6	Transit Amenities	Capital	125,000	2012	Citywide	Transit Fee	Yes	Total			44,768,200	2010-2025									
3	A1A Transit Service Expansion	Capital	1,170,000	2016	See Figure 6 of the Future Land use Element	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes																																																	
		Operating	9,480,000	2016-2025				4	Transit Amenities	Capital	2,200	2010	Citywide	Transit Fee	Yes	5	Transit Amenities	Capital	75,000	2011	Citywide	Transit Fee	Yes	6	Transit Amenities	Capital	125,000	2012	Citywide	Transit Fee	Yes	Total			44,768,200	2010-2025																				
4	Transit Amenities	Capital	2,200	2010	Citywide	Transit Fee	Yes																																																	
5	Transit Amenities	Capital	75,000	2011	Citywide	Transit Fee	Yes																																																	
6	Transit Amenities	Capital	125,000	2012	Citywide	Transit Fee	Yes																																																	
Total			44,768,200	2010-2025																																																				

[†]Transit Fee portion equals \$4,704,200 and the balance of \$40,064,000 will be funded from other sources noted under Other Funding Sources

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table-G
2025 Non-Motorized Schedule of Capital Improvements
September, 2010**

Project No.	Project Description	Expense Type	Projected Total Cost	FY 1	General Location	Other Funding Sources	Consistency with Other Elements
1	SR 40 Sidewalk and Trails Expansion	Capital	\$190,000	2012-2025	See Map 3 of the Adopted Ormond Beach Multi-Modal Strategy	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes
2	US 1 Sidewalk and Trails Expansion	Capital	\$190,000	2012-2025	See Map 3 of the Adopted Ormond Beach Multi-Modal Strategy	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes
3	Sidewalk connectivity Projects (A1A and Trails)	Capital	\$190,000	2012-2025	See Map 3 of the Adopted Ormond Beach Multi-Modal Strategy	FDOT, FTA, TIF, Mobility Fee and other local jurisdictions	Yes
4	Trail Amenities	Capital	\$105,000	2012-2025	Citywide	Mobility Fees	Yes
5	Tomoka Park Trail	Capital	\$473,812	2012	See Map 6 of the Adopted Ormond Beach Multi-Modal Strategy	Federal (XU), Mobility Fee	Yes
6	SR 40 Trail Phase 3	Capital	\$455,233	2014	See Map 4 of the Adopted Ormond Beach Multi-Modal Strategy	Federal (XU), Mobility Fee	Yes
7	Thompson Creek Trail	Capital	\$950,000	2020	See Map 5 of the Adopted Ormond Beach Multi-Modal Strategy	Federal (XU), Mobility Fee, and TIF	Yes

Project No.	Project Description	Expense Type	Projected Total Cost	FY-1	General Location	Other Funding Sources	Consistency with Other Elements
8	Osceola/Ormond/ Tomoka/Pathway/ Pine Trail ELEM pedestrian/bike improvements	Capital	\$225,000	2012- 2025	Not Available	Federal and Mobility Fee	Yes
9	Sidewalk enhancements from existing 5 foot wide to 8 foot wide	Capital	\$215,000	2022- 2025	Citywide	Federal and Mobility Fee	Yes
Total			\$2,994,045.00				

Table A
Leisure Services
Capital Improvements Schedule
October, 2011

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 11-12	FY 12-13	FY 13-14	FY 14-15	FY 15-16	FY 11-16	RELATIONSHIP TO COMPREHENSIVE PLAN
Neighborhood Parks									
1	South Peninsula Beach Front Parking	Bond Proceeds	\$2,700,000	\$ -	\$ -	\$ -	\$ -	\$2,700,000	Recreation Element - Obj. 1.6
2	Nova Community Park Renovations	Property Taxes - General Capital Improvements Program (CIP)	\$ 394,000	\$ 285,000	\$250,000	\$350,000	\$115,000	\$1,394,000	Recreation Element - Policy 6.4.1
		FRDAP	\$ -	\$ 135,000	\$200,000	\$ -	\$ -	\$ 335,000	
TOTAL			\$3,094,000	\$ 420,000	\$450,000	\$ 350,000	\$115,000	\$4,429,000	

Funding Schedule

FUNDING SOURCE	FY 11-12	FY 12-13	FY 13-14	FY 14-15	FY 15-16	FY 11-16
Bond Proceeds	\$ 2,700,000	\$ -	\$ -	\$ -	\$ -	\$ 2,700,000
Property Taxes – General CIP	\$ 394,000	\$ 285,000	\$250,000	\$350,000	\$115,000	\$1,394,000
FRDAP Grant	\$ -	\$ 135,000	\$200,000	\$ -	\$ -	\$ 335,000
TOTAL	\$ 3,094,000	\$ 420,000	\$ 450,000	\$350,000	\$ 115,000	\$4,429,000

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table B
Utilities
Capital Improvements Schedule
October, 2011**

#	Project Description/ Area	Funding Source	FY 11-12	FY 12-13	FY 13-14	FY 14-15	FY 15-16	FY 11-16	Relationship to Comprehensive Plan
Stormwater Improvements									
1	Corrugated Metal Pipe Rehabilitation	Bond Proceeds	\$ 495,000	\$ -	\$ -	\$ -	\$ -	\$ 495,000	Utilities Element - Objs. 1.1, 1.7 and 1.8
		Stormwater Charges	\$ 406,300	\$ 233,050	\$ 250,000	\$ 250,000	\$ 250,000	\$ 1,379,350	
Waste Water System Expansion									
2	Force Main Improvements	Waste Water Impact Fees	\$ -	\$ 600,000	\$ -	\$ -	\$ -	\$ 600,000	Utilities Element - Objs. 1.1, 1.7 and 1.8
3	Reuse System Improvements	SRF Loan	\$ 3,420,000	\$ -	\$ -	\$ -	\$ -	\$ 3,420,000	Utilities Element - Objs. 1.1, 1.7 and 1.8
Wastewater Systems Improvements									
4	General Facility Upgrades - Wastewater	Water and Sewer Charges	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 500,000	Utilities Element - Objs.1.1, 1.7 and 1.8
5	Lift Station Rehabilitation	Water and Sewer Charges	\$ 160,000	\$ -	\$ -	\$ -	\$ -	\$ 160,000	Utilities Element - Objs.1.1, 1.7 and 1.8
6	Pretreatment Effluent Pump (PEP Replacement)	Water and Sewer Charges	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000	\$ 400,000	Utilities Element - Objs.1.1, 1.7 and 1.8

Table B
Utilities
Capital Improvements Schedule
October, 2011

#	Project Description/ Area	Funding Source	FY 11-12	FY 12-13	FY 13-14	FY 14-15	FY 15-16	FY 11-16	Relationship to Comprehensive Plan
6	Pretreatment Effluent Pump (PEP Replacement)	Water and Sewer Charges	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000	\$ 400,000	Utilities Element - Obs.1.1, 1.7 and 1.8
7	Sanitary Sewer Pipeline Repair	Water and Sewer Charges	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,000,000	Utilities Element - Obs.1.1, 1.7 and 1.8
8	Sludge Conveyor System Replacement	Water and Sewer Charges	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ 40,000	Utilities Element - Obs.1.1, 1.7 and 1.8
9	WWTP IPS Permanent Bypass Install	Water and Sewer Charges	\$ 90,000	\$ -	\$ -	\$ -	\$ -	\$ 90,000	Future Land Use Element, Directive Text for Ormond Crossings
Water System Expansion									
10	Water Main Replacement	Bond Proceeds	\$ 2,650,000	\$ -	\$ 1,850,000	\$ -	\$ 2,100,000	\$ 6,600,000	Utilities Element - Obs.1.1, 1.7 and 1.8
Water System Expansion									
11	General Facility Upgrades - Water	Water and Sewer Charges	\$ 175,000	\$ 175,000	\$ 175,000	\$ 175,000	\$ 175,000	\$ 875,000	Utilities Element - Obs.1.1, 1.7 and 1.8
12	Hydrant Replacement	Water and Sewer Charges	\$ 175,000	\$ 175,000	\$ -	\$ -	\$ -	\$ 350,000	Utilities Element - Obs.1.1, 1.7 and 1.8
13	Memorial Gardens Re-Use Water Extension	Water and Sewer Charges	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ 75,000	Utilities Element - Obs.1.1, 1.7 and 1.8
14	Meter Installation	Water and Sewer Charges	\$ 90,000	\$ 90,000	\$ 90,000	\$ 90,000	\$ 90,000	\$ 450,000	Utilities Element - Obs.1.1, 1.7 and 1.8
15	Rima Wells Auxiliary Power Generator	Water and Sewer Charges	\$ 67,500	\$ -	\$ -	\$ -	\$ -	\$ 67,500	Utilities Element - Obs.1.1, 1.7 and 1.8
16	Utility Relocation	Water and Sewer Charges	\$ -	\$ 250,000	\$ 200,000	\$ -	\$ -	\$ 450,000	Utilities Element - Obs.1.1, 1.7 and 1.8

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table B
Utilities
Capital Improvements Schedule
October, 2011**

#	<u>Project Description/ Area</u>	<u>Funding Source</u>	<u>FY 11-12</u>	<u>FY 12-13</u>	<u>FY 13-14</u>	<u>FY 14-15</u>	<u>FY 15-16</u>	<u>FY 11-16</u>	<u>Relationship to Comprehensive Plan</u>
17	Water Plant Membrane Replacement	Water and Sewer Charges	\$ -	\$ -	\$ 90,000	\$ 90,000	\$ 90,000	\$ 270,000	Utilities Element - Obs.1.1, 1.7 and 1.8
18	Water Plant Well Rehab Program	Water and Sewer Charges	\$ 78,000	\$ 78,000	\$ 78,000	\$ 78,000	\$ 78,000	\$ 390,000	Utilities Element - Obs.1.1, 1.7 and 1.8
19	Water Storage Tank Repairs	Water and Sewer Charges	\$ -	\$ -	\$ 75,000	\$ 75,000	\$ 75,000	\$ 225,000	Utilities Element - Obs.1.1, 1.7 and 1.8
Community Redevelopment									
20	Downtown: Stormwater Improvements	Property Taxes - TIF	\$ 150,000	\$ 200,000	\$ 500,000	\$ 600,000	\$ 500,000	\$ 1,950,000	Future Land Use Element - Policy 7.2.2
TOTAL			\$ 8,451,800	\$ 2,171,050	\$ 3,688,000	\$ 1,738,000	\$3,738,000	\$19,786,850	

Utilities Funding Schedule

<u>Funding Source</u>	<u>FY 11-12</u>	<u>FY 12-13</u>	<u>FY 13-14</u>	<u>FY 14-15</u>	<u>FY 15-16</u>	<u>FY 11-16</u>
Bond Proceeds	\$ 3,145,000	\$ -	\$ 1,850,000	\$ -	\$ 2,100,000	\$ 7,095,000
Stormwater Charges	\$ 406,300	\$ 223,050	\$ 250,000	\$ 250,000	\$ 250,000	\$ 1,379,350
Wastewater Impact Fees	\$ -	\$ 600,000	\$ -	\$ -	\$ -	\$ 600,000
SRF Loan	\$ 3,420,000	\$ -	\$ -	\$ -	\$ -	\$ 3,420,000
Water and Sewer Charges	\$ 1,330,500	\$ 1,148,000	\$ 1,088,000	\$ 888,000	\$ 888,000	\$ 5,342,000
Property Taxes - TIF	\$ 150,000	\$ 200,000	\$ 500,000	\$ 600,000	\$ 500,000	\$ 1,950,000
<u>TOTAL</u>	<u>\$ 8,451,000</u>	<u>\$ 2,171,000</u>	<u>\$ 3,688,000</u>	<u>\$ 1,738,000</u>	<u>\$ 3,738,000</u>	<u>\$ 19,786,850</u>

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

**Table C
Transportation
Capital Improvements Schedule
October, 2011**

#	PROJECT DESCRIPTION/AREA	FUNDING SOURCE	FY 11-12	FY 12-13	FY 13-14	FY 12-13	FY 15-15	FY 11-16	RELATIONSHIP TO COMPREHENSIVE PLAN
1	Audible Pedestrian Signals - Nova Road	TPO	\$ 50,000	\$ 95,000	\$ -	\$ -	\$ -	\$ 145,000	Transportation Element - Obj. 1.3
2	Forest Hill Trail	FDOT	\$ -	\$ 382,654	\$ -	\$ -	\$ -	\$ 382,654	Transportation Element - Obj. 1.3
		Property Taxes - Transportation	\$ -	\$ 127,551	\$ -	\$ -	\$ -	\$ 127,551	
3	North Halifax Drive Repaving	Grant	\$ 530,000	\$ -	\$ -	\$ -	\$ -	\$ 530,000	Transportation Element - Obj. 1.3
4	Railroad Crossing	Local Option Gas Tax	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 200,000	Transportation Element - Obj. 1.1
5	Road Resurfacing	Local Option Gas Tax	\$ 470,000	\$ 460,000	\$ 450,000	\$ 450,000	\$ 450,000	\$2,280,000	Transportation Element - Obj. 1.1
6	Street Light Maintenance	Property Taxes - Transportation	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 125,000	Transportation Element - Obj. 1.1
7	Traffic Signal Maintenance	Property Taxes - Transportation	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000	\$ -	\$ 320,000	Transportation Element - Obj. 1.1
8	Crossings Boulevard (Segment 1)	CRA/ Developer	\$ -	\$ -	\$8,500,000	\$ -	\$ -	\$8,500,000	Transportation Element - Policy 6.1.3
9	Crossings Boulevard (Segment 2)	FDOT	\$ -	\$ -	\$8,000,000	\$ -	\$ -	\$8,000,000	Transportation Element - Policy 6.1.3

