



A G E N D A

ORMOND BEACH PLANNING BOARD

Regular Meeting

April 8, 2010

7:00 PM

City Commission Chambers
22 South Beach Street
Ormond Beach, FL

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

I. ROLL CALL

II. INVOCATION

III. PLEDGE OF ALLEGIANCE

IV. NOTICE REGARDING ADJOURNMENT

THE PLANNING BOARD WILL NOT HEAR NEW ITEMS AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

V. APPROVAL OF THE MINUTES

- A. February 11, 2010

VI. PLANNING DIRECTOR'S REPORT

VII. PUBLIC HEARINGS

- A. **SE 10-40: Special Exception, Prince of Peace Social Services Building**

This is a request for a Special Exception by submitted by Kimberly A. Buck, P.E., The Alann Engineering Group, on behalf of the property owner, Bishop Thomas G. Wenski, Bishop of the Diocese Orlando, for a Special Exception to construct a 12,387+/- square-foot building and associated site improvements along the Hand Avenue frontage of the Church property. The building will contain the church's thrift shop, social services ministry, chapel, and a general meeting area. The site is located at 600 South Nova Road.

B. SE 10-41: Special Exception, Miro Medical Wall Waiver

This is a request for a Special Exception by Steve Buswell, P.E., of Parker Mynchenberg and Associates, Inc. on behalf of the property owner, Dr. Robert Borer, D.M.D., of Miro Group, LLC, for a wall waiver along the southern and western property boundaries (by the retention pond on the south and 200 Sage Brush Trail on the west). The medical office, consisting of 6,400 square feet, has been approved by the City's Site Plan Review Committee. The Special Exception application is solely to consider the wall waiver request. The project proposes additional landscaping along these property boundaries in lieu of the masonry wall requirement. The site is located at 150 Sage Brush Trail.

VIII. OTHER BUSINESS**IX. MEMBER COMMENTS****X. ADJOURNMENT**

M I N U T E S
ORMOND BEACH PLANNING BOARD
Regular Meeting

February 11, 2010

7:00 PM

City Commission Chambers

22 South Beach Street
Ormond Beach, FL 32174

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE PLANNING BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS PUBLIC MEETING, THAT PERSON WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, SAID PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, INCLUDING THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

PERSONS WITH A DISABILITY, SUCH AS A VISION, HEARING OR SPEECH IMPAIRMENT, OR PERSONS NEEDING OTHER TYPES OF ASSISTANCE, AND WHO WISH TO ATTEND CITY COMMISSION MEETINGS OR ANY OTHER BOARD OR COMMITTEE MEETING MAY CONTACT THE CITY CLERK IN WRITING, OR MAY CALL 677-0311 FOR INFORMATION REGARDING AVAILABLE AIDS AND SERVICES.

I. ROLL CALL

Members Present

John Adams
Patricia Behnke
Al Jorczak
Patrick Opalewski
Rita Press
Doug Wigley

Staff Present

Randal Hayes, City Attorney
Ric Goss, AICP, Planning Director
Steven S. Spraker, AICP, Senior Planner
Becky Weedo, AICP, Senior Planner
Chris Jarrell, Recording Technician

Members Excused

Doug Thomas

II. INVOCATION

Doug Wigley led the invocation.

III. PLEDGE OF ALLEGIANCE

IV. NOTICE REGARDING ADJOURNMENT

NEW ITEMS WILL NOT BE HEARD BY THE PLANNING BOARD AFTER 10:00 PM UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT. ITEMS WHICH HAVE NOT BEEN HEARD BEFORE 10:00 PM MAY BE CONTINUED TO THE FOLLOWING THURSDAY OR TO THE NEXT REGULAR MEETING, AS DETERMINED BY AFFIRMATIVE VOTE OF THE MAJORITY OF THE BOARD MEMBERS PRESENT (PER PLANNING BOARD RULES OF PROCEDURE, SECTION 2.7).

V. APPROVAL OF THE MINUTES

The minutes of the January 14, 2010 Planning Board meeting were unanimously approved, as presented.

VI. PLANNING DIRECTOR'S REPORT

Mr. Goss reserved his comments for the public hearings.

VII. PUBLIC HEARINGS

A. SE 09-26: Land Development Code Amendment – T-1 Zoning District

Mr. Spraker said that the item, presented to the Board in December, 2009, was an amendment to replace the dimensional standards and uses within the T-1 zoning district. He recalled that at that meeting, the Board had expressed concern regarding the hurricane shelter requirement; staff subsequently consulted with the city attorney's office and was advised that the State statute referenced at that meeting did in fact allow the city to apply zoning regulations.

Mr. Spraker also reported that the Chief Building Official had suggested not requiring a shelter, but instead requiring any replacement manufactured/mobile home to have been constructed after 1994, when a change had been implemented in the construction standards. He pointed out that the regulations already required certain windload standards and other requirements to ensure that the mobile homes had the same durability and sustainability as a single-family home. He clarified for Mr. Opalewski that the 1994 threshold standard was meant to be applied to individual mobile/manufactured homes (not the parks) and was for homes that were removed or destroyed, not for existing units.

Mrs. Press questioned the difference between a mobile home and a manufactured home.

Mr. Goss explained that mobile homes were once considered to be units brought in on wheels and set into place with a skirt constructed around it; he said that manufactured housing was actually built in halves, then brought to an existing foundation and assembled. He thought that all modular housing was now referred to as manufactured housing. He confirmed for Mr. Jorczak that there had also been other, additional requirements imposed since 1994, such as those in the Building Code that had been integrated through the inspection process to HUD (Housing and Urban Development), as well as through DCA (Department of Community Affairs). He said that it was only the units constructed before 1994 that would not meet current standards; therefore, any hurricane shelter constructed would be for those residents in units built before 1994.

Mrs. Behnke stated that she was uncomfortable with the use of the term “manufactured after 1994”, saying that every other residential building had to meet safety standards. She thought that including a specific date was discriminatory and said she preferred the language “must meet all safety standards”. She noted that manufactured homes that did not have wind-bearing windows, e.g., could have shutters.

Mr. Spraker said that the Board would request the language be changed, but said that several state officials had advised staff that many communities had used this date in their ordinances because that was when the construction methods had changed.

Mrs. Behnke restated her preference for the “safety standards” language and again said that including the date was a discriminatory phrase referring strictly to one class of residential homes. She said that she would like the “must meet required safety standards” language to be included the section entitled “Previously Existing Manufactured Homes Parks”.

Mrs. Press asked if the couple of vacant properties zoned T-1 would subsequently be classified as R-5 and R-6, since they could be multi-family.

Mr. Spraker explained that the item was solely an amendment to reinstate the T-1 zoning in the Land Development Code (LDC) and that there were no zoning changes involved. He said that T-1 properties were generally less than 10 acres, with uses such as single-family homes (one unit per lot), houses of worship, day care facilities, or they could be a manufactured home community as a conditional use. He said that a zoning needed to include both uses and dimensional standards, but that at present there were no uses identified in the LDC for the T-1 properties; he said that they would not become R-5 or R-6 unless application was made for a zoning change.

Mrs. Press and Mrs. Behnke said that the fact that the T-1 zoning was listed in both Medium-Density and High Density categories was confusing. Mrs. Press questioned the difference between the R-5 and R-6 zoning classifications.

Mr. Spraker said that one district most likely had a higher density. He explained that each property was assigned a land use and a zoning and that the T-1 land use was Medium-High Density Residential, because they were allowed a greater number of units per acre with a manufactured/mobile home park, more so than with the Low Density designation, which allowed perhaps 3-4 units per acre. He referenced the consistency matrix used to make the connection between the land use designations and the zoning categories and said that the amendment would re-establish that connection in the LDC.

Mr. Goss recalled that when staff was reviewing the issue, the Fire Chief had requested that a redevelopment requirement be included for a shelter for mobile home parks so that residents could be sheltered in place in a facility that met the current windload standards. He said that during that process, staff had discovered that manufactured housing built after July 13, 1994 already met windload standards, because of different construction standards than those of manufactured housing units built prior to 1994. He encouraged the Board members to keep the provision in the amendment that would mandate replacement of an individual manufactured house with one built after July 13, 1994. He said that State personnel had advised that even though the older homes had hurricane straps, it was the newer construction standards that made

the difference. He said that he understood Mrs. Behnke's point of view, but that the provision had been included as a compromise to not requiring a hurricane shelter for manufactured home parks. He said that it allowed people to stay in their units during a storm event, rather than having to be evacuated.

Mrs. Behnke asked if the building inspector would not be able to determine if a manufactured home on a specific lot did or did not meet safety standards.

Mr. Goss explained that a mobile or manufactured home constructed before 1994 might meet safety standards, but that because of the different construction standards, simply meeting safety standards did not mean that the home would be able to withstand the windloads. He again encouraged the Board members to retain the date of July 13, 1994, or after.

Mrs. Behnke said that of the 646 homes in her community and a comparable number of homes in The Falls in Aberdeen, not one home had been destroyed during any of the storms, including the pre-1994 units. She said that they did not experience the damage of some stick-built homes, such as water intrusion or mold, only loss of some shingles and screen rooms. She thought it sufficient that they met safety standards, saying that no other residential structure had to meet a specific date requirement.

Mr. Goss said he understood that those communities had suffered no significant damage in the past, but said that the regulations had to look forward to sudden and unforeseen events, such as what occurred with Hurricanes Andrew and Katrina. He reiterated that the recommendation of July 13, 1994 was based on conversations with State officials and the fact that the provision was being used elsewhere in other cities and counties in the state.

Mr. Jorczak noted that insurance companies use a threshold for the determination of the point at which a house is deemed completely destroyed and must be replaced. He felt that the 1994 date was a way to establish a basis for engineering construction.

Mr. Wigley pointed out that a destroyed, stick-built home had to be rebuilt to current standards; he said those owners could not utilize 1994 construction regulations and standards.

Mr. Goss reminded the Board that the building official had indicated that units constructed after 1994 would withstand a storm event the same as a stick-built home, but that units built prior to 1994, were not as well constructed.

Mrs. Press asked Mrs. Behnke if using the term "safety standards" meant that the homes were upgraded to meet windload standards.

Mrs. Behnke replied that shutters were utilized for the wind break; she said they also utilized lateral and vertical tie-downs, which satisfied the insurance companies. Although she understood the rationale for the 1994 date, she restated that meeting safety standards was sufficient.

Mr. Jorczak called for a motion to substitute the "meet safety standards" language in lieu of using the 1994 date. No motion was made.

Mr. Wigley made a motion to adopt LDC 09-26, as proposed by staff.

Mr. Opalewski seconded the motion.

Ms. Jarrell called the vote:

Mrs. Behnke	No
Al Jorzak	Yes
PO	Yes
John Adams	Yes
DW	Yes
RP	Yes

The motion was approved by a 5-1 vote.

B. LDC 10-34: Land Development Code Amendment – Garage Sales

Mr. Spraker said that the item was a request to amend Section 2-50 to allow a third garage sale [annually, at no cost]. He said that the amendment as drafted by staff was at the direction of the City Commission.

Mr. Wigley questioned if allowing a third garage sale was really necessary.

Mr. Opalewski asked if there had been a problem with citizens wanting more than two [per year].

Mr. Spraker reiterated that the Commission had discussed it and subsequently directed staff to bring forward the amendment. He advised the Board that they could vote against the amendment if they did not feel a third garage sale was necessary.

Mr. Wigley made a motion to deny LDC 10-34.

Mrs. Press seconded the motion, which was approved by unanimous vote.

D. LDC 10-51: Land Development Code Amendment – Airport Overlay District Map

Ms. Becky Weedon informed the Board that the item was an administrative amendment to add the overlay district Map 10-2 (Exhibit A) to align with the text description in the Land Development Code (LDC), previously adopted in January, 2006.

Mr. Jorzak explained that the amendment had been prompted by his request to staff to look into the way the existing overlay had been established in order to determine the maximum overlay district that could be achieved within the existing airport boundaries. He said it was essentially an effort to look at the area the city could protect and whether the zone, as defined in the LDC could be changed at a later date. He advised that the reply he had received from Mr. Lichliter was that there had been no fixed formula used and that the area had been defined by the City.

Ms. Weedo stated that the item was a housekeeping issue and recalled that the overlay and map presented had been defined by staff with the help of the Airport Advisory Board (AAB) in 2003. She said that the overlay area developed was a corridor that covered the airport areas and landing strips and had been presented to the Planning Board four times before finally being recommended for approval in November, 2005. She added that the City Commission had voted to adopt the overlay in January, 2006, but that for some reason the map had not been included in that ordinance.

Mr. Jorzak asked what would be involved in changing that dimensional area of the overlay.

