



# AGENDA

## ORMOND BEACH BOARD OF ADJUSTMENT AND APPEALS

July 6, 2011

ORMOND BEACH CITY COMMISSION CHAMBERS

7:00 P.M.

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I. ROLL CALL

II. APPROVAL OF THE MINUTES

A. May 4, 2011

III. NEW BUSINESS

A. **Case No. 11V-86: 530 South Atlantic Avenue, building addition- Rear Yard Variance**

This is a request for a rear yard setback variance submitted by Bishop Construction on behalf of the property owner Volusia County Enterprises, LLC. The property at 530 South Atlantic Avenue is zoned as B-7 (Highway Tourist Commercial) and Chapter 2, Article II of the Land Development Code, Section 2-28.B.9.b., requires a rear yard setback of 20' from the property line to the principal structure. The applicant is requesting a 14.9' variance to allow a building addition to square off a convenience store building at a setback of 5.1' to match the building setback line.

IV. OTHER BUSINESS

V. ADJOURNMENT

# MINUTES

## BOARD OF ADJUSTMENT

May 4, 2011

7:00 p.m.

### City Commission Chambers

22 South Beach Street

Ormond Beach, Florida

#### I. ROLL CALL

##### Members Present

Ryck Hundredmark  
Jean Jenner  
Norman Lane  
Dennis McNamara  
Tony Perricelli

##### Staff Present

Steven Spraker, AICP, Senior Planner  
Ann-Margret Emery, Deputy City Attorney  
Chris Jarrell, Minutes Technician

#### II. APPROVAL OF MINUTES

The minutes of the January 12, 2011 meeting were approved as presented.

#### III. OLD BUSINESS

There was no old business to be discussed.

#### V. NEW BUSINESS

##### A. Case No. 11V-066: 604 South Ridgewood Avenue – Side Yard Setback

Mr. Spraker stated that this was a request for a side yard setback variance for the property at 604 South Ridgewood Avenue. He stated property owners are requesting a 2.12' variance to construct a garage addition with a setback of 5.88' to match the existing house building line. Mr. Spraker said the City's Land Development Code (LDC) requires an 8-foot side yard setback.

Mr. Spraker advised that the structure built in 1955 utilizes the 1942 zoning code which had a 5' setback for side interior lot. Mr. Spraker stated that the existing side yard setback is 5.88'. He continued that the applicant has made several improvements to the structure and property and are now seeking to modernize their garage. Mr. Spraker stated one reason for the variance request was the property owners desired to maintain the existing building plane along the side

yard. Mr. Spraker also stated another reason for the variance request is that if the setback was met at an 8' setback, the width of the garage would not be functional.

Mr. Spraker concluded that staff had reviewed the application based on the Land Development Code criteria and is recommending approval. He continued that staff viewed this application as an investment into an existing structure that would improve the neighborhood and maintain the value of the area.

Michelle Cecchini, 604 South Ridgewood Avenue, stated that the purpose of the variance was to enlarge the garage and potentially in the future allow for some storage with a new pitched roof.

Mr. McNamara asked if the adjoining neighbor had any issues with the improvement.

Ms. Cecchini indicated that the neighbor had no objection and that there is an existing vegetative buffer between the two properties.

Mr. McNamara stated that the existing house was nice and the project would be a good addition.

**Mr. Perricelli made a motion to approve the variance, as presented.**

**Mr. Jenner seconded the motion, which was approved by unanimous vote.**

Ms. Cecchini thanked the Board.

Chair McNamara advised the applicant that the variance approval would expire in one year.

#### **IV. DISCUSSION**

Mr. Jenner inquired into the projector screen and commented that the picture is getting worse and worse with each meeting.

Mr. Hundredmark inquired if there was a mechanism not to require variances for routine cases where there was no objection, such as the case before the Board tonight.

Mr. Spraker stated that there is a variety of methods to handle variances. Mr. Spraker continued that one key issue is how to handle existing non-conforming structures. He said that the Land Development Code generally discourages the expansion of non-conforming structures. Mr. Spraker stated staff could look into alternative processes if that is the direction of the Board.

Mr. Jenner stated that the Board of Adjustments was required by State law. He further stated that in the past there were numerous variance applications because there was no staff review prior to a case coming before the Board. He stated that there is now a review process that has reduced the number of cases before the Board.

Mr. Lane stated he understood that it is difficult to have a formula that replaced the function of the Board, but there may be certain things that could be done to make the application simpler.

Mr. Jenner stated concern for minor cases that require the applicant to pay the cost for a survey and the application fee for simple issues.

Mr. Spraker stated that staff could perform additional research regarding variances and present the information to the Board with some alternatives as well as the standards for variances that are applied in other jurisdictions.

Mr. Hundredmark expressed his concern that the property tonight was conforming when it was built and the regulations were changed at some point and time, negatively impacting the property owner. He continued that his thought was that there could be some other process, other than a variance, for these types of situations.

Mr. Jenner stated he believed that there would always be a need for the Board of Adjustments and that some cases would be simpler, but others have been much more complex, which is why the Board is needed.

Mr. Hundredmark stated his comments were directed at the simpler cases.

Mr. Jenner said that in some cases the Board has requested amendments to the Land Development Code to eliminate the need for certain variance applications for recurring variance issues.

Mr. Lane said that it could not hurt to further look into how other communities are handling the variance cases.

## V. ADJOURNMENT

As there was no other business, the meeting was adjourned at 7:17 p.m.

Respectfully submitted,

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Steven Spraker, AICP, Senior Planner

ATTEST:

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Dennis McNamara, Chair

Pursuant to section 286-0105, Florida Statutes, if any person decides to appeal any decision made by the board of adjustment with respect to any matter considered at this public meeting, such person will need a record of the proceedings and for such purpose, such person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which the appeal is to be based.

All persons appealing to the board of adjustment must be present, or represented at the public hearing scheduled for the consideration of his request. Failure to be present or to be represented, results in the automatic refusal by this board to grant permission for any variance. In order to allow the meeting to proceed in an orderly fashion, the board, by motion, may limit the time allowed for remarks concerning a specific agenda item to a maximum of thirty (30) minutes for city staff, the designated representative of the applicant and the designated representative of any organized group and to five (5) minutes for members of organizations and other individual speakers. Additional time shall be allowed to respond to questions from the board.

Persons with a disability, such as a vision, hearing or speech impairment, or persons needing other types of assistance and who wish to attend city commission meetings or any other board of committee meeting may contact the city clerk in writing, or may call 677-0311 for information regarding available aids and services.

# STAFF REPORT

## City of Ormond Beach Department of Planning

**DATE:** June 29, 2011

**SUBJECT:** 530 South Atlantic Avenue

**APPLICANT:** Bishop Construction on behalf of the property owner  
Volusia County Enterprises, LLC

**FILE NUMBER:** V-11-86

**PROJECT PLANNER:** Steven Spraker, AICP, Senior Planner

### **INTRODUCTION:**

This is a request for a rear yard setback variance submitted by Bishop Construction on behalf of the property owner Volusia County Enterprises, LLC. The property at 530 South Atlantic Avenue is zoned as B-7 (Highway Tourist Commercial) and Chapter 2, Article II of the Land Development Code, Section 2-28.B.9.b., requires a rear yard setback of 20' from the property line to the principal structure. The applicant is requesting a 14.9' variance to allow a building addition to square off a convenience store building at a setback of 5.1' to match the building setback line.

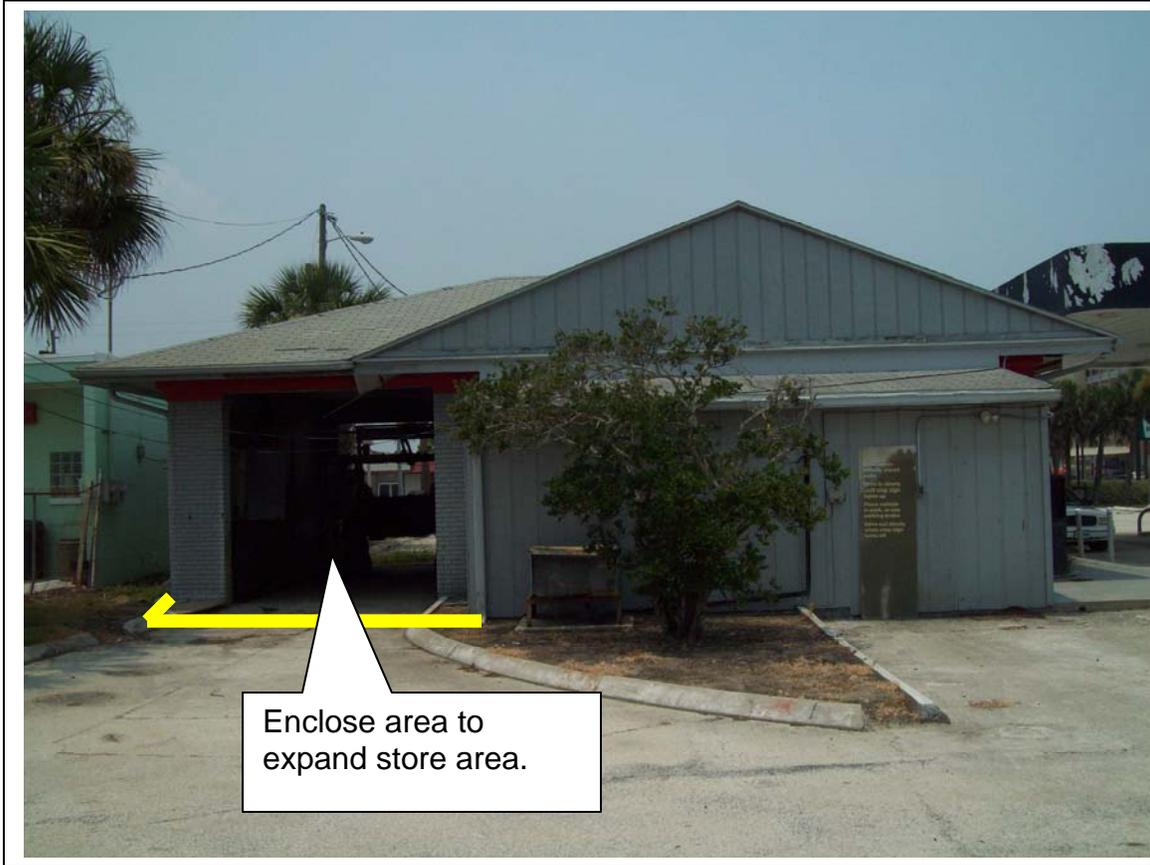
### **BACKGROUND:**

The property is designated as "Tourist Commercial" on the City's Future Land Use Map (FLUM) and is zoned B-7 (Highway Tourist Commercial) on the City's Official Zoning Map. The existing use of the property is consistent with the FLUM designation and zoning district. The adjacent land uses and zoning for the surrounding properties are that of the subject property.

### **Adjacent land uses and zoning:**

	<b>Current Land Uses</b>	<b>Future Land Use Designation</b>	<b>Zoning</b>
<b>North</b>	7-11 convenience store (no gas)	"Tourist Commercial"	B-7 (Highway Tourist Commercial)
<b>South</b>	ABC Liquors	"Tourist Commercial"	B-7 (Highway Tourist Commercial)
<b>East</b>	Single-family houses	"Tourist Commercial"	B-6 (Oceanfront Tourist Commercial)
<b>West</b>	Commercial	"Tourist Commercial"	B-7 (Highway Tourist Commercial)

**Area of proposed addition:**



The Volusia County Property Appraiser shows the structure at 530 South Atlantic Avenue was constructed in 1964. The survey included in the application packet shows the existing building has a rear yard setback of 5.1'. The property operated for a number of years as a Texaco convenience store with gas pumps and a car wash. The use went vacant in 2009 and has not been in operation since. In January 2011, the current property owner removed the old fuel tanks and installed new fuel tanks and associated improvements.