<u>#</u>	<u>PROJECT DESCRIPTION/AREA</u>	<u>FUNDING SOURCE</u>	<u>FY 11-12</u>	<u>FY 12-13</u>	<u>FY 13-14</u>	<u>FY 12-13</u>	<u>FY 15-15</u>	<u>FY 11-16</u>	<u>RELATIONSHIP TO COMPREHENSIVE PLAN</u>
10	*I-95/US1 Interchange Ramp Improvements	Developer	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Transportation Element - Policy 6.1.3
11	Downtown: Granada Medians Improvements	Property Taxes - TIF	\$ 900,000	\$ 450,000	\$ -	\$ -	\$ -	\$ 1,350,000	Future Land Use Element - Policy 7.2.4
12	Tomoka State Park	FDOT	\$ 379,050	\$ -	\$ -	\$ -	\$ -	\$ 379,050	Transportation Element - Obj. 1.3
13	SR 40 Phase III	FDOT	\$ 678,700	\$ -	\$ -	\$ -	\$ -	\$ 678,700	Transportation Element - Obj. 1.3
<u>TOTAL</u>			<u>\$3,162,750</u>	<u>\$1,670,205</u>	<u>\$17,105,000</u>	<u>\$ 605,000</u>	<u>\$475,000</u>	<u>\$23,017,955</u>	

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

Transportation Funding Schedule

<u>Funding Source</u>	<u>FY 11-12</u>	<u>FY 12-13</u>	<u>FY 13-14</u>	<u>FY 14-15</u>	<u>FY 15-16</u>	<u>FY 11-16</u>
TPO	\$ 50,000	\$ 95,000	\$ -	\$ -	\$ -	\$ 145,000
FDOT	\$ 1,057,750	\$ 382,654	\$ -	\$ -	\$ -	\$ 1,440,404
Property Taxes - Transportation	\$ 635,000	\$ 232,551	\$ 105,000	\$ 105,000	\$ 25,000	\$ 1,102,551
Local Option Gas Tax	\$ 520,000	\$ 510,000	\$ 500,000	\$ 500,000	\$ 450,000	\$ 2,480,000
CRA Developer	\$ -	\$ -	\$ 8,500,000	\$ -	\$ -	\$ 8,500,000
CDD Developer	\$ -	\$ -	\$ 8,000,000	\$ -	\$ -	\$ 8,000,000
Property Taxes - TIF	\$ 900,000	\$ 400,000	\$ -	\$ -	\$ -	\$ 1,350,000
<u>TOTAL</u>	<u>\$3,162,750</u>	<u>\$ 1,620,205</u>	<u>\$17,105,000</u>	<u>\$605,000</u>	<u>\$475,000</u>	<u>\$23,017,955</u>

Table E
Volusia County School District Five-Year Work Program
October, 2011

#	PROJECT DESCRIPTION/AREA	FY 11-12	FY 12-13	FY 13-14	FY 14-15	FY 15-16
<u>New Construction</u>						
1	None Without Additional Revenue	\$ -	\$ -	\$ -	\$ -	\$ -
<u>Major Projects at Existing Schools & Facilities</u>						
2	Blue Lake Elm - Classroom Addition	\$ -	\$ -	\$ -	\$ 250,000	\$ 2,750,000
3	Portables - Lease	\$ 600,000	\$ 500,000	\$ 250,000	\$ 250,000	\$ 250,000
4	Portables - Moves & Compliance	\$ 400,000	\$ 400,000	\$ 300,000	\$ 300,000	\$ 300,000
5	Various Schools - Minor Projects	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000	\$ 1,300,000
6	Various Schools - Facilities Review Projects	\$ 5,238,000	\$ 4,500,000	\$ 4,500,000	\$ 4,500,000	\$ 4,500,000
	<u>Total Major Prjs at Existing Schools and Facilities</u>	\$ 7,538,000	\$ 6,700,000	\$ 6,350,000	\$ 6,600,000	\$ 9,100,000
<u>Facilities Management</u>						
7	Facilities Management - Various Projects	\$ 1,581,000	\$ 1,581,000	\$ 1,581,000	\$ 1,581,000	\$ 1,581,000
<u>Technology</u>						
8	Network, EDP & Communications Equipment	\$ 5,000,000	\$ 4,500,000	\$ 4,500,000	\$ 4,500,000	\$ 4,500,000
<u>System-wide Equipment & Vehicles</u>						
9	Various Schools & Departments - Furniture and Equipment	\$ 800,000	\$ 800,000	\$ 800,000	\$ 800,000	\$ 800,000
<u>Buses</u>						
10	Transportation Dept. - Bus Replacement	\$ -	\$ -	\$ 4,116,030	\$ 4,116,030	\$ 4,116,030

**CAPITAL IMPROVEMENTS ELEMENT
GOALS, OBJECTIVES AND POLICIES**

#	PROJECT DESCRIPTION/AREA	FY 11-12	FY 12-13	FY 13-14	FY 14-15	FY 15-16
Transfers						
<u>11</u>	Transfers - Debt Service- Impact Fee	\$ 51,601,151	\$ 51,598,273	\$ 51,599,887	\$ 51,603,928	\$ 51,600,238
<u>12</u>	Transfers - Equipment Leases & Property Insurance	\$ 3,407,250	\$ 3,407,250	\$ 3,407,250	\$ 3,407,250	\$ 3,407,250
<u>13</u>	Transfers - Maintenance	\$ 15,600,000	\$ 15,600,000	\$ 15,600,000	\$ 15,600,000	\$ 15,600,00
Total Transfers		\$ 70,608,401	\$ 70,605,523	\$ 70,607,137	\$ 70,611,178	\$ 70,607,488
GRAND TOTAL		\$ 85,527,401	\$ 84,186,523	\$ 87,954,167	\$ 88,208,208	\$ 90,704,518

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: November 3, 2011

SUBJECT: LDC Amendments –Chapter 2 Article III, Accessory Uses

APPLICANT: Administrative

NUMBER: LDC 12-003

PROJECT PLANNERS: Steven Spraker, AICP, Senior Planner
Becky Weedo, AICP, Senior Planner
Sabrina Johnson, Planning Technician

INTRODUCTION:

This is an administrative request to amend Chapter 2: District and General Regulations, Article III, General Regulations, Section 2-50, Accessory Uses of the Land Development Code as follows:

Item	Sub-Section	Name of Subsection
1.	E.	Docks, Boathouses and Boat Lifts
2.	G.	Commercial Vehicle Storage/Parking
3.	N.	Fences and Walls
4.	R.	Greenhouses
5.	S.	Home Occupations
6.	V.	Outdoor Storage, Parking, or Use of Personal Property
7.	BB.	Sheds, Utility Structures, Playhouses and Gazebos
8.	New	Playstructures

BACKGROUND:

City staff has identified eight sections of the accessory uses Section of the Land Development Code that should be considered for amendments. Planning staff is processing Land Development Code amendments as a group to reduce the time and cost of multiple separate amendments to the same Article. The report has been structured so that the Planning Board can consider and vote on each item separately or as a group.

ANALYSIS:

A separate analysis is attached to this report for each item specifying the background, analysis, and proposed Land Development Code amendment. Each amendment displays language proposed to be deleted in ~~strike through~~ and language proposed to be added in underline.

CONCLUSION:

There are certain criteria that must be evaluated before adoption of an amendment according to the Land Development Code (LDC); the Planning Board must consider the following criteria when making their recommendation.

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

The proposed Land Development Code amendments will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life. The purpose of the amendments is to improve the application of the City's zoning code and to recognize new uses and outside agency regulations.

- 2. The proposed development is consistent with the Comprehensive Plan.**

The proposed Land Development Code amendments are consistent with the Comprehensive Plan. Objective 2.1 of the Future Land Use Element of the Comprehensive Plan discussed the need to update Land Development Code regulations.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The proposed Land Development Code amendments will not have an adverse impact on environmentally sensitive lands.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The proposed Land Development Code amendments will have no adverse effect on surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare or visual impacts on adjoining properties. It is the goal of the amendments to ensure accessory uses are compatible to surrounding uses.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

The proposed Land Development Code amendments are not applicable to public facilities.

Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.

There is no development proposed for the amendments. The application pertains to a Land Development Code amendment.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

There is no development proposed for the amendments. The application pertains to a Land Development Code amendment.

- 8. The proposed development provides for the safety of occupants and visitors.**

There is no development proposed for the amendments. The application pertains to a Land Development Code amendment.

- 9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.**

There is no development proposed for the amendments. The application pertains to a Land Development Code amendment.

- 10. The testimony provided at public hearings.**

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet.

RECOMMENDATION:

It is expected that the amendment will be reviewed by the City Commission on December 13, 2011 (1st reading) and January 3, 2012 (2nd reading). It is recommended that the Planning Board **APPROVE** LDC 12-003, to amend Chapter 2: District and General Regulations, Article III, General Regulations, Section 2-50, Accessory Uses of the Land Development Code as shown in the attached Exhibits.

Item 1: E. Docks, Boathouses and Boat Lifts:

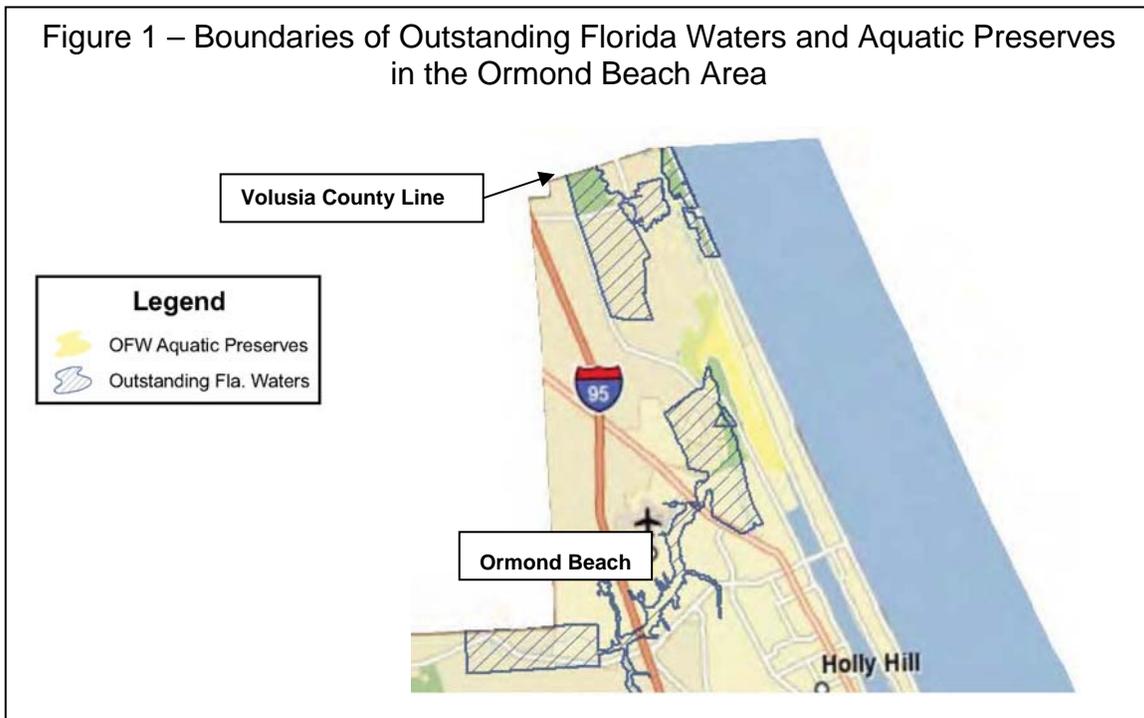
BACKGROUND:

The City of Ormond Beach, Florida Department of Environmental Protection (FDEP), and the County of Volusia regulate single-family dock construction based upon the type of waterway where the structure is built. There are three different designations of waterways where regulations will vary:

Class III or Class III-Limited includes all waterways used for the purposes of fish consumption, recreation, propagation and maintenance of a healthy, well-balanced/limited population of fish and wildlife. Halifax River south of Sandcastle Drive.

Outstanding Florida Waters (OFW) are designated by the Environmental Regulation Commission as worthy of special protection because of their natural attributes. Boundaries are primarily in the Tomoka River and can be seen in Figure 1 below shown by the blue hatch marks.