Ms. Weedo said that it would have to go back through the AAB and the public participation process. She pointed out that Airport Manager Steve Lichliter had advised by e-mail that the area, as defined, was basically covered, since the airport could only be expanded to the west.

Mr. Jorzak asked how the overlay would affect someone developing within that zone.

Ms. Weedo recalled a county project in 2007, which was proposed within the Airport Overlay Zone and said that the city had advised the county that they were in the overlay zone and they had withdrawn their project. She assured Mrs. Behnke that it was the exact same overlay that had been developed in 2003, and replied to Mrs. Press that there was no increase in the dimensions of the overlay. She explained to Mr. Jorzak that a specific application would first have to be made to develop in that area and that other regulations would also apply; a change in the overlay dimensions would require public hearing, but that such a change would not present problems in amending the land development code.

Mr. Opalewski made a motion to accept LDC 10-51.

Mr. Wigley seconded the motion, which passed by unanimous vote.

VIII. OTHER BUSINESS

Mrs. Press stated that the gas station at Granada Boulevard and Ridgewood Avenue [100 West Granada] was an eyesore and a topic of conversation in the community. She questioned whether there should not be a property maintenance requirement in the Land Development Code (LDC) to prevent such problems in the future. She felt that property owners should have to address graffiti and the unkempt appearance of their empty buildings, at least in the Downtown.

Mr. Goss reported that staff had prepared such an ordinance some time ago; he said it had been reviewed and amended, but that staff had not yet received the go-ahead to take it to public hearing. He advised that he thought there were legal issues involved and that the property had been foreclosed upon.

Mr. Goss responded to Mr. Adams that the ordinance was derived from the ICC's (International Code Council) Maintenance Code, which requires a property owner to maintain his/her property and allows for enforcement action if not done.

Mr. Adams asked why the provision would be controversial.

City Attorney Hayes responded that it was easier to regulate conditions for buildings that had structural issues, rather than aesthetic or maintenance issues, which were more difficult to legally enforce. He agreed to check the status of the ordinance and move it forward.

Mr. Adams stated that at some point, total neglect went beyond aesthetics and asked how the city could be sure that the building was safe and was secured.

City Attorney Hayes said that although he could not speak for the building official, there was no indication that the gas station was structurally unsafe. He felt certain that the Neighborhood Improvement and Building Divisions were aware of the issues and would have dealt with them if it had been necessary.

Mr. Goss thought the delay was most likely because the draft ordinance covered both the aesthetic, as well as the structural issues. He said the ordinance was currently in Legal for review.

Mrs. Press asked if it was possible to prohibit buildings in the Downtown from being boarded up. She also asked if the gasoline sign could be removed after all the years of the property's being vacant. She said the property would not look so bad if it was cleaned up and the graffiti removed.

Mr. Goss said that there was a provision in the current sign ordinance, but that no one could recall the city having implemented it.

City Attorney Hayes explained to the Board that the issues were multi-faceted, including safety and aesthetics, and that some were easier to regulate than others. He said that all communities were struggling with the maintenance of abandoned properties, given the volume of foreclosures that have occurred (and are expected to occur), and because there was often a lender involved with an equitable interest by virtue of the lien on the property. He said that sometimes the property was abandoned and the owner could not be found. He said the question became who to cite and how to do so.

City Attorney Hayes said a pending ordinance that would not be heard by the Planning Board would help the Neighborhood Improvement Division (NID) by requiring the registration of properties once they go into foreclosure and requiring the lender or a property manager to oversee the on-going maintenance of that foreclosed property. He said the ordinance would ensure that and once the *lis pendens* was filed as notice to the public of the foreclosure, the NID personnel would have the necessary information to monitor the property. He pointed out, however, that it presented a staffing situation that would need to be resolved. He said that additional regulations created the need for staff to enforce those regulations, which raised the issue of who would pay for that additional staff.

City Attorney Hayes explained that another issue involved the technicalities of implementing the ordinance. He said a concept being developed was to enter into an agreement to have a company monitor the registration of the properties and feed the information to NID. He thought that the City Commission would most likely adopt the ordinance, but was unsure whether the Commission would want to utilize code enforcement staff or the contractual services of an outside party. He said that the difficulty would be in coordinating the ordinance language with a couple of other

ordinances, including that drafted by Planning staff, so there would be no contradictions or overlap.

Mr. Jorzak asked if anyone had asked the mayor to simply write a nice letter reminding the bank holding the property of their responsibility.

Mr. Goss indicated that Joe Mannarino [Economic Development Director] had done so.

City Attorney Hayes said it was his observation that the lenders were overwhelmed with the number of foreclosures and that the banks did not readily take action on those properties. He cited the Surfside Hotel as an example, saying that there had been very little that the city could do until the case went through the bankruptcy proceedings. He said that the City could begin to enforce the regulations once there was a solvent party and that after attempting to work with the bank to resolve the issues, the City finally filed suit to have the property demolished. He said that once the lawyers for the bank were served with the lawsuit, someone finally contacted the City and they have now been given a little more time to put together a timeline for the demolition. He said that the process moves so slowly because there are so many foreclosed properties, but that the triggering effect has to be a structural issue with the building. He said once that happens, the City can initiate the demolition process; he noted, however, that demolition was very expensive.

City Attorney Hayes summarized that work was being done on the issue from several different angles and that the Board could expect to see something moving forward in the next few weeks.

Mr. Goss advised that staff had decided against recommending that the city purchase the gas station property after Volusia County Environmental told them of issues with the site. He said that there unknown clean-up factors which convinced staff that the city should not touch it.

City Attorney Hayes explained that the property owner who caused the problem, as well as the current property owner, are responsible for cleaning up such properties for any leaching or contamination that might have occurred. He said that the City would not acquire the property without knowing the extent of the problem.

Mr. Jorzak questioned the status of the piping across the Tomoka River off of US 1.

Mr. Goss was unsure, but offered to find out and report back.

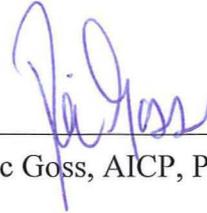
IX. MEMBER COMMENTS

There were no member comments expressed.

X. ADJOURNMENT

The meeting was adjourned 8:55 p.m.

Respectfully submitted,



Ric Goss, AICP, Planning Director

ATTEST:

Al Jorczak, Vice-Chair

Minutes transcribed by Betty Ruger

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: March 31, 2010

SUBJECT: Prince of Peace – Special Exception

APPLICANT: Kimberly A. Buck, P.E., The Alann Engineering Group

NUMBER: 10-00000040

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION:

This is a request for a Special Exception by submitted by Kimberly A. Buck, P.E., The Alann Engineering Group on behalf of the property owner, Bishop Thomas G. Wenski, Bishop of the Diocese Orlando, for a Special Exception to construct a 12,387 +/- square foot building and associated site improvements along the Hand Avenue frontage of the Church property. The building will contain the Church's thrift shop, social services ministry, chapel, and a general meeting area. The site is located at 600 South Nova Road.

BACKGROUND:

The subject property is currently vacant. The Prince of Peace property contains two parcels. A summary of the two parcels are as follows:

Table 1: Site Summary

	Nova Road Parcel	Hand Avenue Parcel
Parcel Number	4242-03-05-0140	4242-03-05-0160
Future Land Use Designation	"Public/Institutional"	"Medium Density Residential"
Zoning Designation	R-3 (Single Family Medium Density)	R-5 (Multi-Family Medium Density)
Current Use	Existing Church of 817 seats and associated site improvements.	Vacant parcel. Existing driveway and stormwater retention located on parcel.

Table 2: Site Aerial: Surrounding Uses

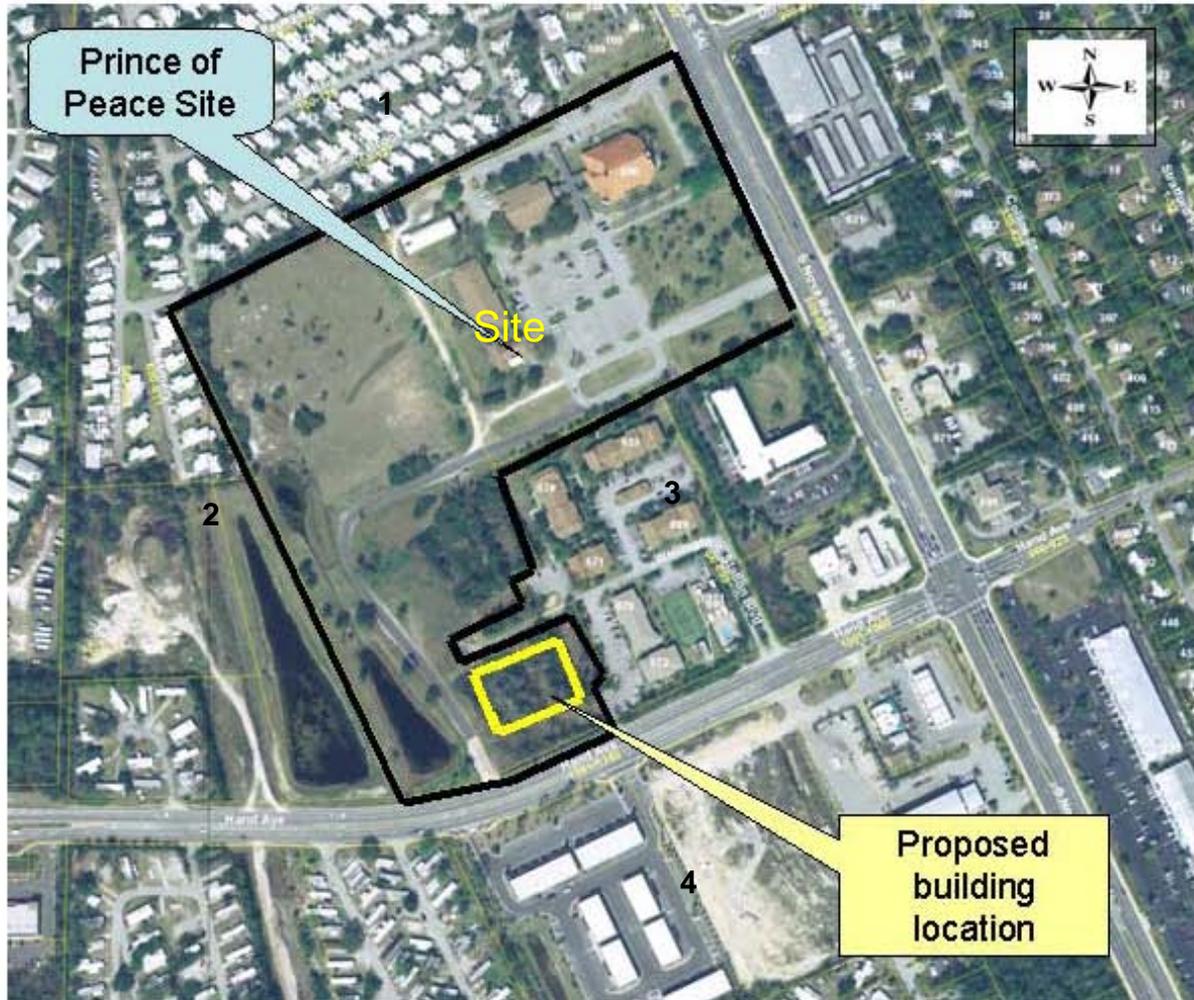


Table 3: Surrounding Uses with Land Use and Zoning Designations:

		Use	Future Land Use Designation	Zoning
North	1	Mobile Home Park	Volusia County UM	MH-1
South	2	Retention Pond	Volusia County Commercial	R-4
East	3	Wellington Station – Multi-Family	“Medium Density Residential”	R-5 (Multi-Family Medium Density)
West	4	Retention Pond	Volusia County UM	MH-1

PROJECT DESCRIPTION:

The Prince of Peace Church has applied to construct a new building on the Hand Avenue frontage of their property. The building proposes the following uses:

Table 4: Proposed Building Uses

Use	Square Footage
Like New Thrift Shop	4,450
Like New Storage and Stock Room	3,472
Social Service Office	1,134
Social Service Pantry	716
Meeting Room	1,123
Lobby/Restrooms	770
Adoration Chapel	117

The thrift store is currently located within the Tomoka Plaza along Nova Road. The thrift store sells a variety of donated merchandise and staffs the store with volunteers. The existing hours of operation are between 9:30 am and 3 pm.

The Church currently operates the social service functions from the existing Church building. At the community meeting it was stated that the existing social service served an average 460 individuals/families per month and provided a variety of assistance including food, clothes, utility payment and prescriptions. The typical operating hours for the social services functions are between 10am and 3pm.