The applicant has submitted a building permit to perform improvements to re-use the site for a convenience store with gas pumps. One aspect of the building permit proposed to enclose a 8.9' by 14' area, just south of the existing car wash into part of the building. This area currently does not have any hard roof structures and is considered an expansion to a non-conforming structure. The project also proposes to enclose the existing car wash which has a hard roof structure and can be converted with a building permit. The project is also performing landscape and irrigation improvements to bring the site into compliance with the Land Development Code.

**ANALYSIS:**

The applicant is requesting a rear yard setback of 5.1' for a principal building addition, requiring a rear yard variance of 14.9' to the required 20' setback. Per

Chapter 2, Article V, Sec. 2-63. F., the City's Board of Adjustment and Appeals may review variance requests to allow for the expansion of the nonconforming portion of a structure. The proposed building addition is 8.9' wide and 14' deep and squares off a non-conforming structure.

Potential Alternatives:

1. **Grant the applicant's request and permit a 5.88' setback, granting a 2.12' variance to the required 8' side corner yard setback.**

The existing structure has a 5.1' setback to the rear property line and the applicant is seeking to enlarge the existing building, including enclosing the car wash, consistent with the existing building plane. This option would allow the applicant to enlarge the convenience store and offer a wider selection of products with the 124.6 square foot addition.

2. **Deny the request as presented and approve a permit for the construction of the addition that is within the required side corner yard set back offset from the original principal structure.**

This option would deny any expansion of the non-conforming structure. The applicant would be able to enclose the car wash which has an existing hard roof structure, but not the area without a hard roof enclosure.

**CONCLUSION:**

Chapter 1, Article II, Section 1-16.D.2, of the Land Development Code states, "The Board of Adjustment and Appeals shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape, topographical condition, or other physical or environmental conditions that are unique to the specific property involved and are not the result of the actions of the applicant. If the basis for the request is the unique quality of the site, the Board shall make the following required findings based on the granting of the variance for that site alone. If, however, the condition is common to numerous sites so that requests for similar variances are likely to be received, the Board shall base its findings on the cumulative effect of granting the variance to all who may apply."

The Board must consider the following criteria established in Chapter 1, Article II, Section 1-16.D.4, of the Land Development Code for the expansion of the non-conforming structure:

1. **The property where the structure is located meets the minimum lot area standards for the zoning district, as specified in Chapter 2, Article II.**

The B-7 zoning classification requires a 100 foot lot width and a total lot area of 20,000 square feet. The lot has width of 193 feet and a total lot area of 28,950 square feet.

2. **There are no other ways of altering the structure that will not result in increasing the nonconforming cubic content of the structure.**

Staff has reviewed other alternatives and is unable to find another method of expansion that would meet the required dimensional setbacks. The request is necessary based on the existing location of the building constructed in 1964.

3. **The proposed expansion will be consistent with the use of the structure and surrounding structures, given that the use is permitted by right, conditional use or Special Exception in the zoning district within which the structure is located.**

The proposed use is a conditional use within the B-7 zoning district and is consistent with the surrounding structures and uses. There is a lack of convenience stores with fuel sales along the South Atlantic Avenue and the renovation would put into a use and site that has been vacant.

4. **The proposed expansion effectively “squares-off” an existing building, or does not extend beyond the furthest point of an adjacent building on the site.**

The proposed addition does “square off” the existing building between the existing car wash and coolers. The addition does not extend beyond the existing building plane.

5. **The proposed expansion is in scale with adjacent buildings.**

The proposed addition is minor at 124 square feet and has no impact to the scale with adjacent buildings.

6. **The proposed expansion will not impact adjacent properties by limiting views or increasing light and/or noise.**

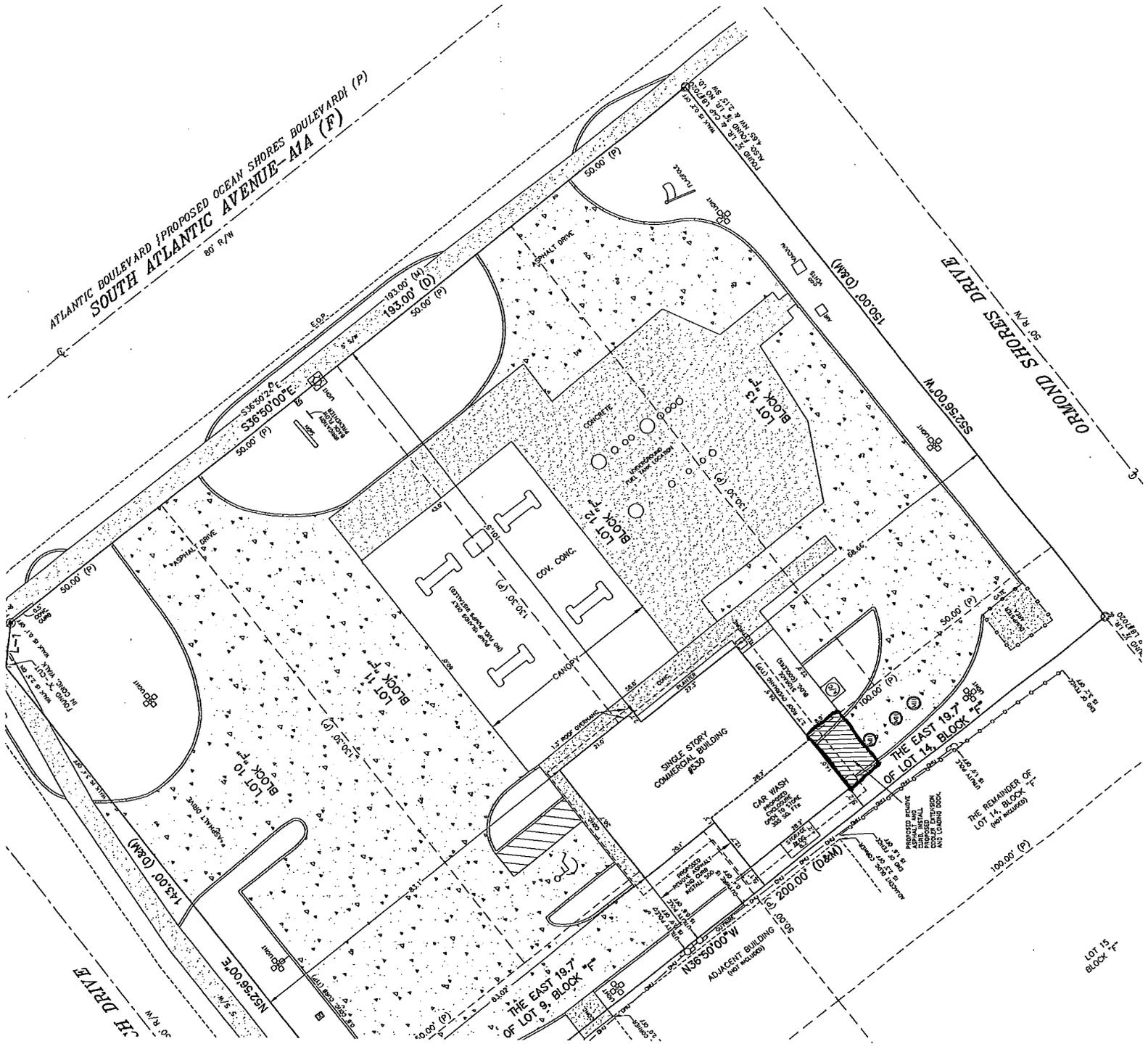
The expansion will not impact adjacent properties by limiting views or increasing light or noise.

#### **RECOMMENDATION:**

It is recommended that the Board of Adjustments and Appeals **APPROVE** a 14.9' variance to allow a building addition to square off a convenience store building at a setback of 5.1' to match the building setback line at 530 South Atlantic Avenue.

# Exhibit A

## Variance Exhibit



Required Rear Yard Setback	20'
Requested Rear Yard Setback	5.1'
<b>Variance Request</b>	<b>14.9'</b>

# Exhibit B

- Map and Pictures

# 530 South Atlantic Location Map



Address Points

City Streets

- DIRT
- MAJOR
- PAVED

 Property Lines



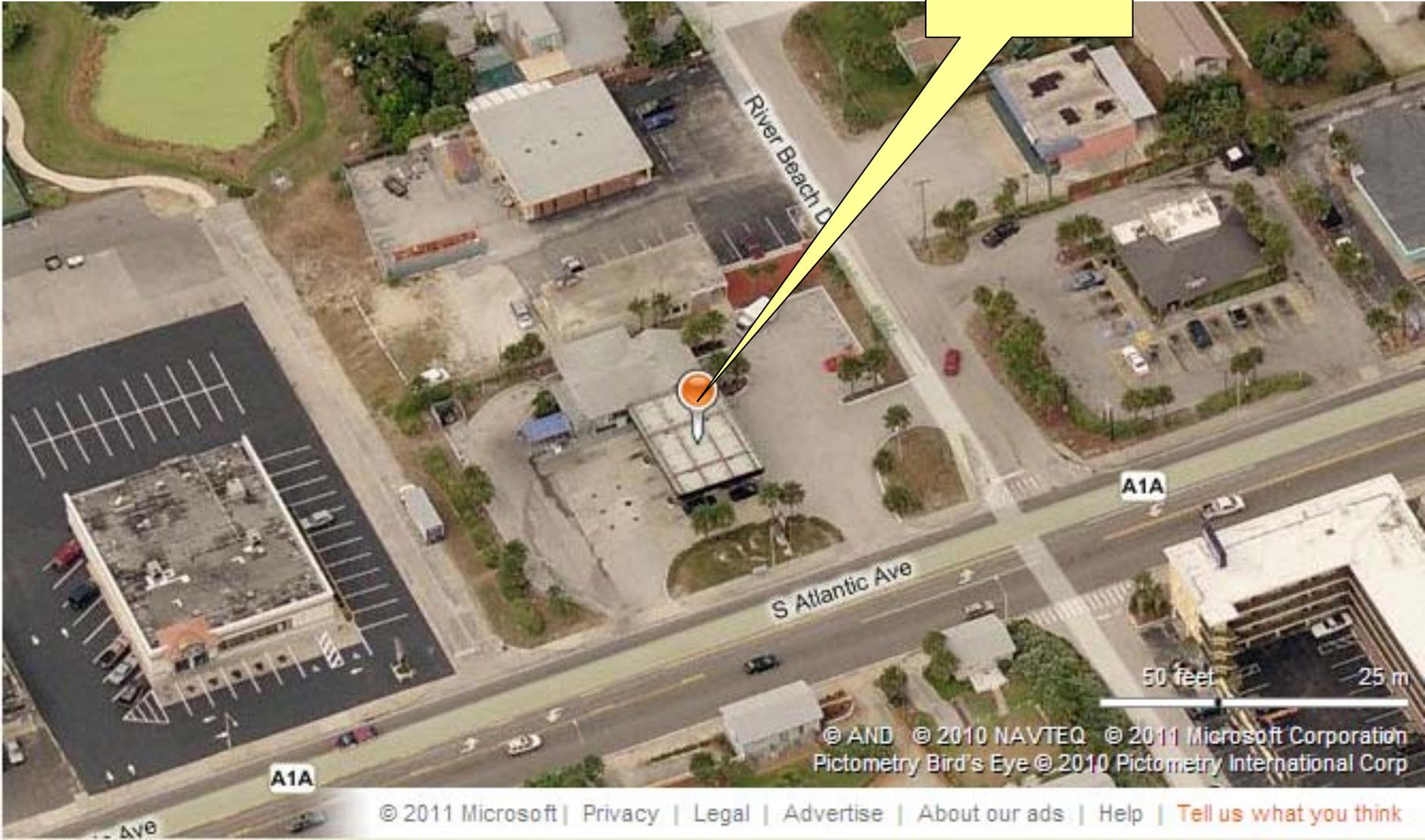
205 ft



GIS data is provided on an "as is" basis. The accuracy or reliability of the data is not guaranteed or warranted in any way. The City of Ormond Beach specifically disclaims any warranty either expressed or implied, including, but not limited to, the implied warranties of merchantability and fitness for a particular use. The entire risk as to quality and performance of the data is with the end user. In no event will the City, its staff or its representatives be liable for any direct, indirect, incidental, special, consequential, or other damages, including loss of profit, arising out of the use of this data even if the City has been advised of the possibility of such damages.