Aquatic Preserves are designated in order to protect habitats for wildlife and marine life, and preserve archeological and historic resources. The Aquatic Preserve boundaries are highlighted in yellow in Figure 1 below.



The corporate limits of the City on the beachside extend north to Sandcastle Drive and then along the shoreline in the Halifax River up to 3132 John Anderson Drive. Any dock project built in this area is under the jurisdiction of the City of Ormond Beach. All seawalls, rip-raps, and revetments are required to obtain a permit from the County of Volusia for properties between Sandcastle Drive and 3132 John Anderson Drive. All permits must be obtained under state and federal guidelines.

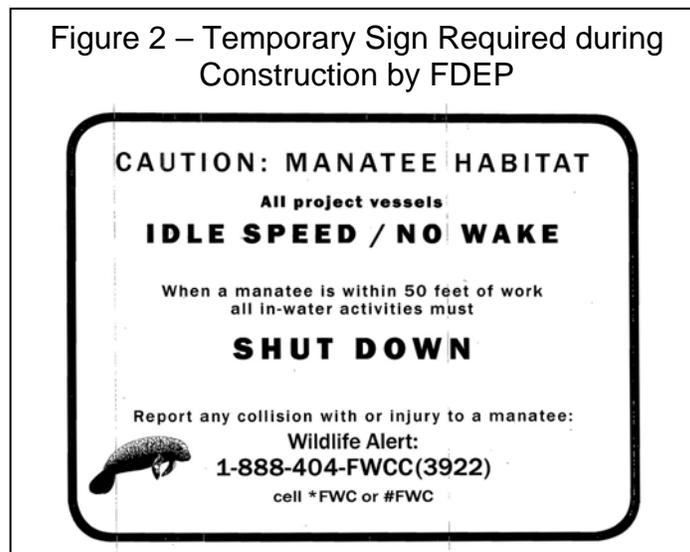
Recently, City staff members met with dock contractors and property owners regarding changes to the FDEP regulations in aquatic preserves. Staff members reviewed the FDEP and Volusia County regulations and determined that there are opportunities to streamline the dock permitting process and resolve inconsistencies in the Land Development Code.

Item 1: ANALYSIS for E. Docks, Boathouses and Boat Lifts:

Below is a summary of the proposed changes:

Section E. f. related to the regulation of davits is proposed to be deleted. The dock contractors explained that the use of davits is obsolete. A boat lift (cradle style) is much safer for storing a boat at a dock structure and is the preferred choice of most clients to store a boat at a dock on a permanent basis.

Section E. k. regarding manatee signage is also recommended to be deleted. The FDEP only requires a temporary "Beware of Manatee" sign erected during construction of any dock and is to be removed after construction is completed (See Figure 2). The only time this sign is required on a permanent basis is for marinas (more than 2 slips).



The setback requirements in Section E.3.a. are being modified so that the language is consistent with FDEP. The 25-foot setback from the riparian lines of adjacent owners is still required but there is an added provision for lots less than 65 feet for a 15-foot setback. Residential property owners will not be required to go through a variance for lots less than 65 feet of shoreline which will expedite the permit process.

The last proposed amendments are to Section E.5 to simplify the dimensional requirement language and be more consistent with FDEP. Section E. 5. has been restructured so that anyone building a walkway, terminal platform, or boathouse will clearly understand what is permitted. Figure 1 has been added so that the requirements are visually represented.

Therefore, the proposed amendments create consistency with state and federal regulations and simplify the permit process for boathouses, terminal platforms, and walkways.

LDC AMENDMENT:

E. **Docks, Boathouses and Boat Lifts.** Docks, piers, boathouses, boat lifts and other similar structures shall be constructed, expanded and maintained in a manner which will protect the natural resources and the public health, safety, and welfare.

1. Permit Required

- a. No piers, docks, boathouses, or other similar structures extending into any surface water body shall be built until plans and specifications have been submitted to and approved by the Chief Building Official and a permit for such construction issued.
- b. Copies of all appropriate permits from other agencies, including the Department of Environmental Protection and the US Army Corps of Engineers, shall be submitted to the City in conjunction with the building permit application. No permit or written authorization will be needed from the Florida Department of Environmental Protection if the dock project is eligible for Consent by Rule per Sections 403.813(1)(b); 403.813(1)(d); or Section 403.813(1)(i), Florida Statutes.
- c. Any structures proposed in or within 100 feet of a regulated wetland system will also require a Wetlands Protection Permit. A determination as to whether a Wetlands Protection Permit is required will be made by the Engineering Department, consistent with the criteria of Chapter 3, Article II of this Code.

2. General Standards

- a. No more than one (1) boathouse or combination of boathouse and dock, dock, gazebo or other similar structure shall be permitted for each single-family

residence on a waterfront lot, or a group of waterfront lots under unified ownership.

- b. Stilt houses, boathouses with living or sleeping quarters, and other such residential structures are prohibited in the waterways of the City. No boathouse, dock, gazebo, fueling or storage facilities or other similar structure shall be used for dwelling purposes or contain any sleeping or living quarters.
- c. No boathouse, dock, pier, or other structures in the waterways of the City shall have any provision for retail sales or commercial boat sales except as provided for in an approved site plan and except for properly sited marinas and multi-slip docking facilities provided that the upland riparian areas are appropriately zoned for non-residential use. All proposed activities must be water-dependent and must not be contrary to the public interest.
- d. All submerged lands shall be considered as single use lands and shall be managed primarily for the maintenance of essentially natural conditions, propagation of fish and wildlife, and traditional recreational uses such as fishing, boating, and swimming. Compatible secondary purposes and uses which will not detract from or interfere with the primary purpose may be allowed.
- e. Activities which will result in adverse impacts to submerged lands and associated resources including wetlands shall not be approved unless there is no reasonable alternative and adequate mitigation is proposed.
- ~~f. No more than one (1) set of davits may be used for each waterfront lot, or group of waterfront lots under unified ownership unless otherwise provided for Marinas and Multi-Slip Docking Facilities in Chapter 2, Article IV, based on compliance with environmental performance standards.~~
- g.f. Proposed development activities shall be designed and maintained consistent with the Wetlands Protection Permit requirements, the Tomoka Marsh Aquatic Preserve Management Plan and rules, the Outstanding Florida Water requirements, and the Tomoka River Manatee Sanctuary requirements, as applicable.
- ~~h.g.~~ Any landscaping or vegetation that is disturbed during the construction process shall be restored to approximate its original condition within 60 days of final approval of the structure.
- i.h. To the maximum extent practical, the proposed development activity shall address existing erosion problems and stabilization of the shoreline through the establishment of appropriate native wetland vegetation in littoral areas.
- j.i. Boathouses, docks, and other similar structures extending into any water body shall not be enclosed to any degree except for necessary boathouse supports and roof.
- ~~k. The owner of any structure proposed to be constructed within the Tomoka River Manatee Sanctuary or any other waterbody having documented~~

~~evidence of being inhabited by manatees shall be requested to erect a sign or marker stating that the area is inhabited by manatees.~~

~~h.j.~~ During construction, turbidity must be controlled on-site to prevent reduction in water quality.

3. Setback Requirements

- a. If the length of the shoreline is 65 feet or more, a ~~A~~ minimum 25-foot setback from the riparian lines of adjacent owners is required for all structures. ~~If the shoreline length is less than 65 feet, a minimum 15-foot setback from the riparian lines is required for all structures.~~ These provisions, however, shall not preclude adjoining property owners from agreeing to locate a shared dock (on land and in the water) located along a common property line. The owners shall be required to enter into an agreement (based on a valid survey) which shall be recorded that stipulates that no other dock shall be located on either property, that each property owner grants an easement to each other for access/use of the dock, and that defines the maintenance obligation of each property owner. Property owners choosing to locate docks on common property lines shall ensure that there are no utility of other easements precluding the construction of the dock.
- b. Marginal docks shall have a minimum setback of 15 feet from the riparian lines of all adjacent owners.
- ~~e.~~ ~~The Board of Adjustment and Appeals shall not grant any variance to the setbacks unless the applicant's shoreline frontage is less than 65 feet, a hardship is proven.~~
- ~~ed.~~ Setbacks from other activities, channels and structures shall be required to ensure safety, facilitate enforcement abilities and ensure resource management.
- ~~ed.~~ No such structure shall extend within 100 feet of a marked channel without prior state or federal permit approval.
- ~~f.~~ ~~No such structure shall extend within 20 feet of the midpoint of any waterway or waterbody having no marked channel.~~
- ~~ge.~~ No boathouse, ~~dock~~ walkway, terminal platform, or other similar structure or any combination of boathouse and dock shall extend farther than a maximum water depth of four (4) feet below mean low water, more than 20% of the width of the into the Halifax River as measured by the width of the River at that juncture, or 500 feet, whichever is less more restrictive.
- ~~hf.~~ No boathouse, ~~dock~~ walkway, terminal platform, or other similar structure or any combination of boathouse and dock shall extend more than ~~10~~25% into the Tomoka River and its tributaries and canals as measured by the width of the River at that juncture, or within 20 feet of the midpoint of the waterbody or waterway or channel, whichever is ~~less~~ more restrictive.

4. **Water Depths Requirements.** Docking facilities shall have adequate water depths to accommodate the proposed boat use consistent with permit conditions of appropriate State and Federal agencies.
5. **Dimensional Requirements.** The following criteria as well as Figure 1 shall apply in review and approval of all docks, boathouses, or other such structures.
- ~~a. No boathouse or other similar structure extending into the Halifax River shall exceed 500 square feet in area.~~
- ~~b. No boathouse or other similar structure extending into the Tomoka River, except for that portion thereof described in paragraph c., immediately below, shall exceed 300 square feet in area.~~
- ~~c. No boathouse, dock, terminal platform, or other similar structure, extending into Strickland Creek, Dodson Creek, Thompson's Creek, the Little Tomoka River, Misner's Branch, and Groover's Branch, or any waterway situated in the City and lying within the Tomoka Marsh Aquatic Preserve, shall exceed 160 square feet in area.~~
- ~~(1) No dock or terminal platform shall exceed 180 square feet in areas other than those specified in Paragraph c above.~~
- ~~(2) The square footage limitations established herein are exclusive of the area of the main access pier or catwalk providing ingress or egress from the boathouse, dock, terminal platform or other similar structure. The main access pier or catwalk shall be considered a walkway and shall not exceed six feet (6') in width. Catwalks and finger docks extending off the main access walkway shall not exceed three feet (3') in width.~~
- ~~(3) No boathouse or other similar structure shall exceed a maximum width of 13 feet as measured between the insides of the pilings, or 15 feet as measured between the outsides of the pilings.~~
- ~~(4) No dock or other similar structure shall exceed a maximum width of 20% of the width of the property or 25 feet, whichever is less.~~
- ~~(5) The roof of any boathouse or similar structure, at its highest point, shall not exceed 18 feet above the water level at mean high tide.~~
- ~~(6) A terminal platform is permitted in combination with a boathouse provided the additional square footage does not exceed 180 square feet.~~
- ~~(7) The plate upon which the roof rafters of such boathouse structures rest shall not be more than 12 inches below the roof edge.~~
- ~~(8) If 5% or more of the floor area of a boathouse, dock, catwalk, or other similar structure is proposed to be located over beds of native submerged aquatic vegetation consisting of any of the following listed species, the structure shall be located so as to minimize any disturbance to such vegetation: widgeon grass (*Ruppia maritima*); eel grass (*Zostera marina*); manatee grass (*Cymodocea filiformis* or *Syringadium filiformis*); sea~~

~~grass (*Halophila spp.*); shoal grass (*Halodule wrightii*); and eel grass (*Vallisneria spp.*).~~

a. Access walkway:

1. The main access pier or catwalk shall be considered a walkway and shall not exceed six feet (6') in width. Catwalks and finger docks extending off the main access walkway shall not exceed three feet (3') in width.
2. The square footage limitations established herein are exclusive of the area of the main access walkway providing ingress or egress from the boathouse, dock, terminal platform or other similar structure.

b. Terminal Platform:

1. In the Tomoka Marsh Aquatic Preserve, no terminal platform shall exceed 160 square feet in area.
2. In all other waterways other than the Aquatic Preserves, no terminal platform shall exceed 180 square feet in area.
3. Terminal platforms may be covered, not to exceed the square footage in area of the terminal platform in the Aquatic Preserves. Nor shall a covered platform exceed a 24-inch roof overhang beyond the square footage of the platform in Florida Outstanding and Class III waterways. The maximum height at its highest point, shall not exceed 18 feet above the water level at mean high tide.