The facility will also include a small adoration chapel and a general purpose meeting room. Church representatives have indicated that the new building represents an opportunity to consolidate the social service functions of the Church as well as provide a small meeting area.

The site plan has been designed to be a self-sufficient use, not necessarily dependant on the parking spaces of the existing Church. Along Hand Avenue, there is a 36' greenbelt landscape buffer. The project has provided 59 parking spaces. Along the eastern buffer with Wellington Station, the site plan proposes a 30' building setback. The site plan proposes a 6 foot PVC vinyl fence along the eastern boundary as well as a required 10' landscape buffer. The project utilities will be provided from the City of Daytona Beach based on the location of existing sewer and water lines within the property boundary. The Church has requested to maintain the two parcels as they exist today and not combine the parcels. Staff has no objection to maintaining the separate parcels based on the project meeting all applicable LDC requirements. Staff would

recommend a condition that any future improvements that tie the two parcels together require the consolidation of the two parcels into one unified parcel.

ANALYSIS:

The project is required to obtain the Special Exception based on the expansion of Church related uses on the residentially zoned property. The project conducted a neighborhood meeting on February 5, 2010. There was approximately 20 individuals in attendance. At the meeting Church officials detailed the proposed project and the use of the proposed building.

The questions that were discussed at the community meeting include:

1. The buffer interface between Wellington Station and the proposed new building. The buffer interface will include a 6' high PVC fence, a 10' landscape buffer, and a 30' building setback from the property line.
2. The use/activity at the northeast corner of the property. The proposed use is storage and there will be no outside activity. The actual unloading will occur at the west side of the building and away from the Wellington Station property.
3. Hours of operation of the thrift shop. The hours will be during normal business hours (9 am to 5pm) and may include Saturday operation. Church representatives stated it would not include evening hours.
4. Why is the Church going through this process and describe the different uses. The square footage of the building uses are listed above. The project is required to obtain the Special Exception based on the expansion of Church related uses on the residentially zoned property.
5. At the meeting, the President of the Wellington Station questioned why each property owner of the Wellington Station was not noticed for the community meeting. The Land Development Code requires notice only to the HomeOwner's Association as shown by the Volusia County Appraiser. The Church officials and staff offered to conduct a second community meeting which the HOA President stated was not necessary. In order to address the concern of the HOA President, staff sent letter notice to each property owner of Wellington Station, where the LDC only requires notification to the HOA, for the Planning Board meeting and will also perform the same notice for the City Commission meeting.

When the application was advertised, staff did receive an e-mail from Marty Opelt (Exhibit A) with several concerns regarding the application including location of gopher turtle(s), noise from festivals, visual concerns, safety and impacts to property values. The project, as any project would be required to do, is required to obtain state permits for gopher turtles if approved for site development. The location of the turtle nests determines the state's course of action. Staff will work with the Church and Police/security officials regarding the impacts of the festivals. The proposed landscape plan shows a 36' greenbelt buffer with a combination of existing and

proposed trees. The buffer interface with Wellington Station will include a 6' high PVC fence, a 10' landscape buffer, and a 30' building setback from the property line that exceeds what is required by the Land Development Code. Finally, the social services functions of the Church exist today and there have not been complaints received by City staff. The Church is trying to make a more efficient use of their facilities and the way they provide services.

Special Exception Criteria

Section 2-56 of the Land Development Code outlines the general criteria for all Special Exception approvals:

- A. Off-street parking loading and service areas shall be provided and located such that there is no adverse impact on adjoining properties, beyond that generally experienced in the district.***

The project provides 59 parking spaces for the Social Services building in addition to the 290 existing parking spaces. The loading space is designed to back into the building which shields the Wellington Station property.

- B. Required yards, screening or buffering, and landscaping shall be consistent with the district in general, the specific needs of the abutting land uses, Chapter 3, Article 1, and other applicable provisions of this Code.***

The project complies with the conditions for accessory uses for Houses of Worship. Along the property boundary a 6 foot high PVC fence is proposed in addition to a 10 foot landscape buffer. The LDC does not require a fence along the interface of the R-5 zoned multifamily complex for Wellington Station. The SPRC requested the fence as a method of providing additional screening.

- C. Size, location, or number of conditional or Special Exceptions in an area shall be limited so as to maintain the overall character of the district in which said conditional or Special Exceptions are located.***

There have been no other Special Exceptions in this area in the recent past and this request is solely for the wall waiver.

- D. Hours of operation may be limited and the City may require additional information on structural design and site arrangement, to assure the compatibility of the development with existing and proposed uses in the surrounding area.***

At the community meeting the hours of operation were identified as typical business hours of 9am to 5pm. If the Board believes that specific hours of operation should be established, this can be added as an amendment.

E. *The Special Exception shall not generate hazardous waste or require use of hazardous materials in its operation without use of City-approved mitigative techniques.*

This Special Exception will not generate hazardous waste.

F. *All development proposed as a Special Exception within or adjacent to a historic district shall be reviewed based on applicable criteria stated herein for residential, commercial or mixed use development and shall also comply with appearance and design guidelines for historic structures.*

The project is not located within, or adjacent to, a historic district and this criteria does not apply to the project development.

G. *Outdoor lighting shall have no spillover onto adjacent property or rights-of-way beyond the building site property line and the lumens shall not exceed two (2) foot-candles at the property line.*

The applicant has provided site lighting on the site plan and has demonstrated that the project will not have lighting impacts beyond their property boundary.

CONCLUSION:

Per Section 1-17.D.4 of the Land Development Code, “The Board may make a recommendation to the City Commission for approval, approval with conditions, or denial. Where the Board recommendation is for denial, the reason(s) for the denial shall be included in the motion. In making its recommendation, the Board shall consider the following findings, which shall be made by the City Commission in conjunction with the issuance of any Development Order subject to public hearing, other than rezonings”:

1. The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.

The proposed development conforms to the standards and requirements of the Land Development Code. The proposed use will not create undue crowding or adversely affect the public health.

2. The proposed development is consistent with the Comprehensive Plan.

The site has a Future Land Use designation of “Medium Density Residential”, which is consistent with the proposed use. Houses of Worship are allowed in medium and high density residential areas such as the project area.

3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened

plants and animal species or species of special concern, wellfields, and individual wells.

There are no wetlands or floodplains within the project boundary. The proposed development will not adversely impact environmentally sensitive lands or natural resources and is an existing developed site. Staff did receive an e-mail regarding the potential location of gopher turtles in this location and all applicable state permits or determinations of no permit shall be provided prior to final SPRC approval.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

The property is zoned for medium density multifamily. This zoning designation allows a variety of uses including a House of Worship and related uses. It is staff's determination that the proposed project is consistent with the development pattern along Hand Avenue. The project has provided the required greenbelt landscaping as well as a buffer along the Wellington Station property. It is staff's determination that the project will not substantially or permanently depreciate the value of surrounding property. There is a general decline in all property value, but the proposed use will not create conditions such as noise, odor, or glare to reduce property value. The thrift store and Church related services are consistent with the mixture of retail (7-11 at corner), office and retail (across Hand Avenue) and medium to high density residential uses, Wellington Station and the mobile home parks along the Hand Avenue corridor.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

Public facilities currently serve the site and adequate capacity exists to serve the proposed use. The water and sewer services shall be provided by the City of Daytona Beach.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The site access is provided with the existing drive aisle that connects the Hand Avenue frontage with the primary Church. The site plan has been reviewed and determined acceptable for traffic movement, including fire and solid waste trucks. Staff has preformed a concurrency review and the project does not negatively impact any roadway corridors.

7. The proposed development is functional in the use of space and aesthetically acceptable.

The proposed building is consistent with the Mediterranean architectural style. The proposed building provides wide sidewalks next to the building as well as an outdoor seating area. The proposed development is functional and complies with the City architectural standards.

8. The proposed development provides for the safety of occupants and visitors.

The overall design indicates safe movement on the site for occupants and visitors.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

The proposed materials and architectural features will not negatively impact the neighborhood or aesthetics of the area. The proposed improvements comply with the Mediterranean architectural style.

10. The testimony provided at public hearings.

This application has not been reviewed in a public forum and no testimony has been provided.

RECOMMENDATION: It is expected that the application will be reviewed by the City Commission on May 18, 2009. It is recommended that the Planning Board **APPROVE** the construction of a 12,387 +/- square foot building and associated site improvements along the Hand Avenue frontage of the Church property for the Church's thrift shop, social services ministry, chapel, and a general meeting area, subject to the outstanding comments of the SPRC:

1. Any future improvements that tie the two parcels together shall require the consolidation of the two parcels into one unified parcel.
2. Provide all applicable outside agency permits prior to the issuance of construction permits.
3. Provide evidence that the proposed fire hydrant(s) are located within 300' of the building as the fire hose would be laid.
4. Please submit an irrigation plan for review as part of your final sign off set.

Exhibit A

Correspondence
Related to Application

Spraker, Steven

From: Marty Opelt [martyopelt@hotmail.com]
Sent: Sunday, March 28, 2010 12:57 PM
To: Spraker, Steven
Subject: 3/23/10 Letter to Owners in Vacinity of 600 S. Nova

Steven Spraker,

I am in receipt of your letter dated March 23, 2010 and thank you for your efforts in gathering input from neighbors of this up and coming project. I am so glad that the Prince of Peace Church has the opportunity and means to make these additions to their campus. However, I do have some concerns that I would like to express in hopes they are given some attention as this project progresses for I will not be able to attend the April 8th meeting.

1.) There is an endangered species of a turtle living where the north east corner of the Prince of Peace Social Services Building is to be. I would like to be assured that the enough attention is given to the proper relocation of this, which I believe is a Gofer,turtle.

2.) Additional noise concerns

a. Prince of Peace Catholic Church is known in this neighborhood for not being so peaceful. The church and its campus is sandwiched between our condominium, a nursing home, and two trailer parks, obviously a heavily populated residential area. This church has an annual Oktoberfest (complete with beer tent) that has our days filled with screaming from rides, music and loud music until after 11:00PM each day it is on. In the past three years the church has also hosted a teen rally that goes on for 24 hours with loud speakers, screaming and music. For a condominium, 2 trailer parks and a nursing home to be exposed to these peace less/sleepless days and nights shows to me that the Prince of Peace Church has a history on not being concerned with its neighbors. I love what the Prince of Peace Church does for the community and its congregation, I am just not so in love with some of their events. With this being said, have any provisions been made for noise levels that could emanated from the daily function of these new church business ventures?

b. Removing the brush that currently grows along Hand Avenue and the area being developed has provided a sound braking barrier for our community. I am concerned about the amount of street noise Wellington Station residents will experience with this growth being eliminated. I do see that there are some trees being left/planted for esthetics but these trees will not be of any use for the weakening of street noise or noise coming from the daily function of the new business/endeavor.

3.) Visual Concerns - With the loading and unloading docks and dumpster storage in plain sight from the Wellington Station Condominium with only a chain link fencing as a barrier is a very big concern for me. With property values already plummeting, a visual change like that could also alter the values of our investments. There is a 6 foot vinyl fencing shown in only a small area of the project. My suggestion would be to continue this vinyl fencing along the parameter of the property line of the Wellington Station Condominium and the Prince of Peace Project. This will also help to address the noise issue as well. If not the continuation of fencing, a solid planting of evergreens to visual block the backside of the project and to also lessen street and business operation noise would be acceptable.

4.) Safety/Property Value - I am also very concerned about Wellington Station's exposure to transient population/homeless people taking advantage of the services this new endeavor will offer. I applaud the church for its work with the needy and I will continue to help the church in those outreach programs, but has any serious thought been given to transportation on and off the site for the people this site is being created for? With out the proper transportation to and from this center, hiding out, hanging out, camping out, etc. could and should be expected.

Thank you for your consideration of these issues. I would appreciate a synopsis of the April meeting if at all possible.