Site





TOW AWAY ZONE  
UNAUTHORIZED VEHICLES  
WILL BE TOWED AT  
OWNER'S RISK  
CALL 813-253-1000

BARBER SHOP

TAXI BROTHER







# Exhibit C

## Applicant Provided Information



**CITY OF ORMOND BEACH**

v5.3

Planning Department  
22 South Beach Street, Ormond Beach, FL 32174  
Tel: (386) 676-3238  
www.ormondbeach.org      comdev@ormondbeach.org

**VARIANCE - APPLICATION**

*For Planning Department Use*

Application Number

Date Submitted

**VARIANCE TYPE**

Please select appropriate application type

**FEES**

	<u>Application</u>	<u>Advisory Board</u>	<u>Commission</u>	<u>Total*</u>
Residential and Commercial	350	354	N/A	704
After-the-Fact	700	354	N/A	1054

\*The total is calculated as the Application plus approximate Advisory Board and Commission Public Notification Fees. Depending on the actual costs, Staff shall refund any remaining balance or require additional payment.

**APPLICANT INFORMATION**

This application is being submitted by     Property Owner       Agent, on behalf of Property Owner

Name

Address

City, State, Zip Code

Telephone

Email Address

If this application is being submitted by person other than the property owner, please provide the following Property Owner Information.

**PROPERTY OWNER INFORMATION**

Name | Volusia County Enterprises, LLC  
Address | PO Box 1110  
City, State, Zip Code | Brandon, FL 33509  
Telephone | 813-545-5990  
Email Address | phil@apecgas.com

If the property owner does not reside on the property for which the application refers, please provide the following Property Details.

**PROPERTY DETAILS**

Address | 530 South Atlantic Ave, Ormond Beach, FL  
Zip Code | 32176  
Parcel I.D. | 23-14-32-05-06-0120  
Legal Description | LOTS 10,11,12 & 13 & E. 19.7 FT LOTS 9 & 14 BLK F ORMOND SH  
ORES MB 9 PG 72 EXC ST AKA E 150 FT BLK J ORMOND BEACH PARK

**REQUEST**

For the Board of Adjustment and Appeals to grant a variance, there must be special conditions or circumstances existing which are peculiar to a particular piece of land, structure or building. The variance should not request special privilege denied to other lands, buildings or structures, and must prove deprivation of rights commonly enjoyed by other property owners in the subject property area that results in an unnecessary hardship. The request should be the minimum possible to make reasonable use of the land and, if granted, should not be injurious to the area or materially diminish the value of the surrounding properties, alter the essential characteristics of the neighborhood or otherwise be detrimental to the public welfare or create a public nuisance. A purely financial hardship does not, except under extreme circumstances, constitute sufficient grounds for hardship.

Request

In able to add more cooler space to the existing building we will need to encroach into the rear 20'-0" setback. The width of the encroachment is approx. 8.9' The existing building is already encroaching into the rear setback approx. 15'-0" and has a rear setback of 5.1'

**ABUTTING PROPERTY OWNERS**

Please provide abutting property owner signatures or provide letters indicating position toward the request.

Signature	Street Address	For	Against
<input type="text"/>	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="text"/>	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="text"/>	<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>

**CRITERIA: CONFORMING**

Section 1-16.D.3 of the Land Development Code requires that the Board of Adjustment and Appeals make a finding based on substantial competent evidence on each of the following 8 criteria. Additional pages, photographs, surveys, plot plans or other materials may be attached as exhibits.

**NOTE:** If the existing structure or property is nonconforming, complete the nonconforming criteria (page 4).

- 1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district:

N/A

- 2. The special conditions and circumstances do not result from the actions of the applicant:

N/A

- 3. Literal interpretation of the provisions of these zoning regulations deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these zoning regulations and would work unnecessary and undue hardship on the applicant:

N/A

- 4. No practical alternative exists and the variance, if granted, is the minimum variance that will make possible the reasonable use of the land, building or structure:

N/A

**CRITERIA: CONFORMING (continued)**

- 5. The variance request is not based exclusively upon a desire to reduce the cost of developing the site. Financial disadvantages or physical inconvenience to the applicant shall not in and of themselves constitute conclusive proof of unnecessary hardship:

N/A

- 6. The proposed variance will not substantially increase congestion on surrounding streets, or the danger of fire or other hazard to the public:

N/A

- 7. The effect of the proposed variance is in harmony with the general intent of this Code and the specific intent of the relevant subject area(s) of the Code and will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site:

N/A

- 8. Granting this variance requested will not confer on the applicant any special privilege that is denied by this Code to other lands, buildings or structures in the same zoning district:

N/A

**CRITERIA: NONCONFORMING**

Section 1-16.D.4 of the Land Development Code establishes separate criteria for the expansion of an existing nonconforming structure or portion of that structure. The Code requires that the Board of Adjustment and Appeals make a finding based on substantial competent evidence on each of the following 6 criteria. Additional pages, photographs, surveys, plot plans or any other materials may be attached as exhibits.

- 1. The property where the structure is located meets the minimum lot area standard for the zoning district, as specified in Chapter 2, Article II:

YES

**CRITERIA: NONCONFORMING (continued)**

2. There are no other ways of altering the structure that will not result in increasing the nonconforming cubic content of the structure:

CORRECT

3. The proposed expansion will be consistent with the use of the structure and surrounding structures, given the use is permitted by right, conditional use or special exception in the zoning district within which the structure is located:

YES

4. The proposed expansion effectively "squares-off" an existing building, or does not extend beyond the furthest point of an adjacent building on the site:

CORRECT

5. The proposed expansion is in scale with adjacent buildings:

YES

6. The proposed expansion will not impact adjacent properties by limiting views or increasing light and/or noise:

CORRECT

**CERTIFICATION**

By submitting this application, I hereby certify that the information provided above is true and correct to the best of my knowledge and that I am aware of the application submittal requirements and review process for this application. I hereby authorize City of Ormond Beach Staff to place legal notice on my property and to take pictures pertaining to my request. I am aware of the required pre-application meeting and am aware that if all the submittal requirements are not provided, my application will be continued to the next regularly scheduled meeting.

Signed By: [Signature]

Date: 5/18/2011

**Corporation**

**STATE OF FLORIDA)**  
**COUNTY OF VOLUSIA) SS**

The foregoing instrument was acknowledged before me this 31<sup>st</sup> day of May, 2011, by and Michael Bishop Bishop Construction, in their capacity as the Owner of Bishop Construction who is personally known to me or has provided identification.

Sheri D. Andrews  
 Notary Public  
 State of Florida  
 My Commission Expires: 08-04-13

ATTEST: \_\_\_\_\_

**Individual**

**STATE OF FLORIDA)**  
**COUNTY OF VOLUSIA) SS**

The foregoing instrument was acknowledged before me this 31<sup>st</sup> day of May, 2011, by Michael Bishop, who provided \_\_\_\_\_, as identification or is personally known to me.

Sheri D. Andrews  
 Notary Public  
 State of Florida  
 My Commission Expires: 08-04-13

**Volusia County Enterprises, LLC**

PO Box 1110  
Brandon, FL 33509

Steven Spraker  
Director of Zoning  
City of Ormond Beach Planning & Zoning Department  
22 South Beach Street, Ormond Beach FL 32174  
386-676-3341 office

**RE: Letter of Authorization**

Dear Mr. Spraker ,

Bishop Construction, Inc. is hereby authorized to act in the owners behalf in regards to applying for the required Variances located at: **530 South Atlantic Ave, Ormond Beach FL 32176.**

Please call me with any questions 813-545-5990

Kind Regards,



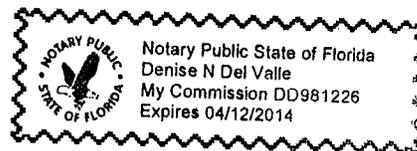
Phil Toye  
Franchise Manager

State of Florida  
County of Hillsborough

Sworn to and subscribed before me this 18 day of May, 2011  
Phil Toye is personally known to me or provided the following  
Identification \_\_\_\_\_

  
Notary Signature  
State of Florida

Notary Stamp



This Document Prepared By and Return to:  
C. Glenn Leonard  
Leonard & Morrison  
1995 East Oakland Park Blvd, #105  
Ft. Lauderdale, FL 33306

Parcel ID Number: 422305060120

# Warranty Deed

This Indenture, Made this 13 day of February, 2008 A.D., Between  
BARBARA WILLIAMSON, PERSONAL REPRESENTATIVE OF THE ESTATE OF ROBERT T.  
WILLIAMSON, DECEASED.

of the County of PALM BEACH, State of Florida, grantor, and  
VOLUSIA COUNTY ENTERPRISES, LLC, a Florida limited liability company

whose address is: P.O. BOX 1110, Brandon, FL 33509

of the County of Hillsborough, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of  
-----TEN DOLLARS (\$10)----- DOLLARS,

and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has  
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,  
lying and being in the County of VOLUSIA State of Florida to wit:

See attached legal description for property located at  
530 South Atlantic Avenue, Ormond Beach, Florida

SUBJECT TO: Zoning and/or restrictions and prohibitions imposed by  
governmental authority; restrictions, easements and other matters  
appearing on the Plat and/or common to the Subdivision; and real  
property taxes for the year 2008 and subsequent years.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

BARBARA WILLIAMSON, PERSONAL  
REPRESENTATIVE

Frances C. Shaw

By: Barbara Williamson (Seal)

Printed Name: FRANCES C. SHAW  
Witness

BARBARA WILLIAMSON  
PERSONAL REPRESENTATIVE  
P.O. Address: 6741 SOUTH MILITARY TRAIL, LAKE WORTH, FL 33463

Carol Bartel

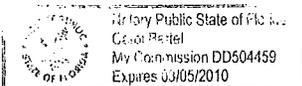
Printed Name: Carol Bartel  
Witness

STATE OF Florida  
COUNTY OF Broward

The foregoing instrument was acknowledged before me this 13 day of February, 2008 by  
BARBARA WILLIAMSON, PERSONAL REPRESENTATIVE OF THE ESTATE OF ROBERT T.  
WILLIAMSON, DECEASED

she is personally known to me or she has produced her \_\_\_\_\_

as identification.