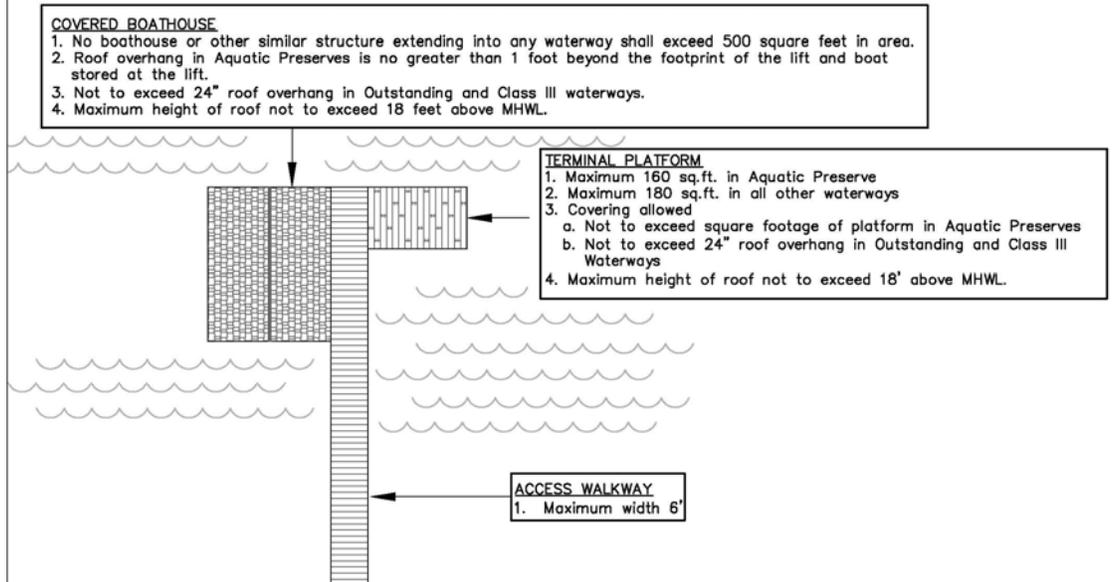
c. Boathouse:

1. No boathouse or other similar structure extending into any waterway shall exceed 500 square feet in area. The roof overhang in the Aquatic Preserves shall not exceed 1 foot beyond the footprint of the lift and the boat stored at the lift. The roof overhang shall not exceed 24-inches in Florida Outstanding and Class III waterways.
2. The roof of any boathouse or similar structure, at its highest point, shall not exceed 18 feet above the water level at mean high tide.

d. Vegetative disturbance:

1. If 5% or more of the floor area of a boathouse, dock, catwalk, or other similar structure is proposed to be located over beds of native submerged aquatic vegetation consisting of any of the following listed species, the structure shall be located so as to minimize any disturbance to such vegetation in compliance with state and federal guidelines: widgeon grass (*Ruppia maritima*); eel grass (*Zostera marina*); manatee grass (*Cymodocea filiformis* or *Syringadium filiformis*); sea grass (*Halophila spp.*); shoal grass (*Halodule wrightii*); and eel grass (*Vallisneria spp.*).

Figure 1



Item 2: Commercial Vehicle Storage and Parking

BACKGROUND:

City staff has noted the growing size of commercial and non-commercial vehicles and recommend that the current $\frac{3}{4}$ ton limitation be increased to 1 ton.

ANALYSIS:

The amendment is solely to increase the size of truck allowed from a $\frac{3}{4}$ ton to one ton and no other changes are proposed.

LDC AMENDMENT:

G. Commercial Vehicle Storage/Parking

1. **Vehicles.** Commercial vehicles which are used daily by residents of the household for transportation but which do not exceed manufacturer's standard ~~three-quarter~~ (~~$\frac{3}{4}$~~) one (1) ton size pick-up truck may be parked outdoors in a residential district provided that only one (1) such commercial vehicle may be located at any one (1) dwelling unit.
2. Commercial Vehicles Prohibited from Outdoor Parking in All Residential Areas.
 - a. Any commercial vehicles not meeting the standards described in paragraph A
 - b. Step vans
 - c. Flatbed and stakebed trucks
 - d. Wreckers (except for those time periods when the owner of the wrecker is the "on-call" Towing Company, pursuant to a Wrecker Service Agreement between the City and that Towing Company)
 - e. Tractor, including truck tractors
3. Commercial vehicles shall not be used as a form of signage and shall be parked in a manner such that prohibits visibility from a public right-of-way. All commercial vehicles shall comply with the standards established in Chapter 3, Article IV Signage.

Item 3: Fences and Walls

BACKGROUND:

This amendment proposes two changes to the fence section. The first change is to modify the current fence repair provision and the second change is the allowance of noise barriers along I-95.

ANALYSIS:

The first change is because the current fence repair provision is not consistent with the Florida building code. The current provision allows replacement of up to 50% of the fence with no permit. The proposed revision will require a fence permit unless waived by the Chief Building Official as maintenance to the fence.

The second proposed change allows noise attenuation barriers along Interstate I-95. There are currently no such barriers planned, but there has been interest from the developer of the River Oaks subdivision. The amendment would allow sound barrier walls with plans prepared by the appropriate design professional.

LDC AMENDMENT:

N. Fences and Walls

Fences and walls are intended to promote privacy, screening, separation, security, erosion control, or to serve other necessary and reasonable functions.

1. Building Permit Required

- a. All fences shall require a permit prior to installation or erection. It shall be unlawful for any person to erect, alter or locate a fence within the City without first having made application for and having been issued a permit. A building permit is required for fence replacement or ~~any repair of existing fences exceeding 50% of more of the linear frontage, unless waived by the Chief Building Official as maintenance of the fence.~~ An application for a fence permit shall include a full site plan showing:
 - (1) All structures on the site;
 - (2) All easements, rights-of-way, and dedications;
 - (3) Location of the fence in relationship to the property boundary lines and all building and structures on the lot;
 - (4) Height and material of the fence;
 - (5) Scaled drawing of a fence section, if the fence must comply with openness requirements;

- (6) Any other information requested by the City Manager or designee which is necessary to make a compliance determination.

2. General

- a. Other than for retaining walls deemed necessary by the City Engineer, all height, location, and design restrictions are addressed pursuant to this code.
- b. No fence or wall shall be erected, altered, or located in any way that violates the clear-sight triangle.¹
- c. Fences and walls are not permitted in the conservation easement.
- d. Fences and walls may be permitted in the drainage easement provided approval is granted by the Engineering and Utilities Division of the City of Ormond Beach.
- e. Fences and walls may be placed within the utility easement provided such fencing can be removed, if necessary, by the requesting utility agency and shall conform to the provisions in this code. Replacing the fence shall be the property owner’s responsibility and shall also conform to the provisions in this code.
- f. No fence or wall shall be any closer than three feet (3’) to any right-of-way line.

3. Permitted Fence and Wall Heights

Fence Type	Front Yard	Side Corner Yard	Side Yard	Rear Yard	Waterfront	Through Lot
Solid (wood, PVC, masonry)	3’	6’	6’	6’	3’	6’
Open* (picket, wrought iron style, rail)	6’	6’	6’	6’	6’	6’
Chain-link	Not permitted	Not permitted	6’, not to extend beyond principal structure	6’	4’ green or black vinyl coated only	Not permitted

¹ See definition and Illustration 1 at the end of this Article.

** Open style fencing must be a minimum of 50% opacity.*

4. Chain Link Fences.

- a. Development on non-residential and multi-family property adjacent to FDOT or Volusia County retention ponds shall be required to replace any chain-link fencing around said ponds with decorative fencing, subject to the approval of those jurisdictions.
- b. Chain link fences are permitted in the I-1 zoning district, recreational facilities, vacant and undeveloped lots, public utilities/facilities, and telecommunications tower sites, and shall be no higher than 10 feet. Chain link is prohibited in the front and side corner yards.
- c. No chain link fence shall be located on an arterial or collector roadway.
- d. Chain link fencing is prohibited in the front and side corner yards in single-family zoning districts. Chain link fencing is allowed in the side yard, not extending beyond the principal structure and the rear yard.

5. Commercial/Multi-family Fence and Wall Height Exceptions

- a. Masonry walls may be located no closer than seven feet (7') to the property line at the side corner setback. The area between the wall and the property line shall be adequately landscaped.
- b. Within the B-5 (Service Commercial) and the I-1 (Industrial) zoning districts, masonry walls or pre-cast walls with columns are permitted to be six feet (6') in height within the front yard setback to allow site screening.

6. Vacant & Undeveloped Lots

- a. Parcels not located on arterial or collector roadways may be permitted to fence the perimeter of a lot for security purposes with a green or black vinyl coated chain link fence, having a maximum height of six feet (6').
- b. For parcels located on arterial or collector roadways, fencing that is not chain link will be permitted to six feet (6').

7. Construction Fencing

- a. Temporary security fencing, not to exceed six feet (6') in height, is permitted for non-residential construction sites. Such fencing may be chain link and shall be approved in conjunction with the building permit(s) for the subject property. All construction fencing shall be removed prior to the Certificate of Completion/Occupancy for the project.

8. Noise Attenuation Barriers

- a. Noise attenuation barriers shall be permitted along Interstate 95.
- b. Noise attenuation barriers shall be designed by an acoustical engineer and demonstrate that the proposed barrier will reduce noise impacts and not reflect onto other properties.

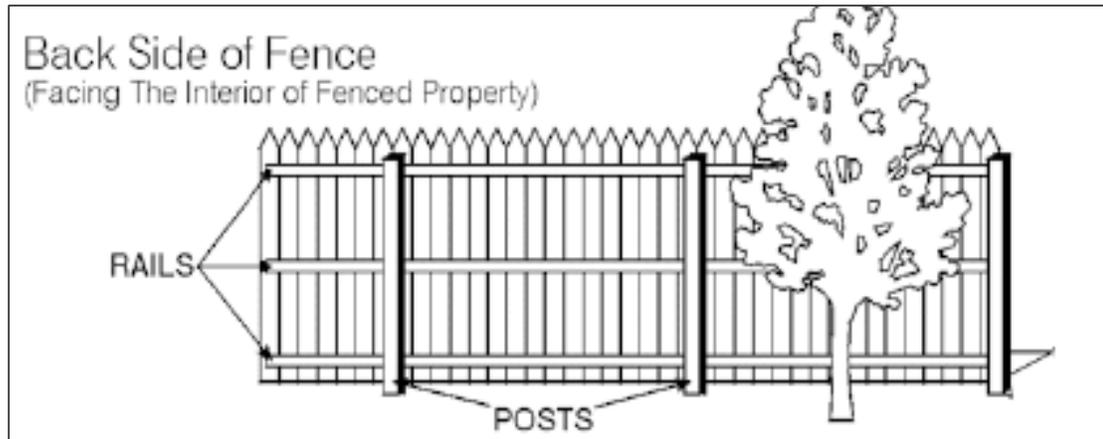
- c. The maximum height of a noise attenuation barrier shall be determined by an acoustical engineer and reviewed and approved by the City Engineer in order to reduce noise from the interstate.
- d. Noise attenuation barriers shall be architecturally treated to the maximum extent practical while maintaining the ability to reduce noise from the highway.

9. Wall Columns

- a. Wall columns shall have a maximum spacing of 30 feet on walls less than 200 feet in length and 40 feet on walls more than 200 feet in length.
- b. Wall columns may extend up to 12” above the height of the wall or 18” above the height of a wall framing a sign.
- c. Light fixtures may extend up to 42” above the height of the wall.

910. Orientation

- a. All fencing and walls shall be erected with the finished side facing the adjacent lot. The face of any fence or wall visible to the public shall also be finished.



101. Materials

- a. All walls, including retaining walls, shall have a finished surface such as stucco or brick, similar to the principal building.
- b. Broken glass, steel spikes, and other sharp objects intended to restrict access shall not be permitted along the top edge of a fence or wall, except that barbed wire and wrought iron shall be permitted.
- c. Fences or walls topped with barbed wire shall be permitted only in the I-1 zoning district or in conjunction with an industrial or warehouse use in the B-5 zoning district. The barbed wire shall be angled in toward the site. “V shaped” barbed wire can be used for public utility buildings.

- d. Wall construction, including but not limited to pre-cast walls, in close proximity to existing trees must not result in damage to the root system as determined by the City’s Landscape Architect.

142. Entrance Gates

- a. Access shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of 13 feet-6 inches (13’6”). Minimum width may be reduced to meet special access with the approval of the Fire Official.
- b. Entrance gates for all uses shall not exceed a height of 10 feet except when approved by the City, based on drawings which demonstrate that additional height is required to achieve specific design objectives.

123. Entrance Walls

- a. Entrance walls shall be permitted as a landscaped feature of any development, including subdivisions, planned office parks, mobile home communities, or apartment complexes. Such walls shall not exceed a height of six feet (6’).
- b. Entrance walls and landscaping shall be located within a 10 foot-wide easement or common area. Maintenance responsibility by the HOA is to be clearly established in the HOA documents.