3/31/2010

Most respectfully,

Martha (Marty) Opelt
671 Wellington Station Blvd. #20
Ormond Beach, FL 32174
386-673-9525

The New Busy is not the old busy. Search, chat and e-mail from your inbox. [Get started.](#)

Exhibit B

- Maps and Pictures

N Sunny Brook Cir
Jasmin Dr
Papaya Dr

Life Blvd
Lifetime Ct
Vitality Cir

Division Ave

**Subject
Property**

600

Stratford Pl

Collins St

Wellington Station Blvd

Collins St

Hand Ave

Shady Oaks TP

Pinewood TP

Shangri La Dr

S Nova Rd (S.P. 5A)

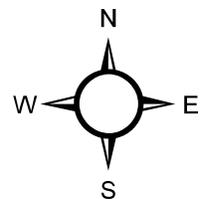
Shangri La Cir

Linda Ave



**Prince of Peace
600 South Nova Road**

The City of Ormond Beach
G.I.S. Department
Prepared by: Eric Dickens 03/23/2010



Site Aerial

679

671

689

678

672

1001
690

Wellington Station Blvd
600-699

Hand Ave
1081-1249



Prince of Peace property line

Existing Wellington Station



Project area

Hand Avenue

Existing driveway to remain

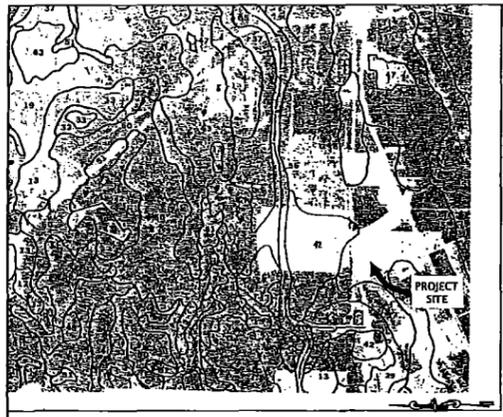


Exhibit C

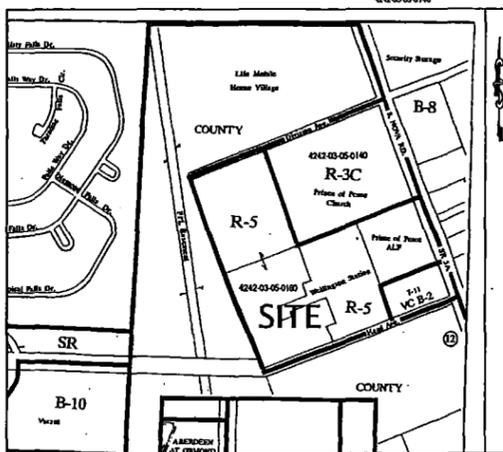
Applicant Provided Information



SOILS MAP



LOCATION MAP



FLOOD ZONE: X, PER FIRM MAP NUMBER 12127C0214H
REVISED FEBRUARY 19, 2003

CONSTRUCTION PLANS PRINCE OF PEACE SOCIAL SERVICES BUILDING

600 SOUTH NOVA ROAD
ORMOND BEACH, FLORIDA

STATEMENT OF INTENT:

CONSTRUCT A 12,387 SQ. FT. BUILDING WITH ASSOCIATED
PARKING AND SITE IMPROVEMENTS

SITE DATA:

ZONING: R-5
PROPOSED USE: THRIFT STORE, MEETING SPACE, OFFICE AND STORAGE
PROPOSED BLDG: 12,387 S.F.

SPECIAL SERVICES BLDG PARKING:		
OFFICE: 1/200 S.F. (INCLUDES OFFICE/LOBBY/RESTROOMS)	2,015 S.F./200 S.F.	10 SPACES
WAREHOUSE/STORAGE: (INCLUDES PANTRY/STORAGE)	1st 1000 S.F. = 2 SPACES, THEN 1 SPACE/750 S.F.	7 SPACES
RETAIL SALES:	1 SP/250 S.F., 4,640 S.F.	19 SPACES
COMMUNITY CENTER: (INCLUDES MEETING ROOM & CHAPEL)	1 SP/200 S.F., 1,347 S.F.	7 SPACES
43 SPACES		

PARKING PROVIDED:	55 STANDARD
SPECIAL SERVICES:	4 HANDICAP
59 TOTAL	

OVERALL SITE PARKING:	71 CHAIRS	746 PEWS	817 TOTAL
MAIN CHURCH:	1 SPACE/3 SEATS		273
PARKING PROVIDED MAIN CAMPUS:	STANDARD SPACES: 276		
	HANDICAP SPACES: 14		
	TOTAL SPACES: 290		

BUILDING SETBACKS:	REQUIRED:	PROVIDED:
FRONT YARD:	100'	162.50'
SIDE YARD:	30'	30'
REAR YARD:	30'	30'

LANDSCAPE BUFFERS:	REQUIRED:	PROVIDED:
FRONTAGE:	36'	36'
REAR:	10'	10' @ LIFT STATION
SIDES:	10'	10'

LAND USE CALCULATIONS:

PRE-DEVELOPMENT CONDITIONS:		
TOTAL AREA:	1,114,700.00 S.F. (25.59 AC.)	100%
EXISTING IMPERVIOUS:	203,861.00 S.F. (4.68 AC.)	18%
EXISTING OPEN SPACE:	910,839.00 S.F. (20.91 AC.)	82%

PROPOSED IMPROVEMENTS:		
PROPOSED IMPERVIOUS:	46,609.00 S.F. (1.07 AC.)	4%
PROPOSED OPEN SPACE:	35,277.00 S.F. (0.81 AC.)	4%

POST-DEVELOPMENT CONDITIONS:		
TOTAL AREA:	1,114,700.00 S.F. (25.59 AC.)	100%
PROPOSED IMPERVIOUS:	250,470.00 S.F. (5.75 AC.)	22%
PROPOSED OPEN SPACE:	864,230.00 S.F. (19.84 AC.)	78%

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ORMOND BEACH'S LAND DEVELOPMENT CODE REQUIREMENTS.
- NO LAND SHALL BE CLEARED, EXCAVATED OR FILLED AND NO STRUCTURE SHALL BE ERRECTED, REPAIRED OR DEMOLISHED WITHOUT PROPER PERMIT(S) AS REQUIRED BY THE CITY OF ORMOND BEACH.
- NOTIFY THE CITY OF ORMOND BEACH'S ENGINEERING DIVISION AT 676-3269 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ANY CONSTRUCTION CHANGES TO APPROVED PLANS SHALL BE SUBMITTED TO THE CITY OF ORMOND BEACH FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- ROAD CONSTRUCTION AND PIPE INSTALLATION COMPACTION AND DENSITY TESTING SHALL CONFORM TO THE CITY OF ORMOND BEACH'S MINIMUM REQUIREMENTS. CERTIFIED COPIES OF TEST REPORTS SHALL BE SUBMITTED TO THE CITY INSPECTOR AND THE CITY'S ENGINEERING DIVISION.
- A PRE-PAVING UTILITY INSPECTION MUST BE REQUESTED AND COMPLETED PRIOR TO THE PAVING OF ALL ROADS, STREETS, AND PARKING AREAS.
- A FINAL INSPECTION, TO BE CONDUCTED BY THE CITY OF ORMOND BEACH, SHALL BE PERFORMED ON ALL CONSTRUCTION. THE DESIGN ENGINEER SHALL NOTIFY THE CITY OF ORMOND BEACH'S ENGINEERING DEPARTMENT (386-676-3269) ONCE AS-BUILT DRAWINGS AND CLEARANCES HAVE BEEN SUBMITTED.
- A COMPLETE SET OF AS-BUILT DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF ORMOND BEACH PRIOR TO REQUESTING A FINAL INSPECTION.
- WASTE MANAGEMENT, INC. HAS BEEN GRANTED THE EXCLUSIVE RIGHT (RESOLUTION 94-183) TO PROVIDE ROLL-OFF SERVICES (CONSTRUCTION/DEMOLITION DEBRIS) WITHIN THE CITY OF ORMOND BEACH. NO OTHER ROLL-OFF CONTRACTORS ARE PERMITTED.

OWNER

PRINCE OF PEACE CHURCH
C/O DIOCESE OF ORLANDO
600 SOUTH NOVA ROAD
ORMOND BEACH, FLORIDA 32174
PH. (386) 672-5272

ENGINEER:

THE ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT RD. STE. 113
ORMOND BEACH, FL 32174
KIMBERLY A. BUCK, P.E.
PH. (386) 673-7640 FAX (386) 673-3927

SURVEYOR:

CONSOLIDATED SURVEY, INC.
533 NORTH NOVA ROAD, SUITE 114
ORMOND BEACH, FLORIDA 32174
PH. (386) 677-6523 FAX (386) 676-2189

LANDSCAPE ARCHITECT:

STERN DESIGN GROUP
224 S. BEACH STREET, SUITE 201
DAYTONA BEACH, FL 32114
JAN STERN
PH. (386) 252-7441 FAX (386) 252-7442

ARCHITECT:

DJ DESIGN, INC.
913 NORTH NOVA RD.
HOLLY HILL, FLORIDA 32117
JIM WACHTEL
PH. (386) 255-6987 FAX (386) 255-6989

SHEET INDEX

SHEET #	TITLE
1.	COVER SHEET
2.	MASTER DEVELOPMENT PLAN
3.	DEMOLITION AND EROSION CONTROL PLAN
4.	SITE LAYOUT PLAN
5.	PAVING, GRADING AND DRAINAGE PLAN
6.	CONSTRUCTION DETAILS
7.	CONSTRUCTION DETAILS
8.	CONSTRUCTION DETAILS
9.	CONSTRUCTION DETAILS
L1	LANDSCAPE PLANTING PLAN
L2	TREE REMOVAL PLAN
L3	LANDSCAPE AND IRRIGATION DETAILS

OUTSIDE AGENCY PERMIT CHECK LIST

IN ORDER TO ENSURE THAT ALL WORK WITHIN THE CITY IS CONSTRUCTED IN ACCORDANCE WITH ALL RELEVANT FEDERAL, STATE AND COUNTY REGULATIONS, IN ADDITION TO THE CITY REGULATIONS, THE APPLICANT SHALL CHECK ALL OUTSIDE AGENCY PERMITS REQUIRED FOR THIS PROJECT ON THE LIST BELOW.

THIS LIST WILL ALSO BE USED BY CITY PERSONNEL TO VERIFY THAT ONE HARD COPY AND ONE PDF OF ALL REQUIRED PERMITS ARE SUBMITTED TO THE PLANNING DEPARTMENT PRIOR TO THE FINAL SITE PLAN REVIEW COMMITTEE (SPRC) SIGNOFF.

- 1 [X] SURVIV ENVIRONMENTAL RESOURCE PERMIT (ERP)
- 2 [] DEP WASTEWATER CONSTRUCTION/CONNECTION PERMIT
- 3 [] DEP WATER CONSTRUCTION/CONNECTION PERMIT
- 4 [] FOOT UTILITY PERMIT
- 5 [] FOOT DRIVEWAY CONNECTION PERMIT
- 6 [] COUNTY USE PERMIT
- 7 [X] OTHER (PLEASE SPECIFY)
CITY OF DAYTONA BEACH-WATER & WASTEWATER CONNECTIONS
DEP - NOTICE OF INTENT

STANDARD CONSTRUCTION DETAIL	INDEX
OUTSIDE AGENCY PERMIT CHECK LIST	M-20
NTS	JAN 2009

LEGAL DESCRIPTION PER COMBINATION OF OFFICIAL RECORDS BOOK 3534, PAGE 0510, BOOK 3877, PAGE 3521, BOOK 5081, PAGE 2254 AND AS STATED BY THE PROPERTY APPRAISER'S OFFICE, ALL OF LOT 14, LOT 15 AND THE EAST 1/2 OF LOT 16, BLOCK 5 HAND TRACT OF THE THOMAS FITCH GRANT, AS RECORDED IN BOOK P, PAGE 1, IN THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS: COMMENCE AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY OF NOVA ROAD AND THE SOUTHERLY LINE OF SAID LOT 14 AS NOW LAIN OUT, BLOCK 5, HANDS PURCHASE OF THE THOMAS FITCH GRANT, AS RECORDED IN DEED BOOK P, PAGE 1, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE S64°37'09"W, A DISTANCE OF 758.07 FEET; THENCE S25°20'37"E, A DISTANCE OF 232.58 FEET; THENCE S64°38'26"W, A DISTANCE OF 52.87 FEET; THENCE S25°09'16"E, A DISTANCE OF 79.07 FEET; THENCE S64°46'20"W, A DISTANCE OF 197.58 FEET; THENCE S25°23'34"E, A DISTANCE OF 69.34 FEET; THENCE N64°32'10"E, A DISTANCE OF 44.87 FEET; THENCE N25°17'20"W, A DISTANCE OF 29.90 FEET; THENCE N64°39'03"E, A DISTANCE OF 231.64 FEET; THENCE S25°20'23"E, A DISTANCE OF 190.34 FEET; THENCE S64°39'25"W, A DISTANCE OF 42.92 FEET; THENCE S25°35'50"E, A DISTANCE OF 62.58 FEET; THENCE S64°49'23"W, A DISTANCE OF 252.22 FEET TO THE POINT OF CURVE OF A NON TANGENT CURVE TO THE RIGHT, HAVING A RADIAL DISTANCE OF 1,095.92 FEET; A CHORD BEARING OF S75°33'44"W, AND A CHORD DISTANCE OF 228.46 FEET; THENCE WESTERLY ALONG THE ARC, THROUGH A CENTRAL ANGLE OF 11°56'39", A DISTANCE OF 228.46 FEET; THENCE N25°39'27"W, A DISTANCE OF 1,234.84 FEET; THENCE N65°24'45"E, A DISTANCE OF 499.86 FEET; THENCE N65°28'12"E, A DISTANCE OF 428.56 FEET; THENCE N25°45'14"W, A DISTANCE OF 25.01 FEET; THENCE N65°24'31"E, A DISTANCE OF 178.76 FEET; THENCE N25°37'54"W, A DISTANCE OF 20.00 FEET; THENCE N64°37'46"E, A DISTANCE OF 150.00 FEET; THENCE S25°35'59"E, A DISTANCE OF 685.04 FEET TO THE POINT OF BEGINNING, CONTAINING 25.59 ACRES, MORE OR LESS.