Carol Bartel  
Printed Name: Carol Bartel  
Notary Public  
My Commission Expires:

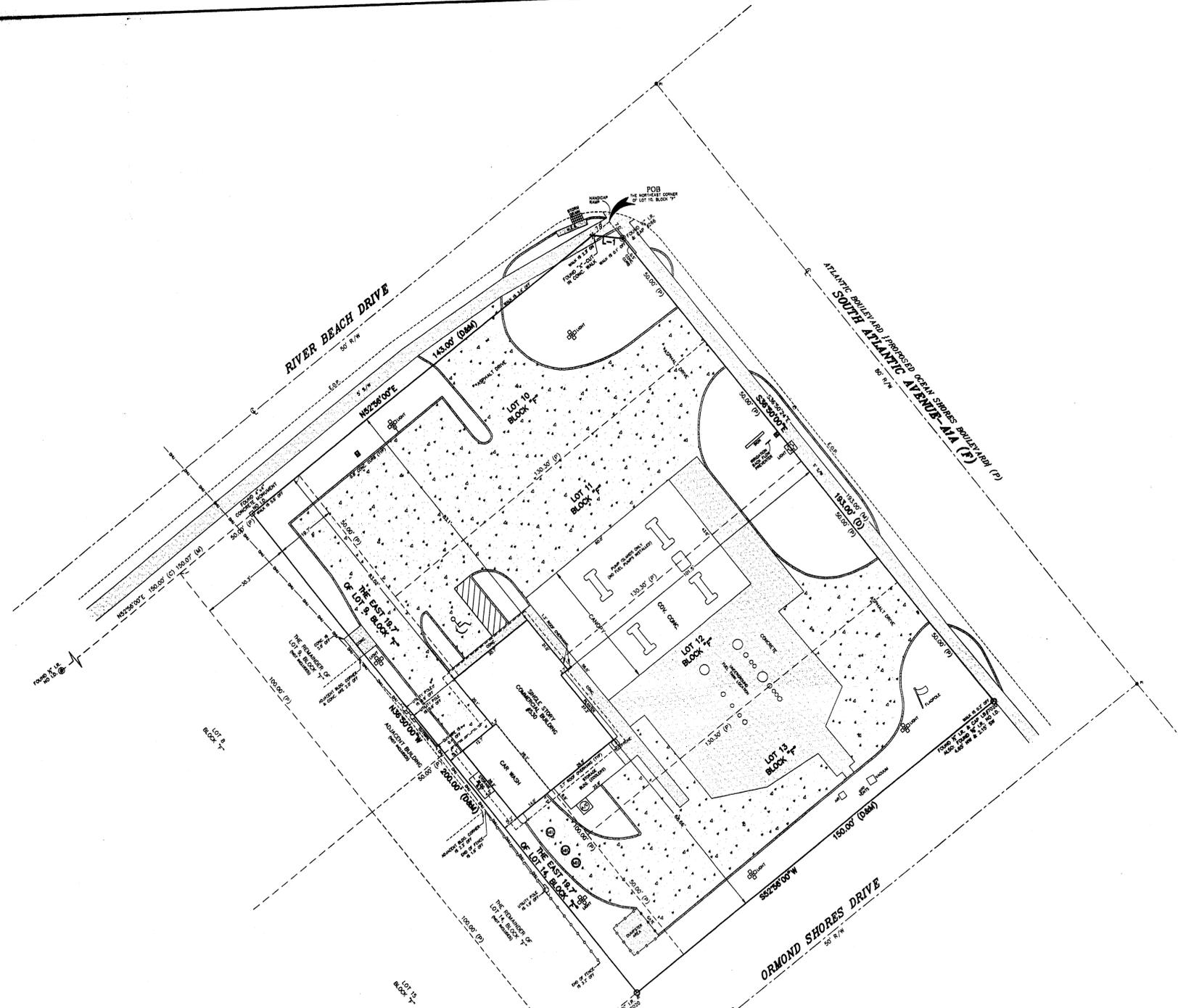
EXHIBIT "A"

LOTS 10, 11, 12 AND 13 AND THE EAST 19.7 FEET OF LOTS 9 AND 14, BLOCK "F" OF ORMOND SHORES, AS RECORDED IN MAP BOOK 9, PAGE 72, ALSO KNOWN AS THE EAST 150 FEET OF BLOCK "J" OF ORMOND BEACH PARK, AS RECORDED IN MAP BOOK 6, PAGE 31, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING:

A TRIANGULAR PARCEL OF LAND IN LOT 10, BLOCK "F", ORMOND SHORES, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 9, PAGE 72, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 10; THENCE RUN WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10, A DISTANCE OF 7 FEET; THENCE RUN SOUTHEASTERLY ALONG A STRAIGHT LINE TO THE TO THE EASTERLY LINE OF SAID LOT 10, AT A POINT 7 FEET SOUTHERLY OF THE POINT OF BEGINNING; THENCE RUN NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 10 A DISTANCE OF 7 FEET TO THE POINT OF BEGINNING.

AND WHOSE PHYSICAL ADDRESS IS: 530 South Atlantic Avenue  
Ormond Beach, Florida



**BEARING BASIS:**  
 BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF RIVER BEACH DRIVE, AS BEING S52°56'00"W, PER PLAT.

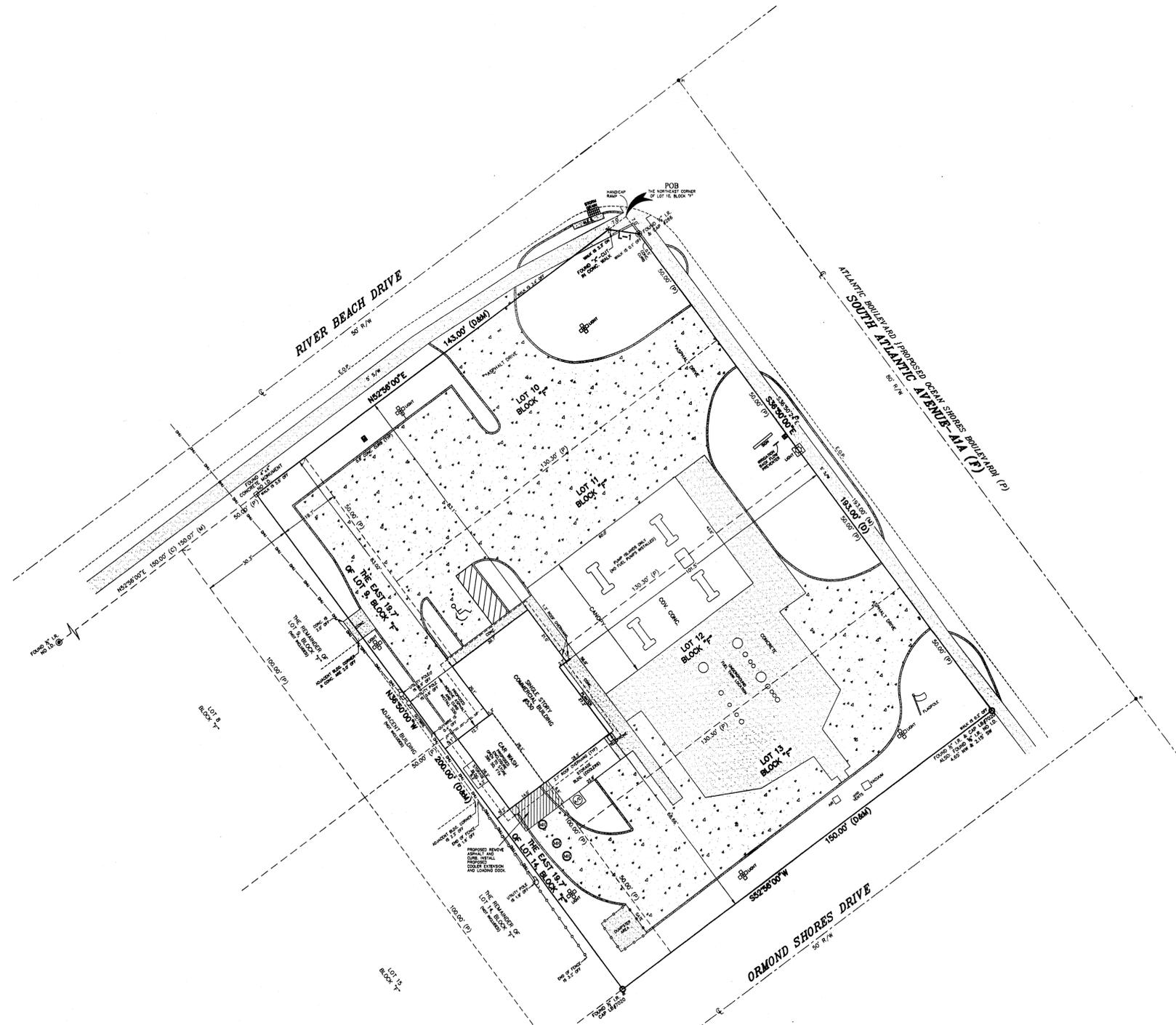
**BOUNDARY & LOCATION SURVEY**  
 OF  
 530 SOUTH ATLANTIC AVENUE; CITY OF ORMOND BEACH  
 STATE OF FLORIDA, ZIP CODE 32176-7758  
 SECTION 23-14-32  
 VOLUSIA COUNTY

LEGAL DESCRIPTION: LOTS 10, 11, 12 and 13, and THE EAST 19.7 FEET OF LOTS 9 and 14, BLOCK "F" of ORMOND SHORES, AS RECORDED IN MAP BOOK 9, PAGE 72, ALSO KNOWN AS THE EAST 150 FEET OF BLOCK "J" of ORMOND BEACH PARK, AS RECORDED IN MAP BOOK 6, PAGE 31, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.  
 LESS and EXCEPT THE FOLLOWING:  
 A TRIANGULAR PARCEL OF LAND IN LOT 10, BLOCK "F", ORMOND SHORES, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 9, PAGE 72, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 10; THENCE RUN WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10, A DISTANCE OF 7 FEET; THENCE RUN SOUTHEASTERLY ALONG A STRAIGHT LINE TO THE EASTERLY LINE OF SAID LOT 10, AT A POINT 7 FEET SOUTHERLY OF THE POINT OF BEGINNING; THENCE RUN NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 10 A DISTANCE OF 7 FEET TO THE POINT OF BEGINNING.



- LEGEND:**
- ⊕ = HANDICAP PARKING
  - ⊙ = METAL LIGHT POLE
  - ⊠ = CONCRETE LIGHT POLE
  - ⊙ = UTILITY POLE
  - ⊙ = SET 1/2" IRON ROD & CAP LB#7020
  - ⊙ = FOUND PROPERTY CORNER
  - ⊠ = FOUND CONCRETE MONUMENT
  - ⊙ = WELL
  - ⊙ = GAS METER
  - ⊙ = GUYWIRE
  - ⊙ = FIRE HYDRANT
  - ⊙ = WATER VALVE
  - ⊙ = MANHOLE COVER

<p>1. THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AS PROVIDED BY THE CLIENT.</p> <p>2. THIS SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWING HEREON FOR EASEMENTS, RIGHTS OF WAY OR RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.</p> <p>3. DO NOT RECONSTRUCT PROPERTY LINES FROM INTERIOR IMPROVEMENTS, BUILDINGS, FENCES, ETC.</p> <p>4. NO FOOTINGS OR OVERHANDS HAVE BEEN LOCATED EXCEPT AS SHOWN.</p> <p>5. NO UNDERGROUND IMPROVEMENTS OR UTILITIES HAVE BEEN LOCATED EXCEPT AS SHOWN.</p> <p>6. NO METLANDS AND/OR OTHER NATURAL FEATURES HAVE BEEN LOCATED EXCEPT AS SHOWN.</p> <p>7. THIS SURVEY SHALL NOT BE USED FOR DESIGN OR CONSTRUCTION WITH OUT PRIOR WRITTEN AUTHORIZATION FROM THE SIGNING SURVEYOR.</p> <p>8. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND JAMPER.</p> <p>I HEREBY CERTIFY THAT THE SURVEY OF THE HEREON DESCRIBED PROPERTY WAS PREPARED UNDER MY DIRECT SUPERVISION AND UNDER THE PERSONAL TECHNICAL SUPERVISION OF ME OR ANOTHER LICENSED PROFESSIONAL SURVEYOR AND JAMPER IN FLORIDA, IN ACCORDANCE WITH THE FLORIDA STATUTES, CHAPTER 461, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 17E, FLDODM#1001.</p> <p align="right">05/24/11        BRADLEY COX, PLS. SURVEYOR (DATE)        CERTIFICATE OF AUTHORIZATION # 187020</p>	<p>1. ASPHALT</p> <p>2. CONCRETE</p> <p>3. CENTERLINE</p> <p>4. BUILDING SETBACK LINE</p> <p>5. METAL RAILING</p> <p>6. WOOD FENCE</p> <p>7. CHAIN LINK FENCE</p> <p>8. OVERHEAD UTILITY LINE</p>
<p>BRADLEY COX &amp; ASSOCIATES        Land Surveying        405 W. 23rd Street        Sanford, Florida 32771        Phone (407) 323-9202        Fax (407) 324-9661        WWW.BRADLEYCOXSURVEYING.COM</p>	<p>JOB # BC14088-U        DRAWN BY: MLO/MP        CHECKED BY: BC        FIELD BY: MLO/MP        FIELD DATE: 05/21/10        REVISION: 05/21/11</p>



**BOUNDARY & LOCATION SURVEY**  
 OF  
 530 SOUTH ATLANTIC AVENUE; CITY OF ORMOND BEACH  
 STATE OF FLORIDA, ZIP CODE 32176-7758  
 SECTION 23-14-32 VOLUSIA COUNTY

**BEARING BASIS:**  
 BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF RIVER BEACH DRIVE, AS BEING S52°56'00"W, PER PLAT.