134. Buffer Walls Required

- a. In order to promote privacy and reduce noise, glare, and visual impacts when non-residential uses abut residential uses, a minimum six foot (6’) high wall with decorative columns shall be constructed along the property line of any side or rear yard buffer under the following conditions:

	ABUTTING R-1, R-2, R-2.5, R-3, SR, REA, or RR, T-1, T-2		ABUTTING R-4, R-5, R-6, R-7
	or		or
	EXISTING CONFORMING SINGLE-FAMILY DWELLING in any DISTRICT		EXISTING CONFORMING MULTI-FAMILY USE in any DISTRICT EXCEPT B-4
TYPE OF USE	SIDE YARD	REAR YARD	REAR YARD
Commercial	SPRC	Masonry	Masonry
Public/Institutional	SPRC	SPRC	SPRC
Multi-Family	SPRC	SPRC	SPRC
Industrial	Masonry	Masonry	Masonry

- b. For the purpose of meeting these requirements, the rear yard wall requirement shall be applied to the rear yard of the impacting development and to any other yard that abuts the rear yard of the site being impacted.
- c. Where noted as SPRC, the requirement for a wall may be waived by the Site Plan Review Committee or a wooden fence may be allowed in lieu of a wall

where there are large areas of natural vegetation to remain or other distinct topographical features such as waterways, wetlands, stormwater retention areas, bridges, highways, or sharp changes in elevation which would make construction of walls difficult and not necessary for the reduction of noise or increased privacy. In all other situations, wall requirements may be waived through the Special Exception process based on the same findings as noted above.

- d. The height of a required buffer wall shall be at least four feet (4') above the highest elevation of the impacting site, provided that in no case shall the top of the wall be higher than six feet (6') above its base. The base of the wall shall be filled as necessary, with side slopes not to exceed four to one (4:1). The use of fill on the abutting property side of the wall shall be allowed only with the approval of the abutting property owner.

145. Double Frontage Walls

- a. Privacy walls shall be constructed in conjunction with subdivision plats along the rear of double frontage lots. Based on anticipated traffic volumes and type of traffic, a combination of plant materials, wrought iron features, and/or brick and masonry walls may be used, subject to approval by the SPRC.

156. Maintenance

- a. All fences and walls shall be maintained in good repair and free of any graffiti.
- b. All fences and walls shall be maintained in their original upright condition.
- c. Missing boards, pickets, or posts shall be replaced in a timely manner with material of the same type and quality.

167. Clear Sight Triangle

- a. A triangular area of clear vision as shown on Illustration 1 shall serve as the minimum standard for the clear sight triangle in order to provide a clear view from private access drives (such as from a residence, an apartment complex, shopping center, etc.). The City Engineer reserves the right to adjust the legs of a particular sight triangle to assure the safety of the general public.

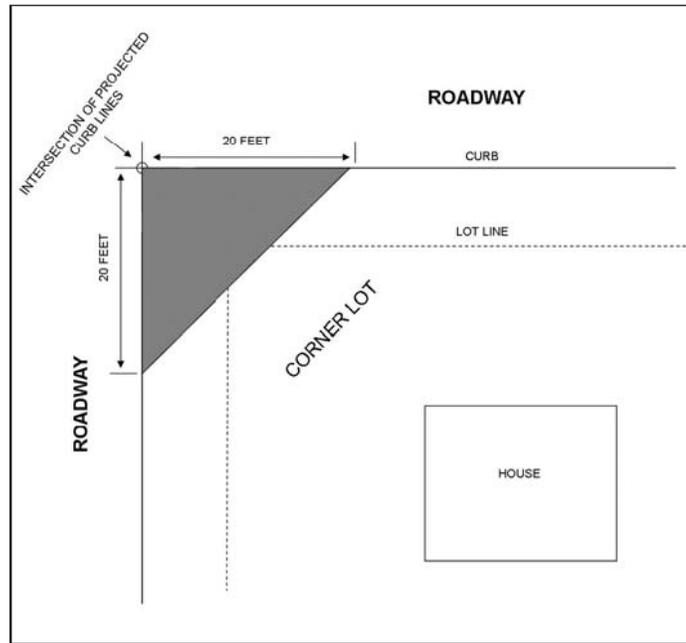


Illustration 1

- b. For all other intersecting rights-of-way and connections to public roadways, sight distance requirements shall adhere to FDOT Roadway and Traffic Design Standards, Index Number 546 (Sight Distance at Intersections). Deviations from this standard may be made on a case by case basis, as approved by the City Engineer.
- c. No structures, fencing, berms, or shrubs taller than three feet (3') and no trees with branches lower than 10 feet above grade shall be permitted in the area and is to remain free and clear of obstructions. This prohibition is also applicable to the location of vehicle parking spaces and signs. Generally, to avoid obstructing the sight triangle, signs and other possible obstructions should be placed a minimum of 20 feet away from the front edge of curb.

Item 4: Greenhouses

BACKGROUND:

City staff has received inquiries regarding residential greenhouse which are currently only allowed in the REA zoning district. This amendment proposes to allow greenhouses in all residential zoning districts.

ANALYSIS:

The amendment does not change the existing standards for greenhouses in the REA (5 acre lots) zoning district. The amendment does allow a greenhouse consistent with the dimensional standards of sheds. Greenhouses that are 10 feet or less in height and are 150 square feet or less are allowed at a side and rear yard setback of 7 ½ feet. All other greenhouses would be required to meet the principal building setbacks of the zoning district which they are located.

LDC AMENDMENT:

R. Greenhouses.

1. REA zoning district: Greenhouses ~~can only be~~ are allowed as an accessory use to a permitted residential use or as a principal use in the REA District.

1a. Setbacks shall be the same as those for the principal building.

2b. The applicant shall demonstrate that anticipated water usage will not have an adverse impact on the local aquifer.

2. All other residential zoning districts: Greenhouses are allowed as follows:

a. Greenhouses that are less than 150 square feet and 10 feet or less in height are permitted with a rear and side yard setback of 7 ½ feet.

b. Greenhouses greater than 150 square feet and/or greater than 10 feet or more shall be required to meet the principal building setbacks in which the property is located.

Item 5: Home Occupations

BACKGROUND:

Home occupations are popular and typically allow a professional or phone based type of business as part of a residential unit. The current home occupation divides home occupations into types "A", "B", and "C".

ANALYSIS:

The proposed amendment seeks to consolidate the various types of home occupations and simplify the regulations. The amendment would allow professional and phone based businesses, off-site sales of crafts, instruction of dance, music and swimming, and cottage food sales. Cottage food sales is a recent amendment by the state that allows the production of certain food products for off-site sales at farmer's markets, festivals, and other community events. The proposed restrictions maintain the existing regulations of no sales from the residential unit and home occupations are required to be accessory uses to the principal residential use.

LDC AMENDMENT:

~~S. **Home Occupations.** Home Occupations shall be categorized as Type "A", Type "B", or Type "C" as defined in Chapter 1, Article 3 of this Code.~~

- ~~1. The following regulations shall apply to Type "A" Home Occupations:
 - ~~a. The use shall be limited to office, professional service and phone type use only.~~
 - ~~b. There shall be no employment or help other than members of the resident family other than one (1) clerical employee.~~
 - ~~c. There shall be no sales of products or services not produced within the home.~~
 - ~~d. No more than 25% of the principal building's floor area may be devoted to the home occupational use, and such use shall be clearly incidental and secondary to the use of the building for residential purposes.~~
 - ~~e. The home occupation use shall not generate pedestrian or vehicular traffic beyond that customary in the zoning district in which it is located.~~
 - ~~f. No building or yard space other than the principal building shall be used for home occupation purposes. There shall be no on site, indoor or outdoor storage of materials or supplies.~~
 - ~~g. No signs or displays will be permitted other than one (1) nameplate not exceeding 1½ square feet in area.~~
 - ~~h. The appearance of the home shall not be altered, and the conduct of the occupation within it shall not be such that the home may be reasonably~~~~

~~recognized as serving a non-resident use, either by color, light, material, sounds, noises or vibrations.~~

~~i. There shall be no use of utilities or community facilities beyond that normal to the use of the property for residential purposes.~~

~~j. Advertisements of the business shall not state the residential address, only the phone number.~~

~~k. Notwithstanding any of the above, a Home Occupation may be allowed in other than a single family dwelling, provided that:~~

~~(1) The occupation is limited to telephone use only.~~

~~(2) No sign or nameplates are permitted.~~

~~(3) There shall be no persons employed outside of household members.~~

~~(4) There shall be no sales on the premises.~~

~~(5) The use shall not generate any noise, odor, light, pedestrian or vehicular traffic or utility use above that required for normal household use.~~

~~(6) There shall be no advertising listing the address of the use.~~

~~(7) No commercial vehicle may be parked or stored on site for use in conjunction with the home occupation.~~

~~2. The following regulations shall apply to Type "B" and Type "C" Home Occupations:~~

~~a. The minimum lot size shall be five (5) acres.~~

~~b. Only persons who reside in the dwelling unit shall be employed or act as an independent contractor in said dwelling unit permitted as a Type "B" Home Occupation. Other employees or independent contractors of the Type "B" Home Occupation may be permitted, provided that said persons do not assemble upon the premises for the purpose of conducting business. For Type "C" Home Occupations, the City Commission may allow, by Special Exception, one (1) or more employees or independent contractors who are not residents of the dwelling unit.~~

~~c. The home occupation shall be clearly incidental and subordinate to the residential use and shall under no circumstances change the residential character of the dwelling.~~

~~d. The floor area devoted to the home occupation shall not exceed 25% of the floor area of the dwelling. However, up to 500 square feet in an attached or detached garage of a dwelling, or in any accessory building in an agricultural classification, may be used for a home occupation in lieu of floor space within the dwelling.~~

~~e. There shall be no change in the outside appearance of the premises. Type "C" Home Occupations may permit one (1) non-illuminated on-premises sign, not~~

~~to exceed two (2) square feet in area. Any sign shall be mounted flat against the wall of the building.~~

- ~~f. All storage of materials or supplies used in the home occupation shall be done in enclosed buildings and within the space limitations in Paragraph 4, above. No products shall be displayed on the premises.~~
- ~~g. No equipment shall be used in the home occupation which creates fire hazards, electrical interference, noise, vibration, glare, fumes or odors detectable to the normal senses off the lot. In the case of electrical interference, no equipment or process shall be used which creates visual or audible interference in any radio or television receivers off the premises, or causes fluctuations in line voltage off the premises.~~
- ~~h. No vehicular traffic shall be generated by the home occupation in greater volumes than would normally be generated by the dwelling unit. Said volume of traffic shall not exceed ten (10) trip ends per dwelling unit. For Type "C" Home Occupations, the City Commission may allow, as a condition of the requisite Special Exception, a volume of traffic greater than that typically generated by the dwelling unit. No more than two (2) vehicles associated with the Home Occupation may be kept on the premises. Any need for parking shall be met off the street and on the premises but other than the front yard.~~
- ~~i. The home occupation shall not adversely affect the habitability or value of the surrounding properties nor alter the essentially residential character of the neighborhood.~~
- ~~j. Any violation of these regulations may result in the revocation of any home occupation permit, in addition to any other remedy for such violation provided in this ordinance or by law.~~
- ~~k. The issuance of a permit to engage in a home occupation in accordance with this ordinance shall not be deemed to be a change of zoning nor an official expression of opinion as to the proper zoning for the particular property.~~

S. Home occupations are to be conducted entirely within a dwelling unit and are subject to the following regulations:

1. Permitted home occupations:

- a. Professional and business office activities that do not involve clients, customers, or employees visiting the premises.
- b. Off-site sales of customary hobby crafts produced at home by residents. Such hobby crafts may include, but are not limited to needlework, woodwork or visual arts.
- c. Nonamplified musical instrument, dance or swimming instruction, of no more than one student per session.
- d. Cottage food sales as allowed in F.S. 500.80.

- e. In addition to the uses listed above, for single family homes of five acres or greater: beauty shops, ceramic classes, lawn mower repair services, dog grooming and the like, shall be permitted.
- 2. **Prohibited home occupations:** The following shall not be considered home occupations: motor vehicle, boat and small engine repair, on-site retail sales, upholstering, welding, photography studio, amplified music instruction, group instruction, and outdoor repair or storage.
- 3. **Restrictions:** Home occupations are permitted as an accessory use in all residential zones and subject to the following restrictions:
 - a. The home occupation shall be clearly incidental and subordinate to the residential use and shall under no circumstances change the residential character of the dwelling.
 - b. There shall be no employment or help other than members of the resident family and one (1) clerical employee.
 - c. Multi-family dwelling units shall be limited to professional and business office uses, hobby crafts produced at home by residents, and cottage food sales.
 - d. There shall be no sales of products at the residence.
 - e. The principal structure, including the garage or accessory structure, may be used for home occupation purposes. The floor area devoted to the home occupation shall not exceed 25% of the gross floor area of all structures on-site.
 - f. No vehicular traffic shall be generated by the home occupation in greater volumes than would normally be generated by the dwelling unit.
 - g. There shall be no on-site, indoor or outdoor storage of materials or supplies beyond that necessary for office use.
 - h. There shall be no use of utilities or community facilities beyond that normal to the use of the property for residential purposes.
 - i. There shall be no advertising listing the address of the use. For single-family homes of five acres or greater, one non-illuminated on-premises sign, not to exceed two (2) square feet in area. The sign must be mounted flat against the wall.
 - j. No equipment shall be used in the home occupation which creates fire hazards, electrical interference, noise, vibration, glare, fumes or odors detectable to the normal senses off the lot. In the case of electrical interference, no equipment or process shall be used which creates visual or audible interference in any radio or television receivers off the premises, or causes fluctuations in line voltage off the premises.
 - k. Any violation of these regulations may result in the revocation of any home occupation permit, in addition to any other remedy for such violation provided for by this Code.