DESIGNER
RES

DRAWN BY
RES

FILE
01 COVER SHEET.DWG

PROJECT
0911-1

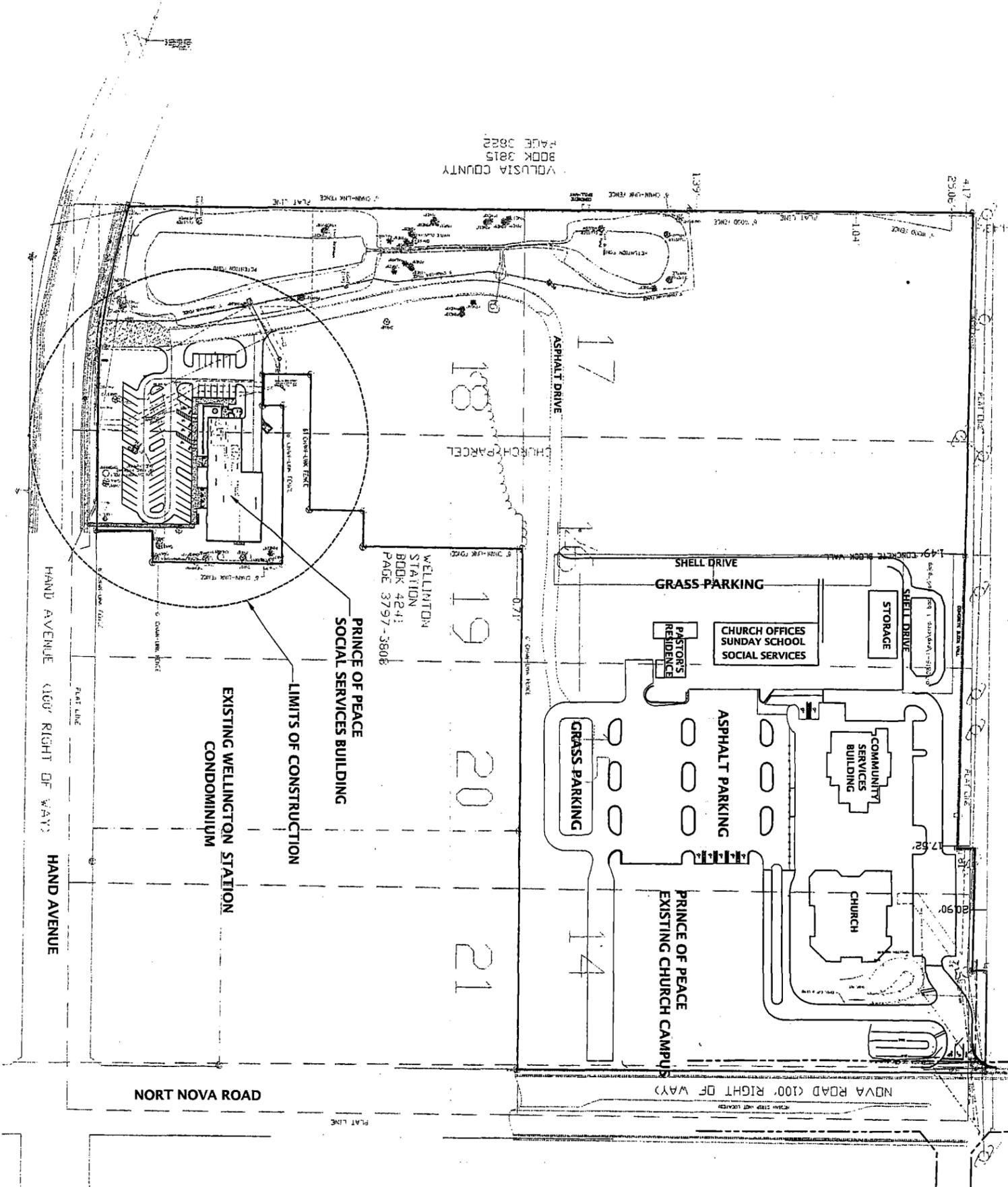
DATE
08/2009

SCALE
N/A

SHEET
1 OF 9

PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
COVER SHEET

ALANN ENGINEERING
GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD STE. 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640 FAX: (386) 673-3927



VOLUSIA COUNTY
BOOK 3815
PAGE 3822

WELLINGTON
STATION
BOOK 4241
PAGE 3797-3808

HAND AVENUE (100' RIGHT OF WAY)
HAND AVENUE

NORT NOVA ROAD

NOVA ROAD (100' RIGHT OF WAY)

EXISTING WELLINGTON STATION
CONDOMINIUM

PRINCE OF PEACE
SOCIAL SERVICES BUILDING

PRINCE OF PEACE
EXISTING CHURCH CAMPUS

GRASS PARKING

GRASS PARKING

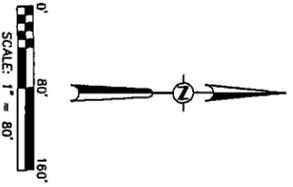
STORAGE

CHURCH OFFICES
SUNDAY SCHOOL
SOCIAL SERVICES

PASTOR'S
RESIDENCE

COMMUNITY
SERVICES
BUILDING

CHURCH

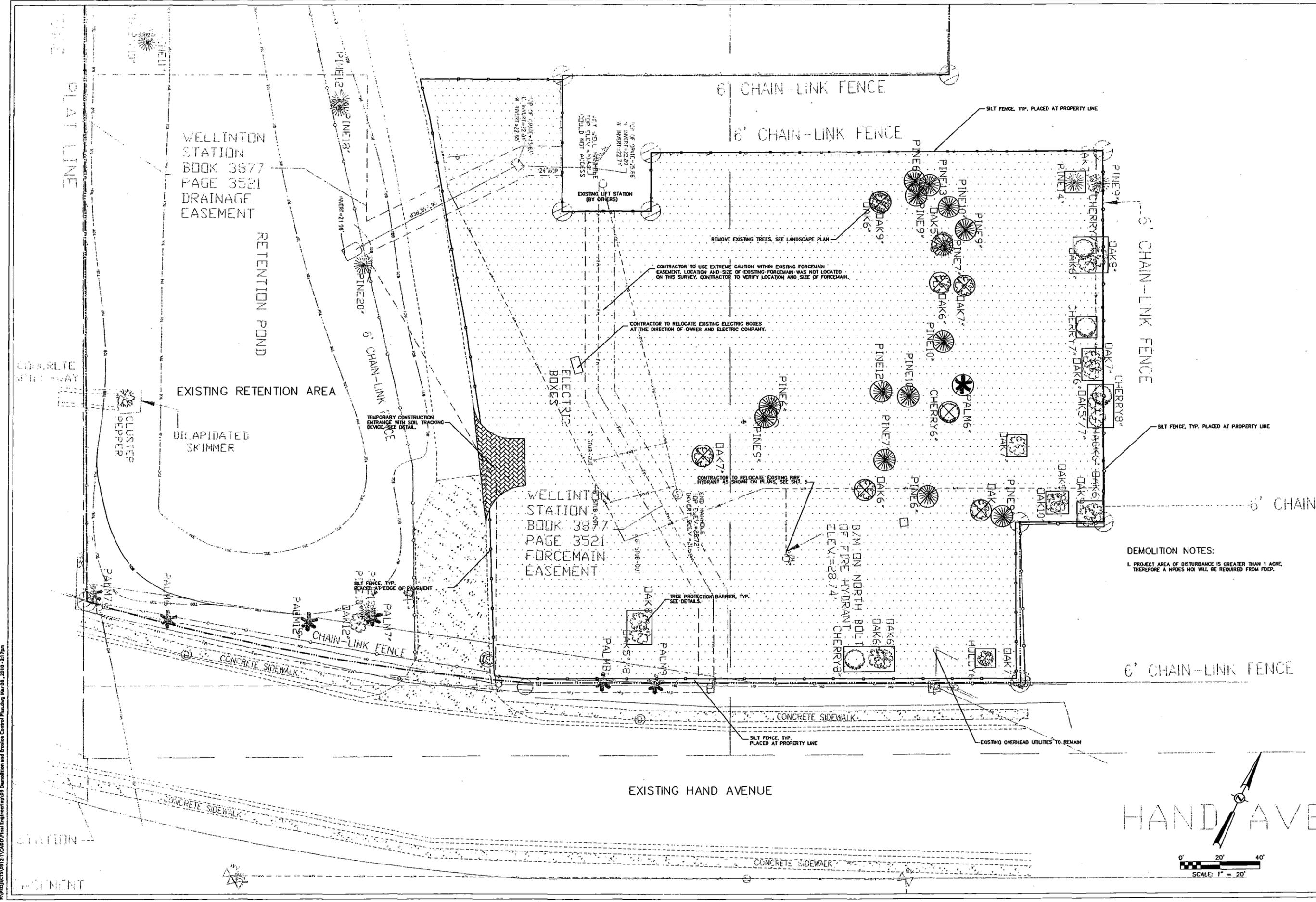


DESIGNER RES	
DRAWN BY	
FILE	
PROJECT 0911-1	
DATE 09/2009	
SCALE	

NO.	DATE	REVISION	BY

PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
MASTER DEVELOPMENT PLAN

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE No. EB5479
 880 AIRPORT ROAD STE. 113 ORMOND BEACH, FL 32174
 TEL: (386)673-7640 FAX: (386)673-3927



WELLINGTON STATION
BOOK 3877
PAGE 3521
DRAINAGE
EASEMENT

EXISTING RETENTION AREA
DILAPIDATED
SKIMMER

WELLINGTON
STATION
BOOK 3877
PAGE 3521
FORCEMAIN
EASEMENT

6' CHAIN-LINK FENCE

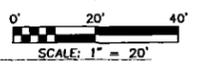
6' CHAIN-LINK FENCE

6' CHAIN-LINK FENCE

DEMOLITION NOTES:
1. PROJECT AREA OF DISTURBANCE IS GREATER THAN 1 ACRE,
THEREFORE A NPDES NOI WILL BE REQUIRED FROM FDEP.

EXISTING HAND AVENUE

HAND AVE



ALANN ENGINEERING
GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. BR479
880 AIRPORT ROAD STE. 113 ORMOND BEACH, FL 32174
TEL: (386) 673-7640 FAX: (386) 673-3927

**PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
DEMOLITION AND EROSION CONTROL PLAN**

NO.	DATE	REVISION	BY
1	2/2/10	CITY COMMENTS	RES

DESIGNER	RES
DRAWN BY	RES
FILE	
PROJECT	0911-1
DATE	08/2009
SCALE	1" = 20'

PROJECT: 0911-1 (CADD) Final Engineering: 08 Demolition and Erosion Control Plan: 08-2010-3172.mxd

SIGN LEGEND

NO.	TEXT OR SYMBOL	SIZE
R1-1	STOP	30"x30"
R3-1	NO RIGHT TURN	24"x24"
R5-1	DO NOT ENTER	30"x30"

ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

STRIPING NOTES

ALL CURB RADI SHALL BE 3 FEET, UNLESS OTHERWISE STATED.

TYPICAL PARKING SPACE SHALL BE STRIPED WITH A 4" WHITE STRIPE.

ALL STOP BARS TO BE 24" WHITE THERMOPLASTIC PAINT. SEE DETAILS FOR HANDICAP PARKING.

CITY OF DAYTONA BEACH SHALL PROVIDE WATER AND SANITARY SEWER SERVICE.