**LEGAL DESCRIPTION:** LOTS 10, 11, 12 and 13, and THE EAST 19.7 FEET OF LOTS 9 and 14, BLOCK "F" of ORMOND SHORES, AS RECORDED IN MAP BOOK 9, PAGE 72, ALSO KNOWN AS THE EAST 150 FEET OF BLOCK "J" of ORMOND BEACH PARK, AS RECORDED IN MAP BOOK 6, PAGE 31, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

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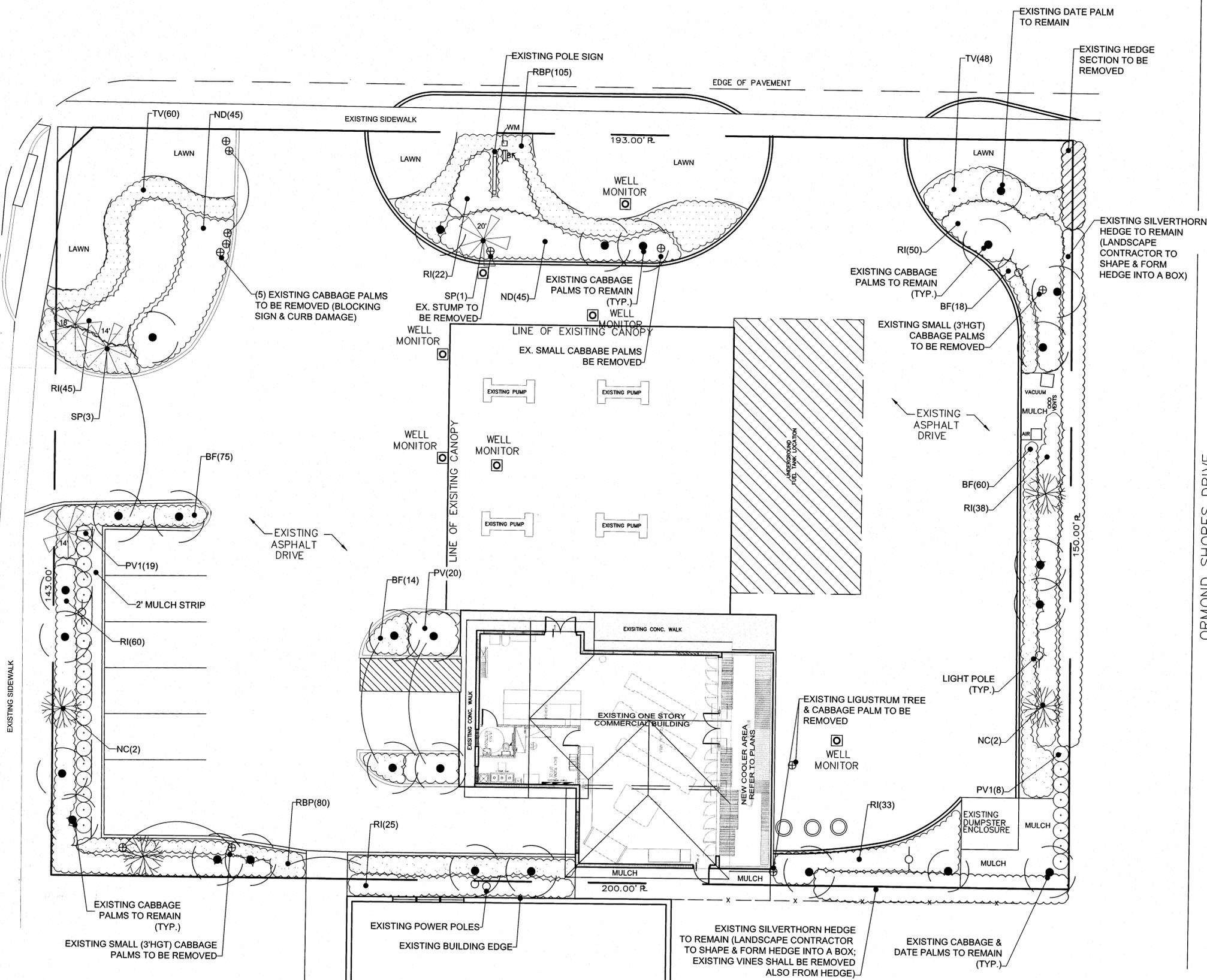
- LEGEND:**
- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>⊕ = AIR CONDITIONER</li> <li>⊕ = CONCRETE MONUMENT</li> <li>⊕ = CONCRETE LIGHT POLE</li> <li>⊕ = UTILITY POLE</li> <li>⊕ = SET 1/2" IRON ROD &amp; CAP LB#7020</li> <li>⊕ = FOUND PROPERTY CORNER</li> <li>⊕ = FOUND CONCRETE MONUMENT</li> </ul> | <ul style="list-style-type: none"> <li>⊕ = WELL</li> <li>⊕ = GAS METER</li> <li>⊕ = GUYWIRE</li> <li>⊕ = FIRE HYDRANT</li> <li>⊕ = WATER VALVE</li> <li>⊕ = MANHOLE COVER</li> </ul> |
|--|--|

<ul style="list-style-type: none"> <li>⊕ = ASPHALT</li> <li>⊕ = WATER METER</li> <li>⊕ = CONCRETE</li> <li>⊕ = CENTERLINE</li> <li>⊕ = BUILDING SETBACK LINE</li> <li>⊕ = METAL RAILING</li> <li>⊕ = WOOD FENCE</li> <li>⊕ = CHAIN LINK FENCE</li> <li>⊕ = SCHEDULED UTILITY LINES</li> </ul>	<p>1. THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AS PROVIDED BY THE CLIENT.</p> <p>2. THIS SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHTS OF WAY OR RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OF USE OF THE LAND.</p> <p>3. DO NOT RECONSTRUCT PROPERTY LINES FROM INTERIOR IMPROVEMENTS, (BUILDINGS, FENCES ECT.)</p> <p>4. NO FOOTINGS OR OVERHANGS HAVE BEEN LOCATED EXCEPT AS SHOWN.</p> <p>5. NO UNDERGROUND IMPROVEMENTS OR UTILITIES HAVE BEEN LOCATED EXCEPT AS SHOWN.</p> <p>6. NO WETLANDS AND/OR OTHER NATURAL FEATURES HAVE BEEN LOCATED EXCEPT AS SHOWN.</p> <p>7. THIS SURVEY SHALL NOT BE USED FOR DESIGN OR CONSTRUCTION WITH OUT PRIOR WRITTEN AUTHORIZATION FROM THE SIGNING SURVEYOR.</p> <p>8. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.</p> <p>9. I HEREBY CERTIFY THAT THE SURVEY OF THE HEREIN DESCRIBED PROPERTY WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE MINIMUM TECHNICAL REQUIREMENTS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 461, FLORIDA STATUTES CODE, PURSUANT TO CHAPTER 471, FLORIDA STATUTES.</p> <p align="right">05/24/11  <b>BRADLEY G. COX</b> (DATE)      CERTIFICATE OF AUTHORIZATION # LB7020</p>
---	--

**Bradley Cox & Associates**  
 Land Surveying  
 405 W. 25th Street  
 Sanford, Florida 32771  
 Phone (407) 323-9202  
 Fax (407) 324-9661  
 WWW.BRADLEYCOXSURVEYING.COM

**JOB #** BCA14088-P  
**DRAWN BY:** MLC/MP  
**CHECKED BY:** BC  
**FIELD BY:** MP/ALM  
**(FIELD DATE):** 06/21/10  
**REVISIONS:** 05/21/11  
**ADDED PROPOSED CHANGES**

**APPROVED**  
 City of Ormond Beach  
 Date: 06.03.2011



**PLANT LIST:**

QUAN.	KEY	BOTANICAL/COMMON NAME	DESCRIPTION
4	NC	Nerium oleander 'Calypso'	6'ht.x 3' spr.
		CALYPSO OLEANDER STD.	1" caliper min. 25 gal.
4	SP	Sabal palmetto	See Plan for o.a. hts.
		CABBAGE PALM	Heavy Trunk B&B
167	BF	Bulbine frutescens 'Hallmark'	1 gal. full
		ORANGE BULBINE	(12) Bibs min. 20" o.c.
90	ND	Nerium oleander 'Petite Pink'	24"ht.x 20" spr.
		PINK OLEANDER	3 gal. 30" o.c.
27	PV1	Pittosporum tobira 'Variegata'	30"ht.x 24" spr.
		VARIEGATED PITTOSPORUM	7 gal. 36" o.c.
20	PV	Pittosporum tobira 'Variegata'	18"ht.x 18" spr.
		VARIEGATED PITTOSPORUM	3 gal. 30" o.c.
185	RBP	Ruellia brittoniana 'Compacta Katie'	1 gal. full
		DWARF PINK MEXICAN BLUEBELL	20" o.c.
273	RI	Rhaphiolepis indica 'Alba'	15"ht. x 15" spr.
		WHITE INDIAN HAWTHORN	3 gal. 30" o.c.
108	TV	Tulbaghia violacea	1 gal. full
		PURPLE SOCIETY GARLIC	(12) Bibs min. 20" o.c.
1,520 S.F.	LAWN	SEE PLANTING NOTES	solid even sod

**SITE NOTES:**

- ALL EXISTING SMALL CABBAGE PALMS WITHIN THE PROPERTY SHALL BE REMOVED. ALL EXISTING PALM MATERIAL TO BE REMOVED, UNLESS OTHERWISE NOTED.
- EXISTING PALM STUMP SHALL BE STUMP GRINDED AND COMPLETELY REMOVED.
- ALL EXISTING CABBAGE PALMS SHALL HAVE THEIR SEED HEADS, DEAD FRONDS & LOWER BOOTS REMOVED PRIOR TO FINAL INSPECTION.
- EXISTING DEBRIS ALONG WEST SIDE OF BUILDING SHALL BE REMOVED PRIOR TO FINAL INSPECTION.