Item 6: Outdoor Storage, Parking, or Use of Personal Property

BACKGROUND:

Commercial and industrial storage are regulated under the zoning districts as outdoor storage and are not accessory uses. Staff is recommending that the sections dealing with commercial and industrial storage be deleted from the accessory use section of the Land Development Code.

ANALYSIS:

As stated above, commercial and industrial storage are regulated in Section 3-57.O of the Land Development Code. Staff is recommending deleting the language in the accessory use Section of the Land Development Code.

LDC AMENDMENT:

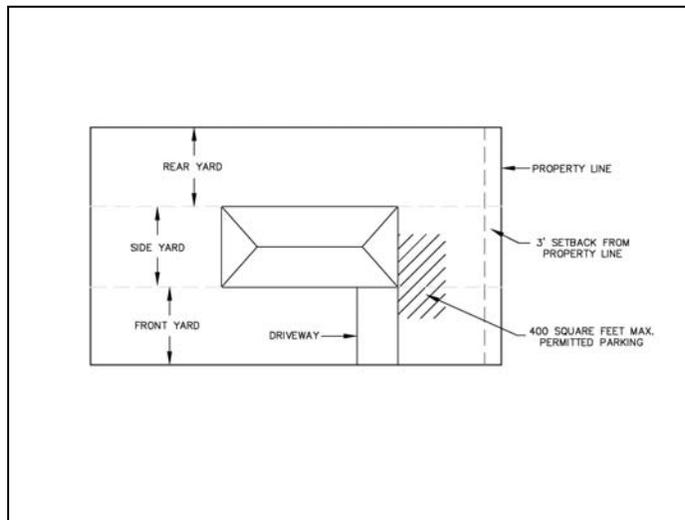
V. Outdoor Storage, Parking, or Use of Personal Property

1. Residential

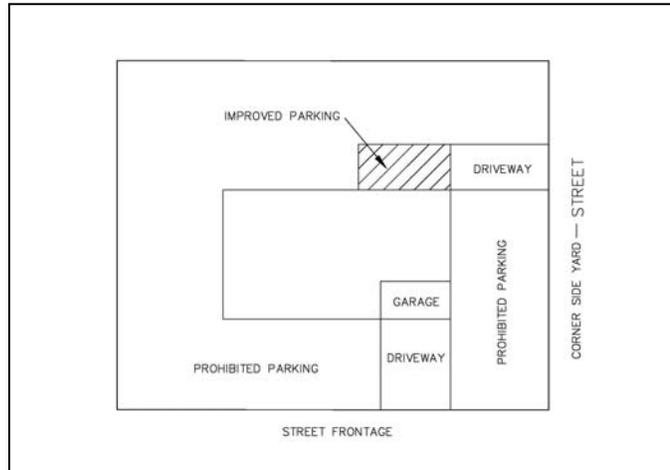
- a. The outdoor storage, parking or use of any item of personal property not listed below is prohibited in all residential zoning districts. Items of personal property listed below shall be permitted to be stored, parked or used in the manner prescribed.
- b. The use of personal property items that are customarily associated with and incidental to residential premises, such as swings, slides, and lawn chairs, lawn ornaments, picnic tables, grills and the like.
 - (1) The necessary outdoor storage of personal property during the construction or repair of permanent improvements on the premises.
 - (2) All vehicles shall be in operable condition at all times and, where applicable, shall evidence such condition by displaying the vehicle's license plate with current year registration validation sticker.
 - (3) The display of one (1) vehicle for sale on a single-family lot, subject to the following conditions:
 - (a) The vehicle shall be registered to the owner of the lot or to a resident of the dwelling located on that lot.
 - (b) No more than one (1) vehicle shall be displayed per day.
 - (c) No vehicle shall be displayed for more than 30 consecutive days.
 - (d) No vehicle or combination of vehicles shall be displayed for more than 60 days in a calendar year.

- c. The use of personal on-site storage structures shall be limited to situations where a person or business is moving to a new location. The personal storage unit shall not be placed on the site for a period over 30 days.
- d. There shall be no parking of vehicles, licensed or unlicensed, in the front yard of any residential property or in the side yard of a corner lot property except as:
 - (1) On driveways constructed in accordance with an approved driveway permit and that meet the requirements of this code.
 - (2) Vehicle(s) that are parked for a period of 72 hours or less for occasional social gatherings (including but not limited to: weddings, family reunions, holidays, parties, etc.) that do not occur more than four times a calendar year.
 - (3) On driveways that are widened up to a maximum of 400 square feet in area provided the driveway widening is contiguous to the existing driveway, extends from the existing driveway toward the side lot line away from the front of the house, is improved as defined below, does not extend into the right-of-way, and complies with all other driveway and setback requirements of this code.
 - (4) A widened parking is improved if it is constructed with one of the following approved materials: asphalt, bituminous brick, concrete, turf block, brick pavers or pervious concrete. Stone gravel or mulch is allowed for a period not to exceed 12 months, and may be granted for one additional period of 12 months.
 - (5) An improved parking area must be maintained in substantially the same condition to that which has been authorized by the planning director.
 - (6) The diagrams below illustrate the correct placement of parking in the front and side yard areas.

Interior Residential Lot



Corner Lot



~~2. Commercial~~

- ~~a. Outdoor storage of any type is prohibited in all commercial zoning districts unless a development order is received from the City Commission as a Special Exception or Planned Development or a Special Event permit is obtained.~~

~~3. Industrial~~

- ~~a. Outdoor storage is permitted in the I-1 zoning district provided the following conditions are met:~~
- ~~(1) The area devoted to outdoor storage cannot exceed 49% of the principal building floor area. Outdoor storage greater than 49% of the principal building floor area shall be required to obtain a Special Exception or Planned Development approval.~~
 - ~~(2) All storage areas are required to be screened with fences, walls, or landscaping to minimize impacts to adjoining properties, as determined by the Site Plan Review Committee.~~

Item 7: Sheds, Utility Structures and Gazebos

BACKGROUND:

The proposed amendment deletes playhouses from this Section. Playhouses are regulated in a new Section called play structures. The amendment also clarifies that the side yard setback is required to be 7 ½ feet, which is consistent with the general setbacks for all accessory uses.

ANALYSIS:

The amendment clarifies the side yard setback and deletes playhouses from this Section.

LDC AMENDMENT:

BB. Sheds, Utility Structures, ~~Playhouses~~ and Gazebos

1. Each of the aforementioned accessory structures shall comply with the use limitations applicable in the zoning district for which it is located and are permitted under the following conditions:
 - a. An approved building permit shall be issued prior to the erection of any accessory structure.
 - b. The rear and side yard setback for a utility structure, shed, ~~playhouse~~ and gazebo shall be 7½ feet.
 - c. For purposes of this Section, any utility structure/shed over 150 square feet shall be considered a garage and must meet the principal building setbacks for the zoning district in which the property is located. Any gazebo over 150 square feet shall be required to meet the principal building setbacks for the zoning district in which the property is located.
 - d. No more than one detached utility structure/shed, plus a ~~playhouse~~ or gazebo shall be permitted on a lot having 10,000 square feet of lot area or less. Multiple utility structures/sheds are permitted in the Rural Residential or the Rural Agricultural zoning district with approval from the Planning Director or designee.
 - e. The utility structure/shed or gazebo shall not exceed 10 feet in height.

Item 8: Play structures

BACKGROUND:

City staff has had a challenging time regarding the regulation of play structures and when a building permit would be required. The existing Land Development Code has some general regulations that require a setback of 7 ½ feet for all accessory structures for the rear and side property line. Over the last year, staff has encountered play structures that have characteristics of principal structures in terms of roofing, height and impact to surrounding residential uses. This Land Development Code amendment attempts to distinguish between the structures that do not require building permits and the structures that would require building permits.

ANALYSIS:

The proposed Land Development Code amendment separates play structures into two types. The first type are typical swing sets that may or may not include an elevated platform but do not exceed a total height of 7'. Type 1 play structures would be required to be setback 7 ½' feet and would not require a building permit. Type 1 structures are typically portable, although anchoring of the play structure is allowed.

The second type of play structures are type 2 play structures which are the more substantial structures. Play structures that do not meet the criteria for a type 1 would be classified as a type 2 play structure. These structures are typically elevated enclosed playhouses that can reach heights of 15 to 20 feet. Type 2 play structures can have a significant impact on abutting residential homes and the proposed setback is 15 feet for playstructures 12 feet in height or less and the principal building setbacks for structures greater than 12 feet in height.

LDC AMENDMENT:

X. Pools. Play structures:

1. Type 1 play structures: No building permit shall be required for play structures with the following characteristics:
 - a. Swing sets and slides with no elevated platforms.
 - b. Playhouse that are constructed at ground level and do not exceed 6' in height.
 - c. Play sets where the elevated platforms do not exceed 4' in height and may have either a hard or canvas roof. The maximum height of the play structure shall not exceed 7' above natural grade.
 - d. Maintain setbacks of 7.5' for the side and rear setbacks.
 - e. Examples of type 1 play structures are as follows:



2. Type 2 play structures: For play structures that do not meet the criteria for type 1 play structures, the following regulations apply:
- a. A building permit is required.
 - b. The rear and side yard setbacks shall be 15 feet for play structures 12' in height or less. For play structures greater than 12' in height, the principal building setbacks of the zoning district for the property shall be required.
 - c. Play sets may have either a hard or canvas roof.
 - d. Examples of type 2 play structures are as follows:



Renumber the following Sections:

Y. Ranger's Residence	<u>Pools</u>no change to existing text
Z. Recreation Vehicle and Boat Storage	<u>Ranger's Residence</u>no change to existing text
AA. Screen Porches/Enclosures	<u>Recreation Vehicle and Boat Storage</u>no change to existing text
BB. Sheds, Utility Structures, and Gazeboes	<u>Screen Porches/Enclosures</u>no change to existing text
CC. Solar Energy Systems	<u>Sheds, Utility Structures, and Gazeboes</u>no change to existing text
DD. Tailwater Recovery System	<u>Solar Energy Systems</u>no change to existing text
EE. Tennis Courts	<u>Tailwater Recovery System</u>no change to existing text
FF. Temporary Sales Office	<u>Tennis Courts</u>no change to existing text
GG. Temporary Structure	<u>Temporary Sales Office</u>no change to existing text
HH.	<u>Temporary Structure</u>no change to existing text

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: November 3, 2011

SUBJECT: Land Development Code Amendments: Chapter I, Article III, Definitions

APPLICANT: Administrative

NUMBER: LDC 12-10

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION:

This is a request to amend Chapter I, Article III, Definitions, Section 1-22, Definition of Terms and Words of the Land Development Code (LDC) for the following definitions:

- convenience store type "C".
- height, building.
- shopping center.
- play structures.
- grade, finished.
- home occupation.
- yard, required.

BACKGROUND:

Planning staff is requesting the amendment of seven definitions based upon past observation of issues or new regulations.

ANALYSIS:

Below is a summary of the requested Land Development Code amendments:

#	Definition	Reason for change:
1.	Convenience store type "C"	Current definition references incorrect restaurant type. The amendment correctly references that fast food restaurants are allowed in combination with convenience stores.
2.	Grade, finished	Staff was experiencing applications that were artificially raising an area on site to allow an artificial increase in building height. The proposed definition establishes a grade point to measure building height.

3.	Height, building	Deleted the highest finished grade to prevent the artificial berming of property to raise building height. Also remove the required 4.5/12 roof pitch requirement to allow an average height calculation.
4.	Home Occupation	Deleted the three types of home occupation and provided a general definition to match the amendments in the accessory use Section of the Land Development Code.
5.	Shopping Center	Deleted the 10,000 square foot requirement for a shopping center. The 10,000 square feet requirement was tied to a previous regulation that required a Special Exception for building sizes 10,000 square feet or greater.
6.	Yard, required	Added diagram that was referenced but not included in the definition.
7	Play structures	Added a definition in conjunction with the proposed amendment in the accessory use Section of the Land Development Code.

CONCLUSION:

There are certain criteria that must be evaluated before adoption of an amendment according to the Land Development Code (LDC), the Planning Board must consider the following criteria when making their recommendation.

- 1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.**

The proposed Land Development Code amendment will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life. The purpose of the amendments is to better improve the application of the City's zoning code and ensure accurate definitions of terms and uses.

- 2. The proposed development is consistent with the Comprehensive Plan.**

The proposed Land Development Code amendments are consistent with the Comprehensive Plan. Objective 2.1 of the Future Land Use Element of the Comprehensive Plan discussed the need to update Land Development Code regulations.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The proposed Land Development Code amendments will not have adverse impact on environmentally sensitive lands.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The proposed Land Development Code amendments will have no adverse effect on surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare or visual impacts on adjoining properties.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

The proposed Land Development Code amendments are not applicable to public facilities.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

There is no development proposed for this amendment. The application pertains to a Land Development Code change.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

There is no development proposed for this amendment. The application pertains to a Land Development Code change.