ALLAN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. BR5479
880 AIRPORT ROAD STE. 113 ORMOND BEACH, FL 32174
TEL: (407) 753-7610 FAX: (407) 753-3927

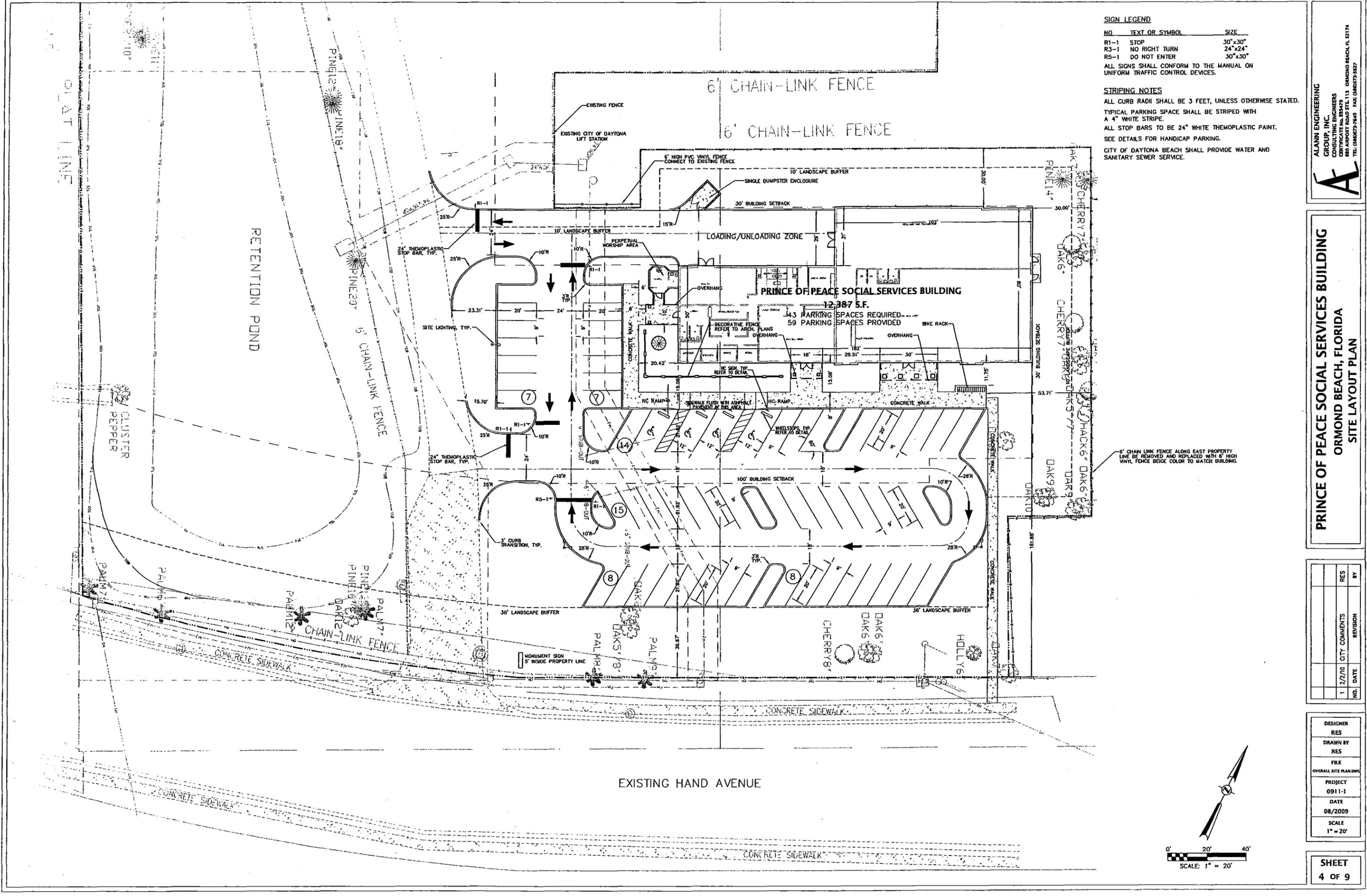


**PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
SITE LAYOUT PLAN**

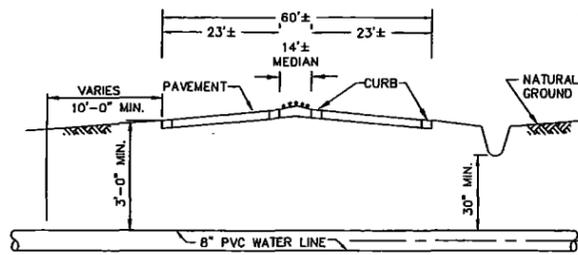
NO.	DATE	CITY COMMENTS	REVISION	BY
1	2/2/10			RES

DESIGNER	RES
DRAWN BY	RES
FILE	OVERALL SITE PLANNING
PROJECT	0911-1
DATE	08/2009
SCALE	1" = 20'

**SHEET
4 OF 9**

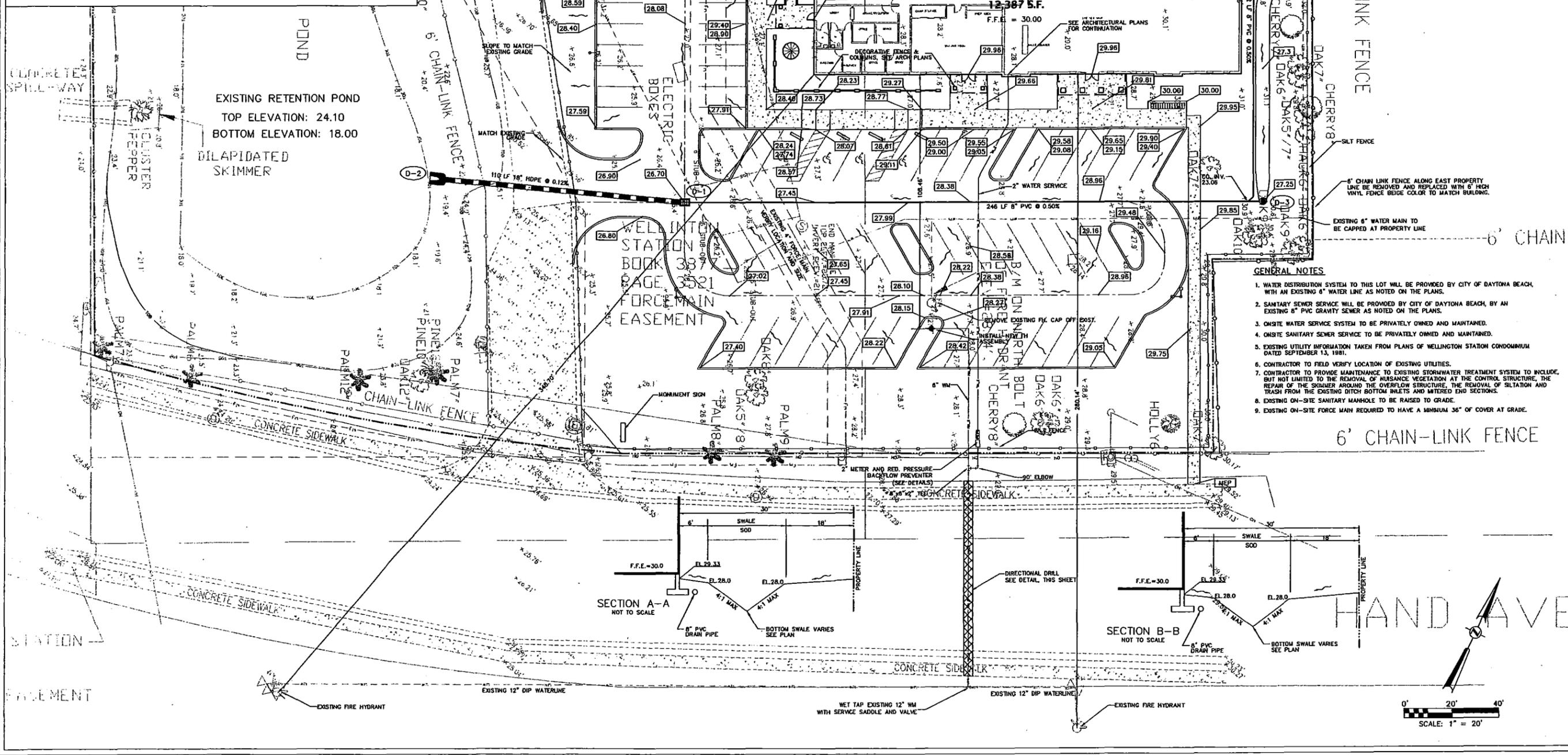


PROJECT: 0911-1; CAD: Final Engineering; Site Layout Planning; 08/08/2010 - 3:17pm



- NOTES**
- MINIMUM COVER FOR TOP OF PIPE ON ALL CITY STREETS SHALL BE 3.0'
 - CONTRACTOR IS TO OBTAIN CLEARANCE FROM THE CITY OF ORMOND BCH. ENGINEERING DIVISION, FDOT & VOLUSIA COUNTY PRIOR TO PERFORMING THE DIRECTIONAL BORE.
 - TRACING WIRE TO BE ADHERED TO 8" WM DIRECTIONAL BORE.
 - BACK REAM SIZE 8"

DIRECTIONAL BORE DETAIL

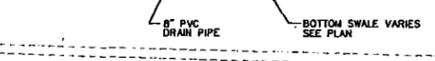


- STORM STRUCTURES**
- D-1 FOOT TYPE C INLET
FDOT INDEX 232, 200
RIM ELEV. = 28.70
INVERT ELEV. = 21.73(W)
INVERT ELEV. = 21.83(E)
 - D-2 FOOT TYPE MES
FDOT INDEX 273
TOP = 27.25
INV. ELEV. = 23.08(W)
 - D-3 HYDROPLAST TYPE YARD DRAIN
TOP = 27.25
INV. ELEV. = 23.08(W)

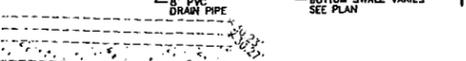
GENERAL NOTES

- WATER DISTRIBUTION SYSTEM TO THIS LOT WILL BE PROVIDED BY CITY OF DAYTONA BEACH, WITH AN EXISTING 6" WATER LINE AS NOTED ON THE PLANS.
- SANITARY SEWER SERVICE WILL BE PROVIDED BY CITY OF DAYTONA BEACH, BY AN EXISTING 6" PVC GRAVITY SEWER AS NOTED ON THE PLANS.
- ON-SITE WATER SERVICE SYSTEM TO BE PRIVATELY OWNED AND MAINTAINED.
- ON-SITE SANITARY SEWER SERVICE TO BE PRIVATELY OWNED AND MAINTAINED.
- EXISTING UTILITY INFORMATION TAKEN FROM PLANS OF WELLINGTON STATION CONDOMINIUM DATED SEPTEMBER 13, 1981.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO PROVIDE MAINTENANCE TO EXISTING STORMWATER TREATMENT SYSTEM TO INCLUDE, BUT NOT LIMITED TO THE REMOVAL OF NUISANCE VEGETATION AT THE CONTROL STRUCTURE, THE REPAIR OF THE SKIMMER AROUND THE OVERFLOW STRUCTURE, THE REMOVAL OF SILTATION AND TRASH FROM THE EXISTING DITCH BOTTOM INLETS AND INTERED END SECTIONS.
- EXISTING ON-SITE SANITARY MANHOLE TO BE RAISED TO GRADE.
- EXISTING ON-SITE FORCE MAIN REQUIRED TO HAVE A MINIMUM 36" OF COVER AT GRADE.

SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

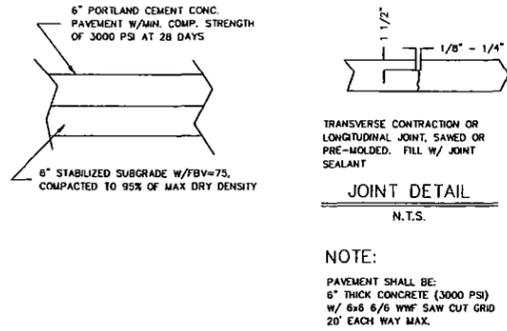


ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. BS479
880 AIRPORT ROAD STE. 119 ORMOND BEACH, FL 32174
TEL: (386) 975-7640 FAX: (386) 975-3827

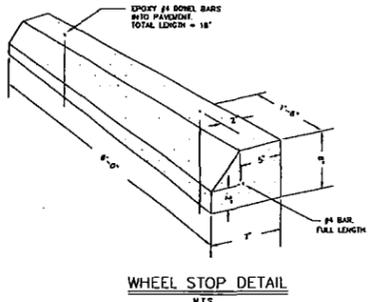
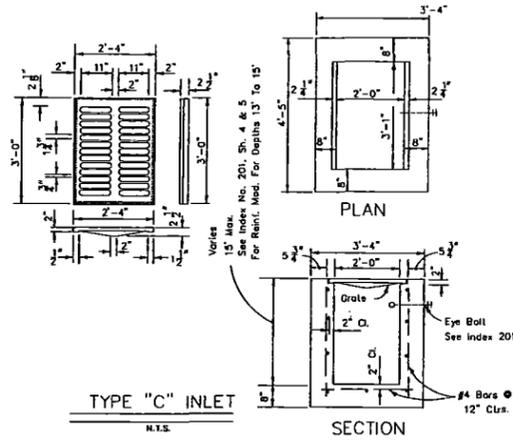
PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
PAVING, GRADING AND DRAINAGE PLAN

NO.	DATE	CITY COMMENTS	REVISION	BY
1	2/2/10			

DESIGNER	RES
DRAWN BY	RES
FILE	OVERALL SITE PLAN/PAVING
PROJECT	0911-1
DATE	08/2009
SCALE	1" = 20'



CONCRETE PAVEMENT DETAIL
N.T.S.