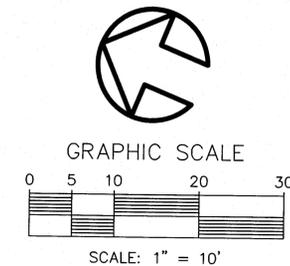
**PLANTING NOTES:**

(See plant specification and details for additional standards)

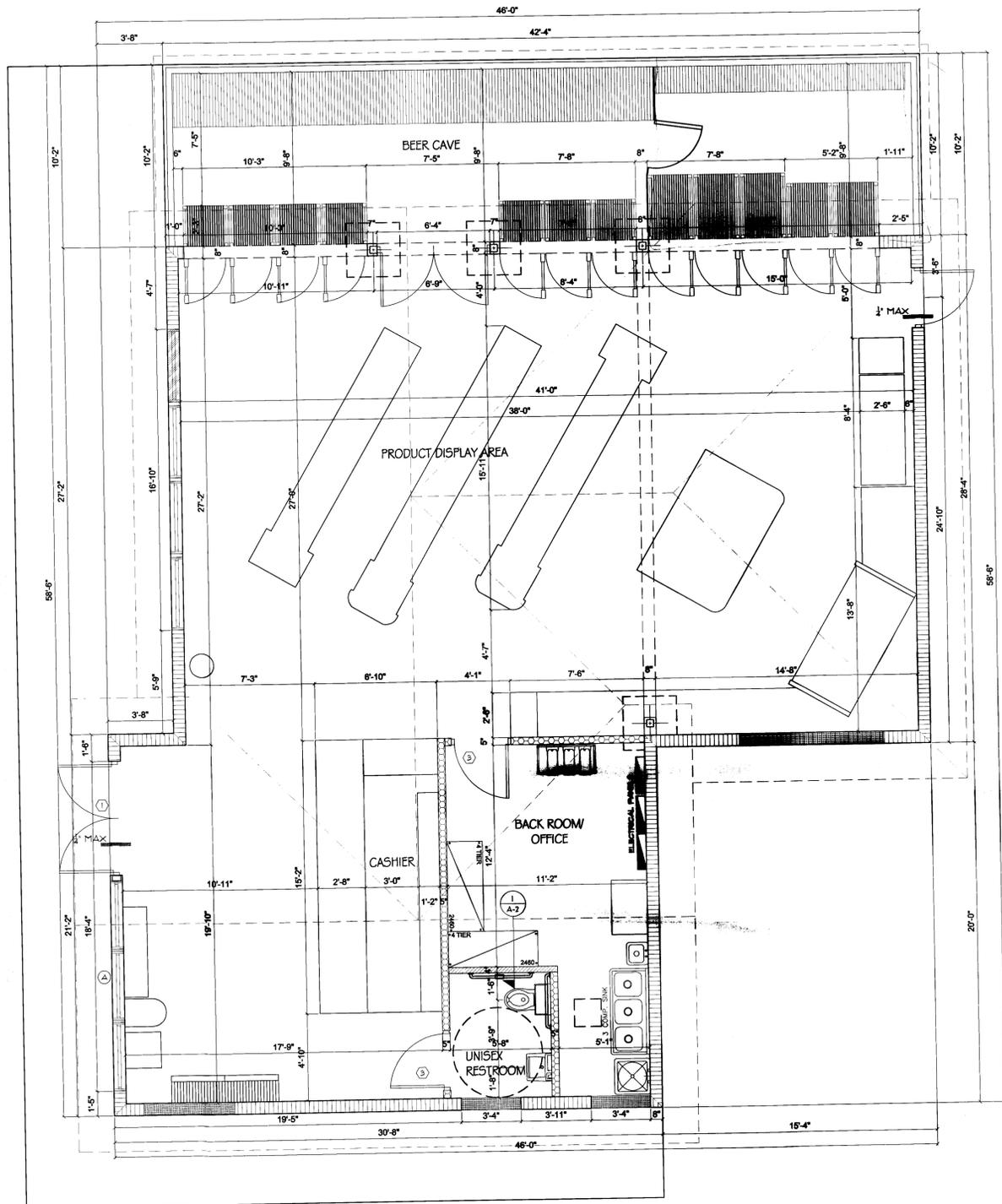
- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be sodded with St. Augustine 'Floratan' solid sod. See limit on plan. All areas marked "Bahia Grass" shall be solid sodded with Paspalum notatum. All sod is to be laid level, tight, and cut even along planting beds.
- All plants are to be top dressed with a minimum of 3"-inch layer of mini pine bark, Grade A or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and / or deletions to the plant material must be approved by the project manager.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verifications for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which will provide 100% coverage, and 50% overlap.
- All lawn located in parking islands is to be set flush with top of curb. Provide adequate soil to within 3"-inches of the top of curb.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable. (REFER TO PLANTING DETAILS)

**GENERAL/SITE NOTES:**

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The City of Ormond Beach shall not be responsible for any damages to utility or irrigation lines.
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- The landscape contractor shall remove all vines, fallen or dead branches and trees, invasive species, litter and construction debris from the site prior to final sign off.
- The landscape contractor shall remove all dead wood from protected & specimen trees and all palms shall have their dead fronds and seed heads removed prior to final CO.
- The landscape contractor shall remove all surveyor plastic tree tags from existing trees and proposed trees prior to final inspection. Also, all irrigation flags shall be removed.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations and site changes are to be brought to the attention of the Landscape Architect for clarification prior to installation.



REVISION	
NO.	DATE
APPR.	DATE
<p><b>MARK DOWST &amp; ASSOCIATES, INC.</b>                  ENGINEERS * PLANNERS * SURVEYORS                  536 N. HALIFAX AVENUE, SUITE # 100 * DAYTONA BEACH, FLORIDA 32118 * (386) 258-7999                  SCALE 1" = 10'</p>	
DESIGNED	CSC
DRAWN	CSC
CHECKED	RBT
DATE	05-20-11
BY	DATE
<p>LANDSCAPE PLAN                  ORMOND BEACH CIRCLE K                  ORMOND BEACH, FLORIDA</p>	
PROJECT NO.	NO. LA-1
1223	2
1223LAND	SHEETS



**PROPOSED FLOOR PLAN**

1/4"=1'-0"

OCCUPANCY GROUP M  
CONSTRUCTION TYPE "V-B"

-ALL PLANS AND SPECS HAVE BEEN DESIGNED TO MEET THE FLORIDA BUILDING CODE EDITION 2001 & THE PROVISIONS OF THE HIGH VELOCITY HURRICANE ZONES

-DOCUMENTS TO BE IN COMPLIANCE WITH F.B.C. '07 (EXISTING BLDGS.) CHAPTER 9 AND CHAPTER 3, LEVEL 2

ALL DOORS IN THE MEANS OF EGRESS SHALL BE SINGLE ACTION RELEASE AND SHALL NOT REQUIRE THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE.

NUMERICAL ADDRESS WILL BE PROVIDED ON ALL EXTERIOR DOORS WITH 6" NUMBERS WEATHERPROOF AND CONTRASTING COLORS. IF THE ADDRESS IS TO BE PLACED ON A WINDOW, THE NUMBERS SHALL BE "WHITE", IF THEY ARE TO BE ON A LIGHT COLORED BACKGROUND, THEY SHALL BE "BLACK".

ALL WOOD USED IN CONCEALED SPACES SHALL BE FIRE-RETARDANT LUMBER

**WALL LEGEND**

- EXISTING 8" BLOCK WALLS TO REMAIN
  - NEW 8" BLOCK EXTERIOR WALLS
  - NEW INTERIOR WALLS
  - INTERIOR WALLS TO REMAIN
- \* ALL EXT. WALLS SHALL BE CONC. BLOCK U.N.O.



**DOOR SCHEDULE**

OPENING LOCATION NUMBER	L	G	SIZE	TYPE	MATERIAL	JAMB	HARDWARE	(LOCATION) CORNER ZONE OR INTERIOR	GLAZING TYPE (LAM)	REMARKS	REQUIRED OPENING CORNER PRESSURE		MAXIMUM TESTED SIZE	ROUGH OPENING DIMENSIONS	MULTIPLE WINDOW MILLION REQ T-N/A	
											(+) PSF	(-) PSF				
1			6'-0" X 6'-8"	STOREFRONT	ALUM/GLS	ALUM	KEY LOCK KEY LOCK	INTERIOR	2"			+34	-37	N/A	6'-1" X 6'-8"	Y
2			3'-0" X 6'-8"	METAL	METAL	ALUM	KEY LOCK KEY LOCK	INTERIOR	2"			+34	-44	N/A	3'-1" X 6'-8"	N
3			3'-0" X 8'-0"	RAISED PANEL	WOOD	WOOD	PRIVACY									

**DOOR NOTES/SPECIFICATIONS**

- GLAZED DOORS AND WINDOWS SHALL BE IMPACT RESISTANT
- ALL DOOR HARDWARE TO BE SELECTED BY OWNER
  - ALL DOORS TO BE PAINT GRADE TWO (2) COATS MINIMUM OR TO COVER
  - ALL DOORS AND WINDOWS TO BE P.G.T. BRAND OR EQUAL
  - ROUGH OPENINGS SUPPLIED BY MANUF. SHALL SUPERSEDE R.O. SHOWN ABOVE
  - CONTRACTOR SHALL FIELD VERIFY R.O. PRIOR TO DOOR & WINDOW INSTALLATION

MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR ALL STOREFRONT WINDOWS, DOORS AND COMPONENTS.

**WINDOW SCHEDULE**

OPENING LOCATION NUMBER	L	G	SIZE	TYPE	FRAME		GLAZING		(LOCATION) CORNER ZONE OR INTERIOR	REMARKS	REQUIRED OPENING CORNER PRESSURE		MAXIMUM TESTED SIZE	ROUGH OPENING DIMENSIONS	MULTIPLE WINDOW MILLION REQ T-N/A	
					MATERIAL	FINISH	GLS	THICKNESS			(+) PSF	(-) PSF				
A			(3) 46" X 84"	FIXED STOREFRONT	ALUM.	E.S.P.	IMPACT.	GRAY TINT	1/16"	CORNER		+30	-37	45SF	18'-2" X VARIES FIELD VERIFY BY X 26"	
B			72" X 26"	FIXED TRANSOM	ALUM.	E.S.P.	IMPACT.	GRAY TINT	1/16"	INTERIOR		+35	-38	105F	18'-2" X VARIES FIELD VERIFY BY X 26"	

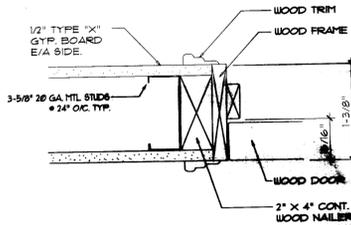
**WINDOW NOTES/SPECIFICATIONS**

- GLAZED DOORS AND WINDOWS SHALL BE IMPACT RESISTANT
- WINDOW SIZES BASE ON P.G.T. MFR. CONTRACTOR SHALL VERIFY ALL OPENINGS WITH MFR. PRIOR TO CONSTRUCTION
  - ALL GLAZING TO BE SELECTED BY OWNER
  - ROUGH OPENINGS SUPPLIED BY MANUF. SHALL SUPERSEDE R.O. SHOWN ABOVE

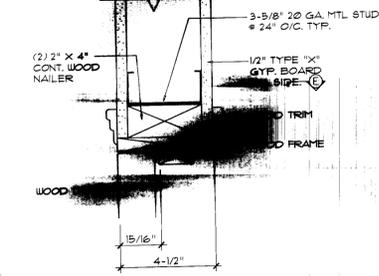
MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR ALL STOREFRONT WINDOWS, DOORS AND COMPONENTS.

**DOOR HARDWARE NOTES**

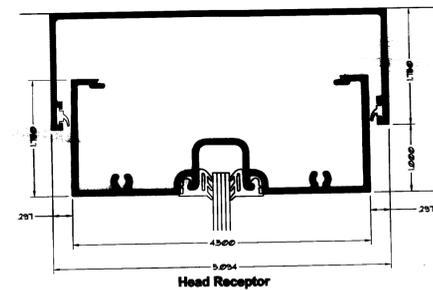
- ALL DOOR HARDWARE SHALL MEET THE STATE OF FLORIDA HANDICAPPED ACCESSIBILITY CODE.
- HEAVY DUTY COMMERCIAL GRADE HARDWARE TYPICAL FINISH - US 26D
- ALL EGRESS DOOR HANDLES - LEVER TYPE AS PER A.D.A.
- \*ALL DOORS THAT SWING INTO EGRESS CORRIDOR MUST COMPLY WITH 1012.14 FLORIDA BUILDING CODE 2001.