- 8. The proposed development provides for the safety of occupants and visitors.**

There is no development proposed for this amendment. The application pertains to a Land Development Code change.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

There is no development proposed for this amendment. The application pertains to a Land Development Code change.

10. The testimony provided at public hearings.

There has not been a public hearing at this time. The comments from the Planning Board meeting will be incorporated into the City Commission packet.

RECOMMENDATION:

It is recommended that the Planning Board **APPROVE** the amendments as shown in Exhibit “A” to revise Chapter I, Article III, Definitions, of the Land Development Code.

EXHIBIT “A” – PROPOSED DEFINITION AMENDMENTS

Contributing Property: *No change to existing text....*

Convenience Store: A small retail store that sells grocery and deli items, and other day-to-day goods, and stocks such goods on the premises, all on a limited basis. A convenience store may offer the retail sale of motor fuels as an accessory use if permitted in the particular zone, or if the particular zone allows gasoline filling stations as a principally permitted use.

Type “A”: No sale of gasoline from gas pumps or no car wash facility.

Type “B”: Including the sale of gasoline from gas pumps and self-service car wash.

Type “C”: Including the sale of gasoline from gas pumps, self-service car wash and a Type “~~D~~C” Restaurant with or without drive-thru window.

Cornice: *No change to existing text...*

Golf, Miniature: *No change to existing text...*

Grade, Finished: ~~The final elevation of the ground surface after development.~~ A reference plane representing the average of finished ground level adjoining the building at the center of all exterior walls of a building. Where the finished ground level slopes away from the exterior walls, the grade shall be established by the lowest points within the area between the building and a point 6 feet from the building.

Grade, Natural: *No change to existing text...*

Hedge: *No change to existing text...*

Height, Building: The vertical distance from ~~highest~~ finished grade to the highest finished roof surface in the case of flat roofs or to a point at the ~~average height of the highest roof having a pitch of the highest roof having a pitch of more than 4.5/12, measured as rise over run~~ highest level between eaves and ridge for gable, hip, and gambrel roofs, except that in no case shall any building exceed a maximum height of seventy-five feet (75') when measured from the average median lot elevation to the highest point of any structure and/or attached services.

Height, Satellite Dish Antenna: *No change to existing text...*

Deleted text is shown in ~~strikethrough~~ and proposed text is shown in underline.

Hog Farm: *No change to existing text...*

Home Occupation: ~~Home occupations shall be categorized as follows:~~

~~**Type “A”:** An office, professional service or phone type occupation conducted entirely in a residential dwelling unit subject to the provisions in Chapter 2, Article III, §2-50 of this Code.~~

~~**Type “B”:** Home office or arts and handcraft uses which conform to the provisions in Chapter 2, Article III, §2-50 of the Code and do not involve supplier or client business visits to the premises or the use of equipment or processes on the premises of the home occupation which may adversely affect nearby dwellings or properties through noise, vibrations, odors, fumes, fire hazards, light glare, electrical or radio wave interference, or the like. No stock in trade or commodities shall be delivered or sold upon the premises. Such stock shall only be kept within a completely enclosed principal structure or garage.~~

~~**Type “C”:** Home Occupations not included in Type “A” or “B”, including beauty shops, music lessons, ceramic classes, lawn mower repair services, and dog grooming.~~

An accessory use of a residential dwelling unit carried on by the resident who lives in the dwelling conducted for profit. The home occupation is to be clearly incidental and secondary to the use of the dwelling for dwelling purposes and shall not change the residential character thereof.

Horse Riding Stables: *No change to existing text...*

Plat, Preliminary: *No change to existing text...*

Play Structures: Outdoor play structures that include swing sets, slides, playhouses at ground level or elevated, tree forts, and other similar play equipment that are designed to be used by children for recreation and play. Basketball goals are not included in this definition.

Plaza: *No change to existing text...*

Sexually Oriented Business or Use: *No change to existing text...*

~~**Shopping Center:** A building or group of buildings planned as an integrated unit and having a gross ground floor area of 10,000 square feet or more and occupied or intended for occupancy by more than one (1) commercial establishment and managed as a single site with common off street parking provided on the property.~~

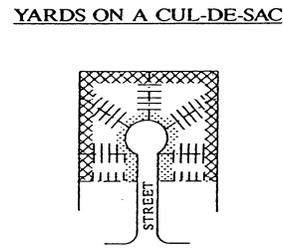
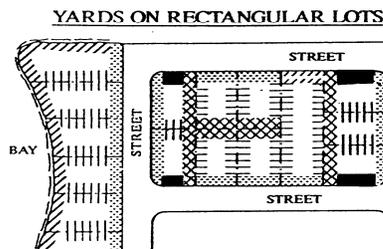
Shoreline: *No change to existing text...*

Deleted text is shown in ~~strikethrough~~ and proposed text is shown in underline.

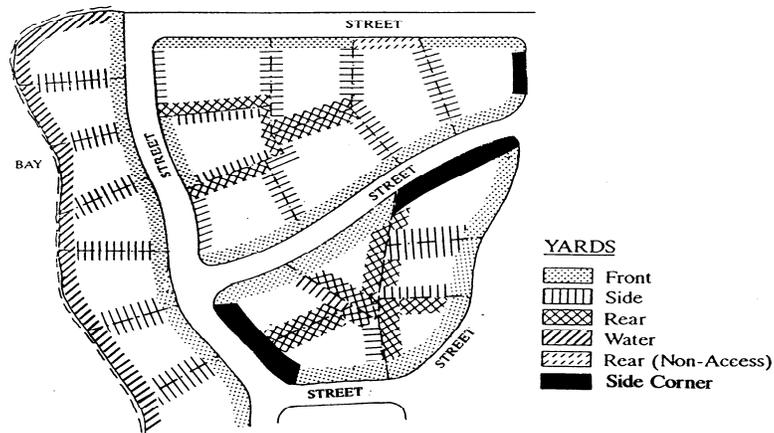
Xeriscape: *No change to existing text...*

Yard, Required: A required open space area which shall not be occupied or obstructed by any structure or portion thereof except as necessary for maintenance of plantings or otherwise permitted by this Code. The various types of “required yards” are illustrated ~~on~~ Figure 3.3 on the following page. below:

YARD ILLUSTRATIONS



YARDS ON NON-RECTANGULAR LOTS



Yard, Required Front: *No change to existing text...*

Deleted text is shown in ~~strikethrough~~ and proposed text is shown in underline.

City of Ormond Beach Commercial Development Report --November 4, 2011

#	Project	Description	Applica-tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Final Approval	DO Expiration	LDC Extension Expiration	SB Expiration	Advisory Board	City Commis-sion	Building Permit Info	Building Permit Value	Eng. Permit	Clearing Permit	Under Construct-ion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
1	400 CLYDE MORRIS BOULVERARD 400 Clyde Morris Boulevard 07-1240	Minor Modification to approved site plan for 2 office buildings (9,384 and 7,671 SF)	12.26.07	01.16.08	04.01.08				06.19.08	06.19.10	06.19.11	06.19.13	NA	NA	Not Applied						E = Harpster Engineering O = Ormond Medical Arts ARC = BPF Design
2	889 - 917 W. GRANADA BOULEVARD 889 - 917 W. Granada Boulevard 07-1228	Redevelopment of 4 single-family homes into two 4.437 SF office buildings	12.03.07	12.26.07	03.04.08	12.23.08							NA	NA	NA						E = Parker Mynchenberg & Associates O = Donald & Shirley Gay ARC = David Leete
3	1001 OLD TOMOKA ROAD 1001 Old Tomoka Road 11-113	Sewer line and water connection for fire line for a new ALF	09.30.11	10.11.11	10.26.11																E = Daniel Johns, P.E. O = 1001 OLD TOMOKA LLC
4	AIRPORT RD EXTENSION/SR 40 ROAD IMPROVEMENTS 2701 West Granada Boulevard 09-25000002	Connection of Airport Road to SR40	04.14.09	04.28.09	02.02.10				02.04.10	02.04.12 Under Const.	Under Const.	Under Const.	NA	NA		\$73,403	02.09.10	02.09.10	25%		E= Hunter's Ridge Development Services, Inc. O = Ormond Beach/FDOT
5	ANDY ROMANO OCEANFRONT PARK 839 South Atlantic Avenue 12-01	Construct public oceanfront park including parking, stormwater, recreational amenities, and landscaping.	10.04.11	10.18.11																	E = Zev Cohen and Associates, Inc. O = City of Ormond Beach ARC = DJ Designs, Inc.
6	AMERICAN LEGION - POST 267 1142 North US Highway 1 11-105	Redevelop existing building into an American Legion, including building and site improvements	08.23.11	09.06.11	11.01.11																O = American Legion, Post 267 E = Daniel Johns, P.E. ARC = Stan Holle
7	ATLANTIC CENTRAL ENTERPRISES 14 West Tower Circle 08-25000008	New 26,500 +/- SF Industrial Warehouse/Office	04.08.08	04.22.08	06.10.08				07.03.08	07.03.10	07.03.11	07.03.12	NA	NA	Not Applied						O = Atlantic Central Enterprises A = Steve Traulson E = W.A. Cross Engineering, Inc
8	BETNR HANGERS @ OB AIRPORT 85 Hanger Way 10-00000036	Phased construction of three buildings (1: 1,000 SF office, 5,300 SF manufacturing, 6,300 SF hanger) (2: 1,600 SF office, 10,500 SF hanger) (3: 4,800 Warehouse)	12.08.09	12.22.09	02.09.10				03.22.10	03.22.12			NA	NA	Not Applied						E = McKim & Creed A = BETNR ARC = BPF Design
9	BROWN/THOMPSON COMMERCIAL 1287 West Granada Boulevard 08-25000037	2 Buildings = 18,992 Square Feet	12.01.08	12.16.08	01.04.11	06.07.11							Approved 07.14.11	Approved 09.06.2011 - Ord 11-31							E = Danny Johns O = Brown/Thompson ARC = Robert Hall
10	CARDINAL DRIVE LIFEGUARD STATION 301 Cardinal Drive 11-23	Demolish existing structure and build new lifeguard station with public restrooms and expand parking	02.22.11	03.08.11	05.25.11				06.27.11	06.27.13			NA	NA	Not Applied						E = Alann Engineering Group O = County of Volusia ARC = DJ Designs, Inc.
11	CHASE BANK 75 Shadow Lakes Boulevard 11-37	Demolition of two existing buildings and construction of 4,200 square foot bank building and associated site	03.22.11	04.05.11	06.14.11				07.07.11	07.07.13			NA	NA	Approved 11.01.11	Building = \$915,400 Site = \$222,600	10.04.11	10.04.11	5%		E = Bowyer-Singleton DEV = Ferber Group ARC = Core States Group
12	COURTYARD PBD 135 N. US1 (between Highland and Dix) 07-1243	12,000 Square Feet Retail (Dollar General complete) and 16 MF units	01.04.08	02.04.08	12.01.08	02.17.09			06.12.09		Not Applied	NA	04.09.09 PB	06.02 CC Ord 09-17 Expires Ph.2 06.02.12	Not Applied						E = Daniel Johns, P.E. O = Ormond Central Market Place ARC = Richard Brookfield
13	DODSON CREEK OFFICES 823 North US Highway 1 11-101	Modification to site plan for project under construction	08.09.11	08.23.11	10.11.11				10.25.11												O = L-J Building Enterprises, Inc. E = Anderson-Dixon, LLC
14	HUDSON TECHNOLOGIES 1327 North US Highway 1 11-76	Demolition of existing small warehouse and construction of 2,800 square foot warehouse.	05.02.11	05.16.11					06.27.11	06.27.13			NA	NA	Approved 07.11.11	\$50,000	07.11.11	NA	45%		O = Hudson Technologies E = LP Engineering
15	MARIA BONITA 195 West Granada Boulevard 08-19000005	Expansion of restaurant to 177 +/- seats and site improvements	09.08.09	09.22.09	01.05.10	01.05.10			11.11.10	11.11.12	Under Const.	Under Const.	App. 6-0; 01.14.10	Ord.10-22 02.16.10	Issued	\$193,000 for site work - \$175,000 for building	01.19.11	01.19.11	65%		E = Alann Engineering Group O = Taxco ARC = BPF Design

* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

City of Ormond Beach Commercial Development Report --November 4, 2011

#	Project	Description	Applica-tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Final Approval	DO Expiration	LDC Extension Expiration	SB Expiration	Advisory Board	City Commis-sion	Building Permit Info	Building Permit Value	Eng. Permit	Clearing Permit	Under Construct-ion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
16	McNAMARA WAREHOUSE 480 Andalusia Drive 11-13	4,580 square foot warehouse and associated site improvements	12.22.10	01.05.11																	E = Parker Mynchenberg & Assoc O = McNamara Construction, LLC ARC = Stan Hoelle
17	NORTH ORCHARD CENTER 150 North Orchard Street 07-1167	New 7,400 SF office (2,000SF), warehouse (10 units) and mini-storage (218 units)	05.14.07	06.06.07	08.29.07	11.14.07	01.02.08		04.08.08	04.08.10	04.07.11	04.07.13	PB 01.10.08 APP (6-0)	CC 03.04.08 Ord 08-09 Expires 03.04.13	Not Applied						E = Alann Engineering Group O = Brian Share
18	NOVA BANK 115 North Nova Road 07-1200	1,800 SF Bank	08.29.07	09.12.07	10.24.07	12.05.07			01.08.08	01.09.10	01.09.11	01.09.12	NA	NA	Not Applied		X				E = Alann Engineering Group O = Paul F. Holub, Jr. ARC = BPF Design
19	ORMOND BEACH MIDDLE SCHOOL 151 Domicilo Avenue 11-26	Demolition of 9 structures and construction of 2 new buildings (3 & 6) and associated site improvements.	02.15.11	03.02.11					no objection letter				NA	NA							E = Kilma Weeks O = Volusia County School Board
20	OLIVE GROVE 765 W. Granada Boulevard 10-125	Housing under construction; commercial lot vacant	07.06.10	07.14.10					10.14.10	Under Const.	Under Const.	Under Const.	08.12.10 Approved	Approved 09.21.10 Ord 10-44	12.01.10	\$14,269.77	12.01.10	12.01.10	85%		E = Alann Engineering Group O = Beneficial Communities ARC = Forum Architects
21	ORMOND CROSSINGS PMUD 100 Ormond Crossings Boulevard 10-134	Master Development Plan zoning document for Ormond Crossings project (no site plan approval)	08.16.10	09.02.10	11.17.11																O = Tomoka Holdings LLC A = Tomoka Holdings LLC
22	ON THE BOULEVARD 11-43 West Granada Boulevard 08-25000004	Rose Villa (43 Granada) complete other improvements under construction	03.18.08	04.01.08	07.01.08				11.26.08	Under Const.	Under Const.	Under Const.	Approved 07.24.08 DRB	Approved 08.26.08 R 2008-146	Multiple Permits	X	X	X	98%		E = Harpster Engineering O = Highlander Corporation ARC = Brookfield
23	ORMOND GRANDE 1255 North US1 10-00000006	New 4,800 SF industrial and 60 townhomes (see residential report)	10.13.09	10.27.09	01.05.10				01.11.10	01.11.12		NA	Not required	Not Required	Not Applied						E = Parker Mynchenberg & Assoc O/A = Ormond Grande LLC
24	PARHAM BUILDING MODIFICATION 3 Aviator Way 09-19000003	Construct new 5,340 SF warehouse at rear of site	07.28.09	08.11.09					10.08.09	10.08.11	Under Const.	Under Const.	NA	NA	Site work permit issued	\$78,700 (site work only)	11.25.09	11.25.09	25%		O = Parham Florida Development LLC E = Mark Dowst & Associates A = Stan Hoelle
25	PRINCE OF PEACE - SOCIAL SERVICE 600 South Nova Road 10-00000007	12,160 square foot new building for Church thrift shop, meeting area, offices, and food pantry	11.03.09	11.17.09 (concept)	12.29.09								04.08.10	05.18.10							E - Alann Engineering O = Prince of Peace ARC = DJ Designs
26	RIVERBEND CHURCH EXPANSION 2080 West Granada Boulevard 09-25000008	Site improvements and utility connect in association with expansion in Daytona Beach	09.08.09	09.22.09	01.18.11				07.13.11				NA	NA							E = Mark Dowst & Associates O = Riverbend Church
27	RIVER GRILLE 950 North Highway US 1 12-02	Addition of site amenities including outdoor fire place, tiki hut seating, and decking	10.11.11	10.26.11					Pending												E = Mark Dowst & Associates O = Tomoka Rivergrille of Ormond Beach LLC
28	ROOT COMMERCE PARK 900 North US Highway 1 06-4-1107	New 99,000 SF (49,200 office) and warehouse in 5 buildings on 12.48 acres	04.26.06	05.18.06	08.17.06	10.12.06	12.07.06		06.27.08	06.27.10	06.06.11	06.06.13	PB 11.09.06 A (5-0)	02.20.07-CC Ord 07-07 Exp: 02.20.13	Not Applied						E = Parker Mynchenberg & Associates ARC = BPF Design A = Root Chapman
29	SPACE COAST BANK AT TYMBER CREEK 1940 West Granada Boulevard 08-19000007	Minor Modification to approved site plan to modify the building structure.	11.18.08	12.02.08	03.25.09				10.28.09	10.28.11	Not Applied	NA	NA	NA	Not Applied						E = Zahn Engineering O = Space Coast Credit Union ARC = Building Management Systems, Inc.
30	STOR-IT 99 Portland Avenue 11-09	Construction of vehicle storage facility with 87 bays and associated site	12.07.10	12.21.10	11.15.11								Required	Required							E = Zev Cohen & Associates O = Vanacore Commercial Property

* Highlighted projects indicate change in status (such as SPRC approval, CC approval, building permits issued, or CO issued).

City of Ormond Beach Commercial Development Report --November 4, 2011

#	Project	Description	Applica-tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Final Approval	DO Expiration	LDC Extension Expiration	SB Expiration	Advisory Board	City Commis-sion	Building Permit Info	Building Permit Value	Eng. Permit	Clearing Permit	Under Construct-ion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
31	ST. JAMES EXPANSION 44 South Halifax Drive 08-25000012	A 4,336 SF expansion of the existing site with site improvements	05.28.08	06.10.08	07.08.08								NA	NA							E = Zev Cohen & Associates O = St. James Episcopal Church Arc = Cummings & McCrady, Inc.
32	T-MOBILE TOWER 1 South Old Kings Road 10-000096	Construct a 140 foot camouflaged flagpole.	04.06.10	04.20.10	02.16.11				09.27.11				NA	NA	Not Applied						E = KCI Technologies, Inc. O = Omega 40 Enterprises LTD
33	TOMOKA CHRISTIAN CHURCH 1450 Hand Avenue 07-1201	Proposed New Church - 61,000 SF, 801 seats	08.29.07	09.26.07	11.14.07	02.05.08	03.04.08	04.01.08	06.19.08	06.16.10	06.16.11	05.06.12	Approved 03.27.08 DRB	App 05.06.08 Res. 08-102 Expires 05.06.12	Not Applied						E = Zev Cohen & Associates O = Tomoka Christian Church ARC = Hyde West Architects
34	WASTEWATER TREATMENT EXPANSION 550 Orchard Street 10-0000001	Wastewater treatment Expansion	10.06.09	10.20.09	03.02.10				03.10.10	03.10.12 Under Const.	Under Const.	Under Const.	NA	NA	Issued 10.20.20		Issued 10.20.20	Issued 10.20.20	40%		E = Camp Dresser & McKee Inc. O = City of Ormond Beach
35	WAL-MART PARKING MODIFICATIONS 1521 West Granada Boulevard 09-2500007	Modify parking - remove 89 spaces, façade renovations	07.07.09	07.21.09	08.18.09				11.04.09	11.04.11	Not Applied	NA	Approved 09.10.09	App. 11.03.09 Ord 09-37	Issued	\$806,676	X	X	98%		E = Duplantis Group O = Wal-Mart Stores
36	WEST GRANADA OFFICES 1291 West Granada Boulevard 08-2500038	Two buildings = 33,000 square feet	12.08.08	12.23.08	08.11.09								Required	Required							E = Alann Engineering Group O = IEL Medmal LLC ARC = BPF Design

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City of Ormond Beach Residential Development Report -- Ending November 4, 2011

#	Project	Description	Applica-tion Date	1st Review	2nd Review	3rd Review	4th Review	5th Review	Final Approval	DO Expiration	LDC Extension Expiration	SB 360 Expiration	Advisory Board	City Commis-sion	Building Permit Info	Eng. Permit	Clearing Permit	Under Construct-ion	CO Issued	E or Arc = Project Engineer or Architect O = Owner A = Applicant
A	COURTYARD PBD 135 N. US1 (between Highland and Dix) 07-1243	21,000 Square Feet Retail (9,000 Dollar General) and 16 MF units	01.04.08	02.04.08	12.01.08	02.17.09			06.12.09		Not Applied	NA	04.09.09 PB	06.02 CC Ord 09-17 Expires Ph.2 06.02.12	None for Residential					E = Danny Johns O = Ormond Central Market Place ARC = E.M.P. Architecture & Design
B	DEER CREEK SUBDIVISION 2400 Airport Road 04-08-989	346 Single-Family Lots (4 phases)	08.24.04						08.31.05	Under Const.	Under Const.	Under Const.	Final Plat: O 2006-11 (Ph. 1) Final Plat: O 2007-13 (Ph. 2) Final Plat: O 2007-14 (Ph. 3) Final Plat: O 2007-15 (Ph. 4)	Phase 1 Phase 2 Phase 3 Phase 4 (phase 4a completed)				Done Done Done 0%	E = Mark Dowst & Associates O/A = Hunter's Ridge, Inc	
C	ENCLAVE AT NORTH POINTE Tymber Creek Road (Parcel # 4113-00-00-0032) 05-06-1041	34 Single-Family Lots	06.29.05	03.02.06	03.23.06	10.12.06	02.21.07	04.11.07	09.10.07	08.01.09 PRD Zoning	08.01.10	08.01.12 Zoning & 10.08.12 Site Plan	O 06-08 (PRD) R- 04-206 Plat	Not Applied						E = Land Plan Engineering Group O = Silverstein & Goldberg Trust A = White Falcon Land & Development
C	ENCLAVE AT NORTH POINTE Tymber Creek Road (Parcel # 4113-00-00-0032) 10-153	34 Single-Family Lots - PRD Amendment Transfer traffic concurrency vesting to Marshside subdivision	10.04.10	10.19.10									Required	Required						E = Land Plan Engineering Group O = Silverstein & Goldberg Trust A = White Falcon Land & Development
D	MARSHSIDE AT GROOVER BRANCH Tymber Creek Rd. & Airport Rd. (Parcel # 4124-00-00-0240) 05-06-1035	68 Single-Family Lots	06.08.05	12.08.05	02.02.06	03.23.06	09.19.07	6.10.08		11.14.09 PRD Rezoning	11.14.10 Zoning	11.14.12 Zoning	PB 06.08.06 Deny (3-2)	11.14.06 Ord. 06-09						E = Land Plan Engineering Group O = Enclave of Timber Creek LLC A = White Falcon Land & Development
D	MARSHSIDE AT GROOVER BRANCH Tymber Creek Rd. & Airport Rd. (Parcel # 4124-00-00-0240) 10-152	Amendment & rezoning for Marshside subdivision to increase the number of lots from 68 to 104 units.	10.04.10	10.19.10									Required	Required						E = Land Plan Engineering Group O = Enclave of Timber Creek LLC A = White Falcon Land & Development
E	OLIVE GROVE 765 W. Granada Boulevard 10-125	Amend Granada Grande approved from 208 housing units to 88	07.06.10	07.14.10					10.14.10	10.14.12			08.12.10 Approved	Approved 09.21.10 Ord 10-44	\$14,269.77	12.01.10	12.01.10	85%		E = Alann Engineering Group, Inc O = Beneficial Communities ARC = Forum Architects
F	ORMOND GRANDE 1255 North US1 10-00000006	New 4,800 SF industrial and 60 townhomes	10.13.09	10.27.09	01.05.10				01.11.10	01.11.12		NA	Not required	Not Required						E = Parker Mynchenberg & Assoc O/A = Ormond Grande LLC
G	ORMOND STATION 644 North Nova Road 08-25000039	29 Townhomes	11.06.08	12.02.08	06.09.09	12.22.09	02.23.10 (final)		03.09.10	03.09.12										E = Harpster Engineering O = Scott Vanacore
H	PINELAND East of I-95, north of Airport Road 08-23000002	Preliminary Plat of 192 Single-Family Lots	11.04.08	11.18.08	02.17.09					10.21.13 PRD Rezoning		NA	PB Approved (4-2)	Approved Ord 08-44						E = Zahn Engineering O = Funcoast Developers
I	RIVER OAKS Airport Road (Parcel # 4124-00-00-0040) 03-10-935	101 Single-Family Lots	06.28.06	07.13.06	01.24.07	08.01.07	09.12.07		11.07.07	Under Const.	Under Const.	Under Const.	10.25.07 DRB (6- 0)	12.18.07 R07-226 (P. Plat)	Subdivision Imp. Value: \$1,256,900	05.12.10	05.12.10	50%		E =Harpster Engineering O/A = Vanacore Homes
J	TOMOKA GOLF VILLAGE 20 Tomoka Oaks Blvd. 05-06-1039	122 Townhomes & 3 Single-Family Lots	06.15.05	09.29.05	05.03.06	07.27.06				10.17.08 PRD Rezoning	10.17.10	10.17.12	08.10.06	10.17.06 O 06-17						E/A = CPH Engineers, Inc. O = Tomoka Oaks Golf/Country Club

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