STANDARD CONSTRUCTION DETAIL
STANDARD CURB CONSTRUCTION
N.T.S.

INDEX
R-4
JAN 2009

STANDARD CONSTRUCTION DETAIL
STANDARD PAVING DETAIL
N.T.S.

INDEX
R-5
JAN 2009

STANDARD CONSTRUCTION DETAIL
SEEDING AND MULCHING
N.T.S.

INDEX
R-7
JAN 2009

A. SCOPE OF WORK - THE WORK IN THIS SECTION CONSISTS OF FURNISHING AND COMPLETELY INSTALLING SEED AND MULCH OVER THE LIMITS CALLED FOR ON THE CONSTRUCTION DRAWINGS.

B. MATERIALS - GRASS SEED SHALL BE A MIXTURE OF:
PENSACOLA BAMA (50% SCARIFIED SEED) 80 LBS/ACRE
HILLED BERMUDA 20 LBS/ACRE
BROWN TOP MILLET 30 LBS/ACRE

IN THE FALL AND WINTER MONTHS (OCT. THRU FEB.) AND WITH THE APPROVAL OF THE CITY, ANNUAL RYE GRASS SHALL BE SUBSTITUTED IN EQUAL AMOUNTS FOR THE BROWN TOP MILLET. SEED SHALL BE PROVIDED BY A SEED COMPANY TO THE PROPORTIONS DESCRIBED ABOVE, WITH CERTIFICATION FROM THE SUPPLIER PROVIDED TO THE CITY, PRIOR TO USE. MULCH USED SHALL BE STRAW OR HAY CONSISTING OF OATS, RYE OR WHEAT STRAW OF PANOLA, PENNA. COASTAL BERMUDA OR BAMA GRASS HAY WHICH SHALL BE FREE FROM UNDESIRABLE WEED AND OTHER UNDESIRABLE GRASS.

C. METHODS - GRASSING SHALL BE DONE IMMEDIATELY UPON COMPLETION OF THE FINE GRADING OPERATION. HOWEVER, NO SEEDING SHALL BE DONE WHEN THE GROUND IS FROZEN OR UNUSUALLY WET. THE RATE OF SPREAD FOR THE SEED MATERIAL SHALL BE ONE HUNDRED AND THIRTY (130) POUNDS PER ACRE, APPROXIMATELY TWO INCHES (2") LOOSE THICKNESS, OF MULCH MATERIAL SHALL BE APPLIED UNIFORMALLY OVER THE GRASSING AREAS (APPROXIMATELY 1 1/2 BALES PER 1000 SQUARE FEET). THE MULCH MATERIAL SHALL BE CUT INTO THE SOIL WITH A DISC HARROW OR OTHERWISE ANCHORED DOWN.

D. FERTILIZER

1. ANALYSIS OF SOILS SHALL BE OBTAINED BY SUBMITTAL OF SAMPLES TO VOLusia COUNTY AGRICULTURAL DEPARTMENT (PHONE: 258-7000). ALL APPLICATION RATES WILL BE BASED ON THIS REPORT. SUBMIT A COPY OF THIS REPORT TO THE CITY PRIOR TO COMMENCING ANY SOIL MODIFICATION.

2. THE FERTILIZER SHALL BE A COMMERCIAL GRANULAR TYPE WITH A CHEMICAL DESIGNATION AS RECOMMENDED IN THE SOIL ANALYSIS REPORT.

3. THE NUMERICAL DESIGNATIONS FOR FERTILIZER INDICATE THE AMOUNT PERCENTAGES (RESPECTIVELY) OF (1) TOTAL NITROGEN, (2) AVAILABLE PHOSPHORIC ACID AND (3) WATER SOLUBLE POTASH CONTAINED IN THE FERTILIZER.

a) AT LEAST 50 PERCENT (50%) OF THE PHOSPHORIC ACID SHALL BE FROM A NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE WHICH WILL PROVIDE A MINIMUM OF TWO UNITS OF SULFUR.

b) THE AMOUNT OF SULFUR SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO EACH BAG OR CONTAINER.

4. COMMERCIAL FERTILIZERS SHALL COMPLY WITH THE STATE FERTILIZER LAWS.

5. FERTILIZER MAY, AT THE DISCRETION OF THE ENGINEER/ARCHITECT, UPON THE PRESENTATION BY THE MANUFACTURER OF SATISFACTORY FACTORY EVIDENCE OF ITS FEASIBILITY, BE APPLIED IN LIQUID FORM.

STANDARD CONSTRUCTION DETAIL
PAVEMENT CUT AND PATCH
N.T.S.

INDEX
R-8
JAN 2009

NOTES:

- WHILE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PAVEMENT APPROVED METHOD OF CONSTRUCTION.
- SHEDDING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
- NEW SURFACING MATERIALS SHALL BE CONSISTENT WITH EXISTING AND SHALL HAVE LAYERS & FEATHERED JOINTS (1 1/2" MIN. MAX.)
- COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-190. PROXIMAL COMPACTION TEST REPORTS TO CITY INSPECTOR.
- MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL.
- INSTALL METALLIC TAPE OVER FULL LENGTH OF PIPE.
- DO NOT REMOVE (8") OF HIGH EARLY-STRENGTH CONCRETE MAY BE SUBSTITUTED FOR LIMEROCK UPON APPROVAL BY CITY ENGINEER.

ROADWAY COMPACTION AND DENSITY TESTING REQUIREMENTS

ITEM	TEST	FREQUENCY	STANDARD	TEST METHOD
STABILIZED SUBGRADE (TOP OF SUBGRADE DOWN 1 FOOT)	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922
STABILIZED SUBGRADE	LABORATORY DENSITY (MOISTURE OPTIMUM)	ONE (1) TEST/200 LF	FBV = 75	ASTM D-2922 D-2922
STABILIZED SUBGRADE	LABORATORY DENSITY (MOISTURE OPTIMUM)	ONE (1) TEST/200 LF	FBV = 40	ASTM D-2922 D-2922
LIMEROCK BASE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922
LIMEROCK BASE	LABORATORY DENSITY (MOISTURE OPTIMUM)	ONE (1) TEST/200 LF	FBV = 100	ASTM D-2922 D-2922
CONCRETE DRIVEWAY	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922
CONCRETE DRIVEWAY	LABORATORY DENSITY (MOISTURE OPTIMUM)	ONE (1) TEST/200 LF	FBV = 100	ASTM D-2922 D-2922
ASPHALT	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922
ASPHALT	LABORATORY DENSITY (MOISTURE OPTIMUM)	ONE (1) TEST/200 LF	FBV = 100	ASTM D-2922 D-2922
SOIL OF OPEN MOISTURE/DENSITY	PROCTOR TEST	ONE (1) PER SOIL OR BASE TYPE	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922
CLAY SUBGRADE	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922
CLAY SUBGRADE	LABORATORY DENSITY (MOISTURE OPTIMUM)	ONE (1) TEST/200 LF	FBV = 40	ASTM D-2922 D-2922

STANDARD CONSTRUCTION DETAIL
TECHNICAL SPECIFICATIONS FOR TESTING REQUIREMENTS
N.T.S.

INDEX
R-6A
JAN 2009

PIPED UTILITY INSTALLATION REQUIREMENTS

ITEM	TEST	FREQUENCY	STANDARD	TEST METHOD
PIPE TRENCH SUBGRADE (IF SPECIFIED)	IN-PLACE DENSITY	ONE (1) TEST/200 LF	SEE MODIFIED PROCTOR	ASTM D-2922 D-2922
PAVED BACKFILL IN PAVED AREAS	IN-PLACE DENSITY	ONE (1) TEST/200 LF PER ONE (1) FOOT VERTICAL LEFT OF FALL	SEE MODIFIED PROCTOR	ASTM D-2922 D-2922
PIPED BACKFILL IN DITCH AREAS	IN-PLACE DENSITY	ONE (1) TEST/200 LF PER ONE (1) FOOT VERTICAL LEFT OF FALL	SEE MODIFIED PROCTOR	ASTM D-2922 D-2922
SOIL OF OPEN MOISTURE/DENSITY	PROCTOR TEST	ONE (1) PER SOIL OR BASE TYPE	SEE MODIFIED PROCTOR (AASHTO T-99 OR AASHTO T-155)	ASTM D-2922 D-2922

STANDARD CONSTRUCTION DETAIL
TECHNICAL SPECIFICATIONS FOR TESTING REQUIREMENTS
N.T.S.

INDEX
R-6B
JAN 2009

STANDARD CONSTRUCTION DETAIL
STORM DRAINAGE CONSTRUCTION NOTES
N.T.S.

INDEX
ST-1A
JAN 2009

- CONSTRUCTION STANDARDS FOR ALL DRAINAGE SYSTEM COMPONENTS SHALL REFER TO THE LATEST EDITION OF THE TDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND AS SPECIFIED HEREIN.
- ALL STORMWATER PIPES AND STRUCTURES SHALL BE INSTALLED ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COALUM, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW THE COMPONENT BEING INSTALLED.
- ALL PIPES AND STRUCTURES SHALL BE PLACED TRUE TO LINES AND GRADES AS DEPICTED ON THE APPROVED PLANS.
- ALL PIPE JOINTS SHALL BE PROPERLY HONED AND FILTER FABRIC LINED USING A METHOD TO HOLD THE FABRIC IN PLACE DURING BACKFILL.
- BACKFILL AND COMPACT TO THE SPRING-LINE (CENTER OF PIPE) ELEVATION AND REQUEST CITY INSPECTION AND APPROVAL BEFORE CONTINUING.
- ALL WORK COVERED WITHOUT CITY INSPECTION WILL BE REQUIRED TO BE EXCAVATED AND INSPECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN GRANULAR MATERIAL IN MAX 6" LIFTS WITH A MINIMUM COMPACTION OF 98 PERCENT (AASHTO-T100) IN PAVED AREAS AND 95 PERCENT (AASHTO-T100) IN UNPAVED AREAS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS AT POINTS 1' ABOVE THE PIPE AND AT A MAX. 1' VERTICAL INTERVALS TO FINISH GRADE, AT A MAXIMUM SPACING OF 100 FEET, AND TO FURNISH COPIES OF TEST REPORTS PROMPTLY TO THE CITY'S INSPECTOR.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE (RCP), HIGH DENSITY POLYETHYLENE (HDPE), POLYETHYLENE GLYCOLIDE (PEGC) OR ALUMINUM CORRUGATED METAL PIPE (ACMP), AS SHOWN ON THE PLANS.
- STORM DRAINAGE PIPES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE A MINIMUM OF FIFTEEN (15) INCH DIAMETER OR EQUIVALENT.
- STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION.
- STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF.
- WET DETENTION PONDS SHALL BE EIGHT (8) FEET MINIMUM TO TWELVE (12) FEET MAXIMUM DEPTH BELOW THE DESIGN LOW OR NORMAL WATER STAGE.
- MAXIMUM DISTANCES BETWEEN INLETS AND/OR JUNCTION BOXES:

STANDARD CONSTRUCTION DETAIL
STORM DRAINAGE CONSTRUCTION NOTES
N.T.S.