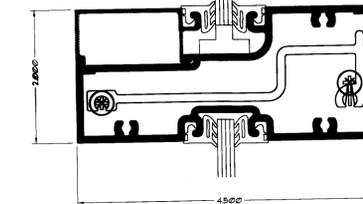
DET. "2"  
INTERIOR DOOR JAMB DET.



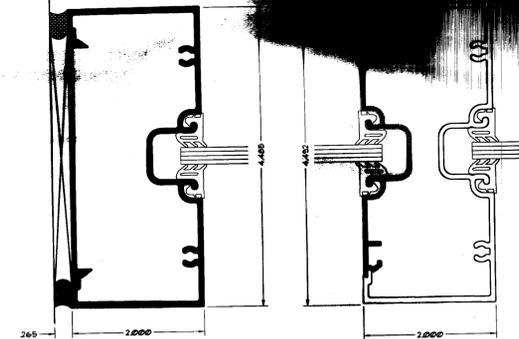
DRYWALL DET.



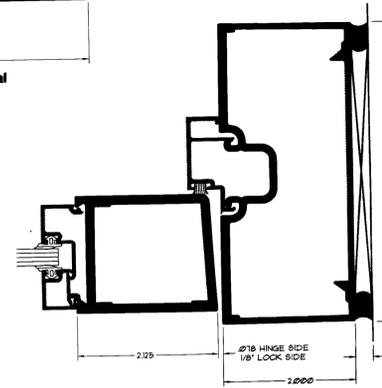
Head Receptor



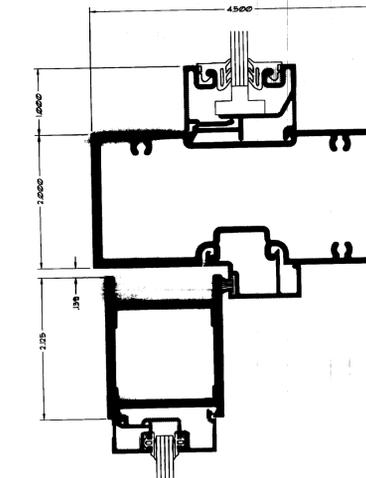
Intermediate Horizontal



Jamb & Intermediate Vertical



Door Jamb - Offset Pivot or Butt Hinge



Transom Bar - Offset Pivot or Butt Hinge

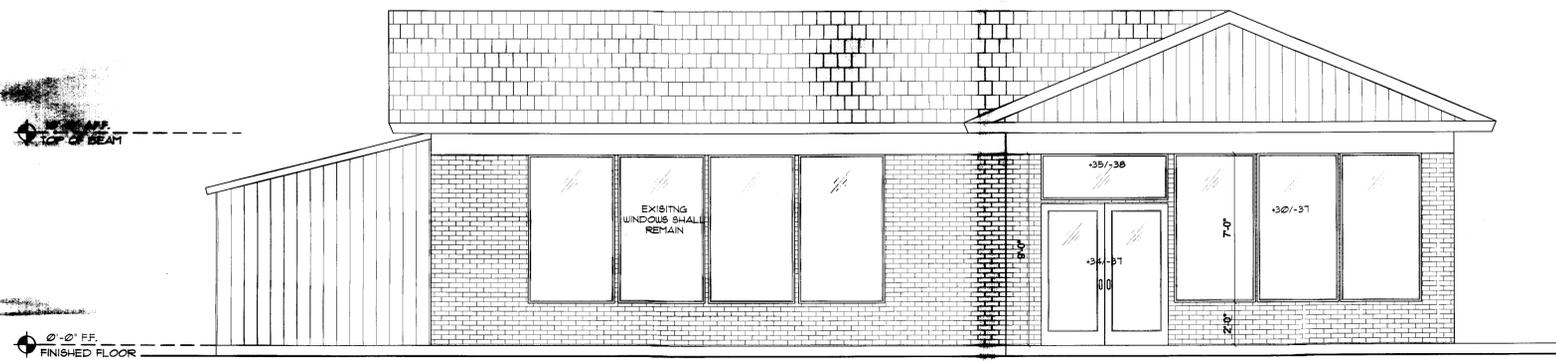
REVISIONS BY:  
SEAL: MARIO DIPIETRO  
EB# 6918  
PE# 32563

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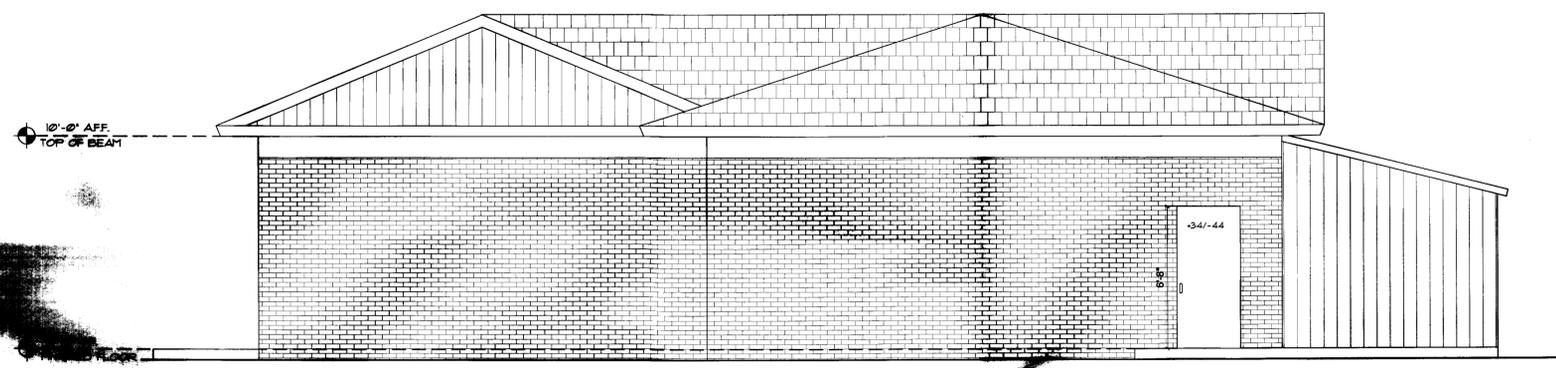
ORNDORF BEACH CIRCLE K  
M.D.P. ENGINEERING INC.  
9531 TRIVOLI PLACE  
BOCA RATON, FL 33434  
EB# 6918  
PE# 32563  
TEL: (954) 243-4595

ORNDORF BEACH CIRCLE K  
530 SOUTH ATLANTIC AVE  
ORNDORF BEACH, FL 32176

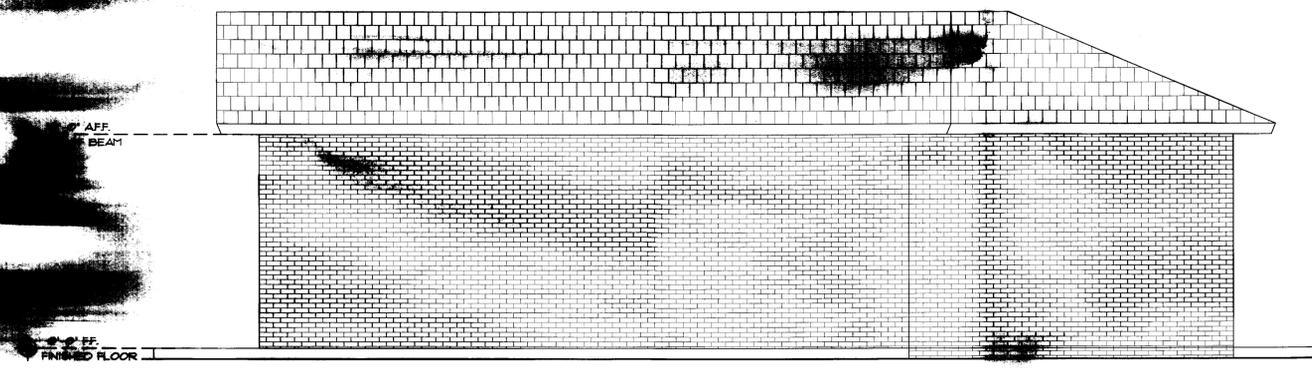
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CHECKED MDP.  
DATE 4-26-11  
SCALE AS NOTED  
JOB NO 11-161  
SHEET  
A=1  
SHEETS



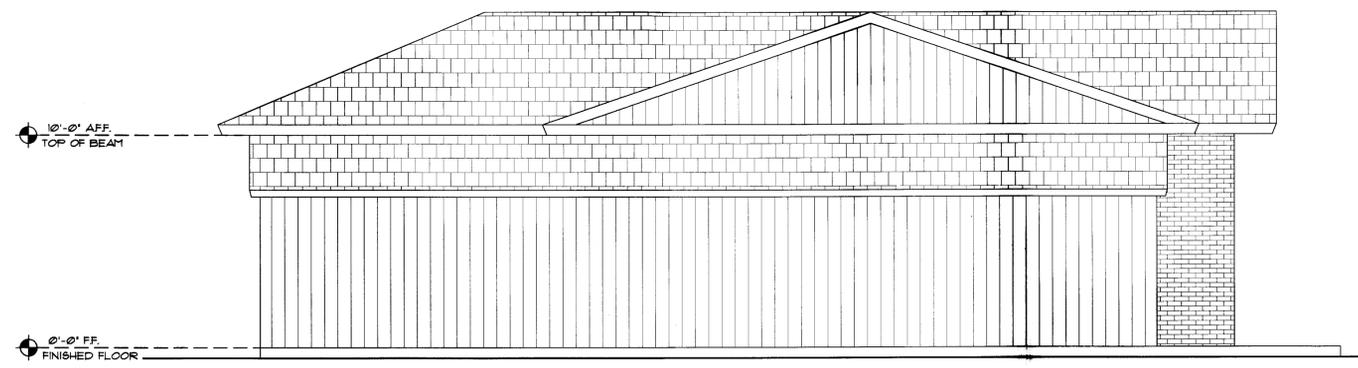
**EAST ELEVATION**  
1/4"=1'-0"



**WEST ELEVATION**  
1/4"=1'-0"



**NORTH ELEVATION**  
1/4"=1'-0"



**SOUTH ELEVATION**  
1/4"=1'-0"

REVISIONS BY:

*[Signature]*

SEAL:  
MARIO DIPIETRO  
EB# 6918  
PE# 32563

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MDP ENGINEERING INC.  
9531 TRIVOLI PLACE  
BOCA RATON, FL 33434  
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PE# 32563  
TEL: (954) 243-4595

ORMOND BEACH CIRCLE K  
530 SOUTH ATLANTIC AVE  
ORMOND BEACH, FL 32176

DRAWN: EMM  
CHECKED: MDP  
DATE: 4-26-11  
SCALE: AS NOTED  
JOB NO: 11-161  
SHEET

A=3  
OF SHEETS

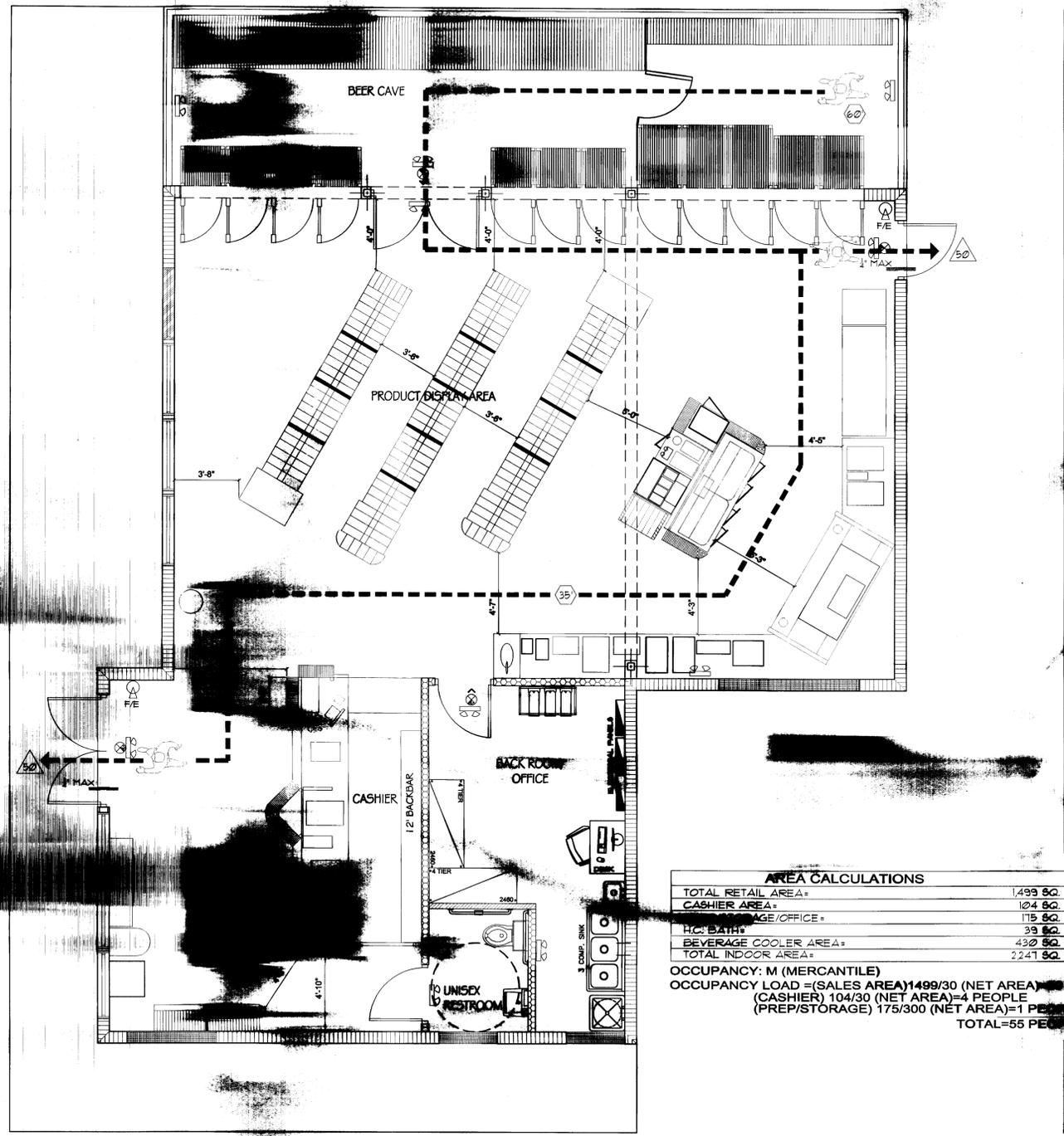
REVISIONS BY:  
 SEAL:  
 MARIO DIPIETRO  
 EB# 6918  
 PE# 32563

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MDP ENGINEERING INC.  
 9531 TRIVOLO PLACE  
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 EB# 6918  
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 TEL: (954) 243-4595

ORMOND BEACH CIRCLE K  
 530 SOUTH ATLANTIC AVE  
 ORMOND BEACH, FL 32176

DRAWN: EMM  
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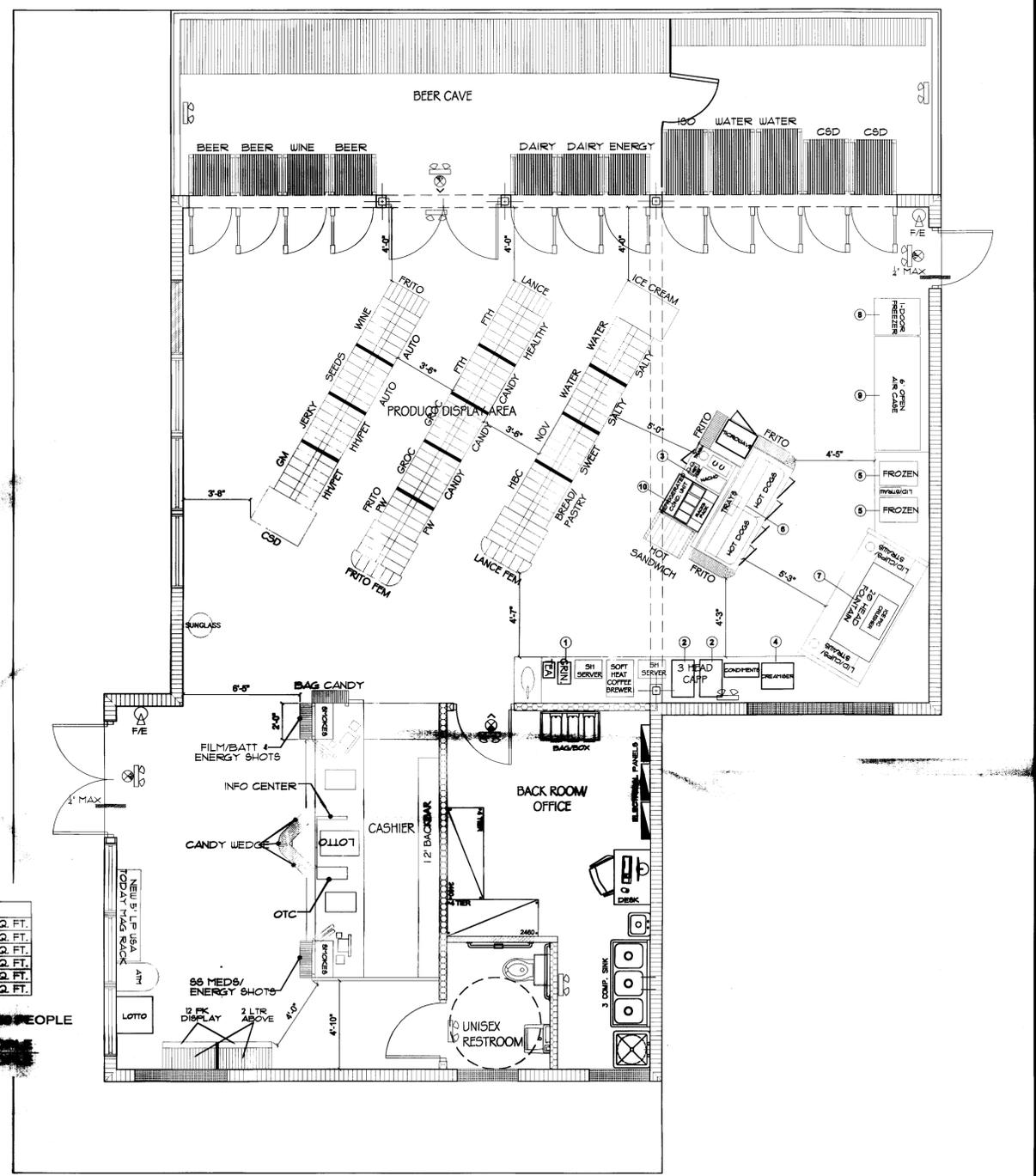


**LIFE SAFETY PLAN**  
 1/4"=1'-0"

**AREA CALCULATIONS**

TOTAL RETAIL AREA*	1,499 SQ. FT.
CASHIER AREA*	124 SQ. FT.
BACK ROOM/OFFICE*	175 SQ. FT.
H.C. BATH*	39 SQ. FT.
BEVERAGE COOLER AREA*	430 SQ. FT.
TOTAL INDOOR AREA*	2,241 SQ. FT.

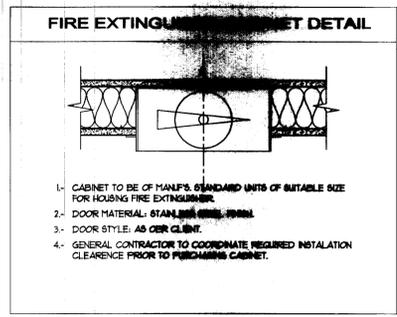
OCCUPANCY: M (MERCANTILE)  
 OCCUPANCY LOAD=(SALES AREA)1499/30 (NET AREA)=50 PEOPLE  
 (CASHIER) 104/30 (NET AREA)=4 PEOPLE  
 (PREP/STORAGE) 175/300 (NET AREA)=1 PEOPLE  
 TOTAL=55 PEOPLE



**EQUIPMENT PLAN**  
 1/4"=1'-0"

**EQUIPMENT SCHEDULE**

MANUFACTURER	DESCRIPTION	MODEL #	DIMENSIONS
1 BUNN	PORTION CONTROL GRINDER	G9HD	25 1/4" X 8 1/2" X 17 1/8" D
2 CURTIS CONCEPT SERIES	G3 PRIMO CAPPUCCINO SYSTEMS	PCGT5	34.5 1/4" X 21 1/2" X 23 1/2" D
3 GEHL'S	NACHO CHILLED CHEESE DISPENSER	EQUIPMENT	9 1/2" X 19 1/2" X 23 1/4" H
4 CREAMISER	FRESH CHILLED CREAM DISPENSER	EQUIPMENT	16 1/2" X 21 1/2" X 29 1/4" H
5 BUNN	2 HOPPER GOURMET ICE SYSTEM	ULTRA-2	31 1/2" X 16 1/2" X 24 1/2" D
6 STAR MANUFACTURING INTERNATIONAL, INC	GRILL MAX ROLLER	50BB	35-3/4" W X 20-5/8" D X 12-1/2" H
7 SERVEND	BEVERAGE DISPENSER WITH ICE CRUSHER	MDH-402	60 1/2" W X 30 3/4" D X 32 1/4" H
8 TRUE FOOD SERVICE EQUIPMENT, INC.	SWING DOOR FREEZER	GDM-23F	27 1/2" X 29 1/2" D X 18 1/2" H
9 TRUE FOOD SERVICE EQUIPMENT, INC.	VERTICAL AIR CURTAINS	TAC-12	12 1/2" X 30 1/2" X 81 1/4" H
10 TRUE FOOD SERVICE EQUIPMENT, INC	FOOD PREP TABLE/SOLID DOOR SANDWICH/SALAD UNIT	TSSU-21-8	27 1/2" L X 30 1/2" D X 36 3/4" H



**LEGEND**

	INDICATES PATH OF MEANS OF EGRESS.
	INDICATES EXIT ACCESS TRAVEL DISTANCE.
	INDICATES EXIT CAPACITY (IN NUMBER OF PERSONS).
	INDICATES FIRE EXTINGUISHER FOR CLASS A/B/C FIRES AS PER NFPA 10 REQUIREMENTS, UNO.
	INDICATES TOP MOUNT, 'EXIT' SIGNAL.
	INDICATES DIRECTIONAL TOP MOUNT, 'EXIT' SIGNAL.
	INDICATES BACK MOUNTED EMERGENCY LIGHT.

**FBC 2007 MIN. TRAVEL DISTANCE, MEANS OF EGRESS AND EXIT REQUIREMENTS**

1. EXIT ACCESS TRAVEL DISTANCE: BASED ON TABLE 103-1.	50' MAX.
2. COMMON PATH OF TRAVEL DISTANCE: BASED ON SECTION 103.3 EXCEPTION NO. 5.	75 FEET REQUIRED
3. NUMBER OF EXITS: BASED ON TABLE 103.1.	TWO(2) REQUIRED TWO(2) PROVIDED
4. CORRIDOR WIDTH: BASED ON SECTION 103.2.	44" REQUIRED 44" MIN. PROVIDED
5. MEANS OF EGRESS CEILING HEIGHT: BASED ON SECTION 103.2.	7'-6" REQUIRED 10'-0" PROVIDED