INDEX
ST-1B
JAN 2009

PIPE SIZE (INCHES)	LENGTH OF RUN (FEET)
15	150
18	300
24 OR GREATER	400

- ALL SWALES, DITCHES, AND DRY RETENTION POND SIDE SLOPES SHALL BE NO STEEPER THAN 4:1 (H:V) AND SHALL BE SOODED.
- ALL RETENTION POND BACKSLOPES SHALL BE NO STEEPER THAN 3:1 (H:V) AND SHALL BE SOODED.
- NORMAL ROADSIDE SWALES SHALL BE CONSTRUCTED TO A MAXIMUM DEPTH OF 18" BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB.
- CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OF CULVERTS INTERCEPT DRAINAGE DITCHES.
- A MINIMUM ONE FOOT (1') FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL POINTS AROUND WET RETENTION PONDS.
- A MINIMUM SIX INCH (6") FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL POINTS AROUND DRY RETENTION PONDS.
- POND INFLOW SHALL GENERALLY BE CONSTRUCTED WITH REINFORCED CONCRETE AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- OUTLET STRUCTURES ARE REQUIRED ON ALL PONDS. ALL OUTLET STRUCTURES SHALL BE PERMANENT CONCRETE OVERFLOW WEIRS OR CONCRETE OUTLET CONTROL STRUCTURES. NO SOODED WEIRS OR OTHER NON-PERMANENT OVERFLOW STRUCTURES SHALL BE ALLOWED.
- SOIL EROSION CONTROL MEASURES SATISFACTORY TO THE CITY SHALL BE EMPLOYED DURING CONSTRUCTION AND UPON COMPLETION OF THE POND.
- THE CITY MAY REQUEST THAT THE DEVELOPER SUBMIT A REPORT BY A QUALIFIED HYDROLOGIST ON THE IMPACT THE POND WILL HAVE ON NEIGHBORING WATER TABLE ELEVATIONS BOTH DURING CONSTRUCTION AND AFTER POND COMPLETION. THE CITY MAY REQUIRE GROUNDWATER MONITORING DURING THE POND EXCAVATION.

STANDARD CONSTRUCTION DETAIL
STORM DRAINAGE CONSTRUCTION NOTES
N.T.S.

INDEX
ST-1C
JAN 2009

- ADEQUATE MAINTENANCE ACCESS AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL PONDS AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF PONDS.
- IN GENERAL, ALL RETENTION/DETENTION PONDS MUST BE CONSTRUCTED PROP TO ANY ROAD, PARKING LOT, OR BUILDING CONSTRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE.
- THE ENGINEER OF RECORD SHALL BE RESPONSIBLE TO OBTAIN ANY DEWATERING PERMITS THAT MAY BE REQUIRED.
- CULVERTS CROSSING RIGHT-OF-WAYS SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY.
- ALL STORMWATER DISCHARGE FROM RETENTION/DETENTION PONDS ARE REQUIRED TO BE CHANNELLED INTO DEFINED DRAINAGE PATHS TO EXISTING WATER BODIES, WETLANDS, DITCHES, ETC.
- THE CITY OF ORMOND BEACH REQUIRES THE DEVELOPER TO TELETYPE ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- ALL STORM SEWER PIPE SYSTEMS SHALL BE TELEVIEWED IN THE PRESENCE OF THE CITY INSPECTOR AND COPIES OF THE VIDEO AND WRITTEN REPORT SHALL BE SUBMITTED IN DVD FORMAT TO THE INSPECTOR AT LEAST FORTY EIGHT (48) HOURS PRIOR TO REQUESTING FINAL INSPECTIONS. ANY DEFECTS NOTED SHALL BE CORRECTED PRIOR TO ACCEPTANCE BY THE CITY.
- ALL STORM SEWER PIPES, PRIOR TO ACCEPTANCE BY THE CITY, SHALL BE TELEVIEWED BY A REPUTABLE COMPANY THAT ENGAGES IN THIS TYPE OF WORK. THE VIDEO SHALL BE IN DVD FORMAT WITH HIGH QUALITY STANDARD RESOLUTION USING A CAMERA WITH SUITABLE LIGHTING TO ALLOW A CLEAR AND FOCUSED PICTURE OF THE ENTIRE INSIDE PIPE CIRCUMFERENCE. THE VIDEO SHALL BE NON-STOP WITH AUDIO DESCRIBING WHAT IS BEING VIEWED. WRITTEN LOGS DESCRIBING THE CONDITION OF THE LINES SHALL ACCOMPANY THE DVD SUBMISSION TO THE CITY.

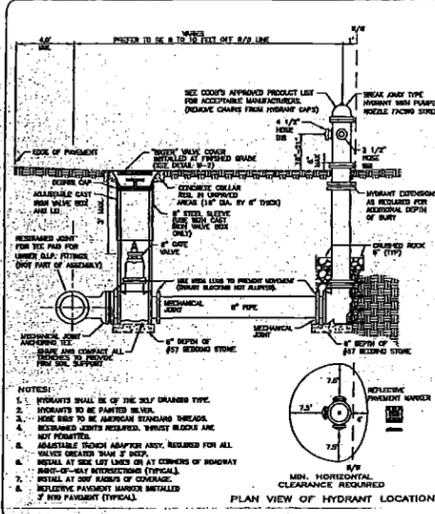
ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. 085479
810 AIRPORT ROAD STE. 113 ORMOND BEACH, FL 32174
TEL: (386) 673-7640 FAX: (386) 673-3827

PRICE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
CONSTRUCTION DETAILS

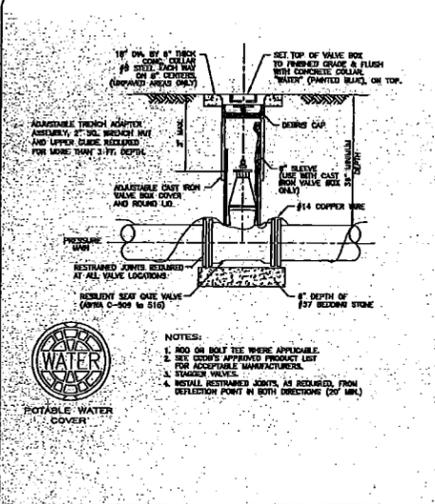
NO.	DATE	REVISION	BY

DESIGNER
RES
DRAWN BY
RES
FILE
99 Construction Details.dwg
PROJECT
0911-1
DATE
08/2009
SCALE
N/A

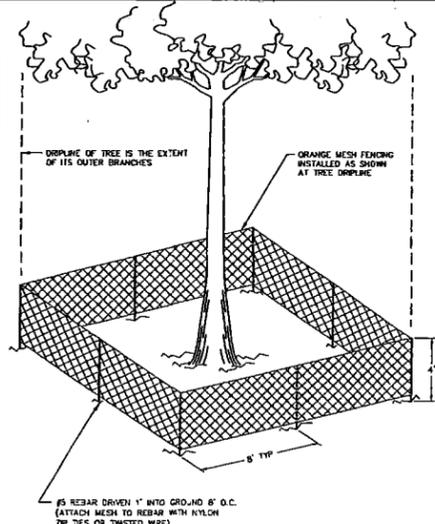
P:\0912-1\CADD\Final Engineering\07 Construction Details.dwg Feb 10, 2010 10:43:31 am



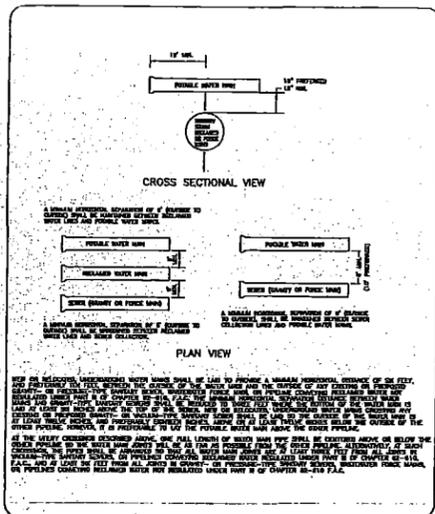
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
HYDRANT ASSEMBLY
DETAIL
W-1



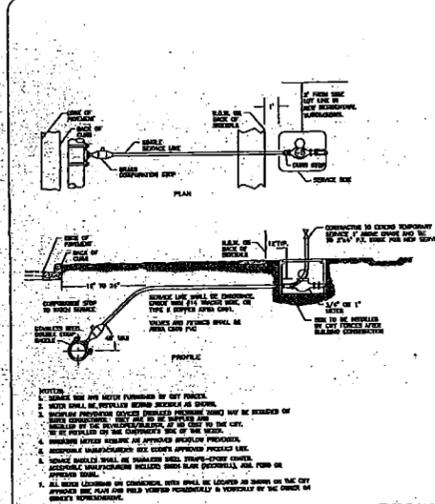
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
WATER VALVE AND
VALVE BOX
DETAIL
W-2



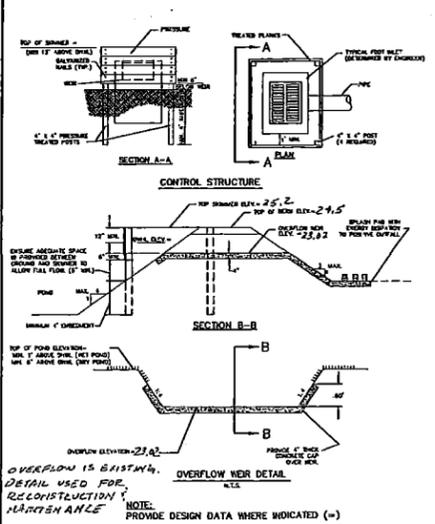
STANDARD CONSTRUCTION DETAIL
TREE BARRICADE
NTS
INDEX
LS-4
JAN 2009



THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
PIPE SEPARATION
DETAIL
W-3



THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
WATER SERVICE
CONNECTION
DETAIL
W-6A



STANDARD CONSTRUCTION DETAIL
SKIMMER DETAIL
NTS
INDEX
ST-8
JAN 2009

SCHEDULE OF LENGTHS OF RESTRAINED DIP (FT.)

PIPE SIZE (IN.)	90° BEND	45° BEND	22.5° BEND	11.25° BEND	TEE OR DEAD END
4"	21 (26)	18 (18)	18 (18)	18 (18)	37 (55)
6"	30 (39)	18 (18)	18 (18)	18 (18)	52 (78)
8"	38 (49)	18 (18)	18 (18)	18 (18)	67 (100)
10"	45 (58)	18 (22)	18 (18)	18 (18)	81 (122)
12"	52 (67)	22 (29)	18 (18)	18 (18)	84 (141)
14"	60 (77)	25 (30)	18 (18)	18 (18)	107 (160)
16"	68 (90)	27 (33)	18 (18)	18 (18)	120 (180)
18"	74 (97)	31 (38)	18 (18)	18 (18)	132 (198)
20"	80 (104)	33 (39)	18 (18)	18 (18)	144 (216)
24"	92 (120)	38 (45)	18 (22)	18 (18)	187 (250)
30"	108 (142)	44 (53)	21 (25)	18 (18)	199 (289)
36"	126 (164)	48 (58)	18 (18)	18 (18)	210 (304)
42"	144 (187)	51 (62)	18 (18)	18 (18)	221 (320)
48"	162 (210)	54 (66)	18 (18)	18 (18)	232 (336)

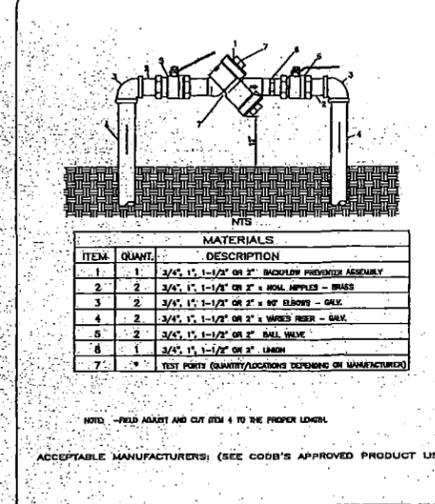
LENGTHS BETWEEN HEAVY LINES INDICATE ONE FULL LENGTH (18" MIN.) OF PIPE TO BE RESTRAINED.

TABLE SHOWS MINIMUM LENGTH OF PIPE EACH WAY FROM FITTING FOR WHICH RESTRAINT IS REQUIRED.

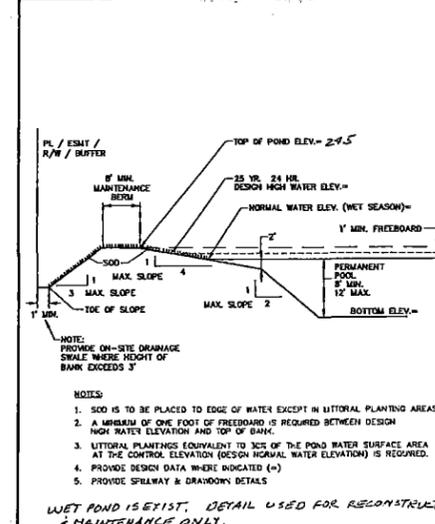
TABLE APPLIES TO DUCTILE IRON PIPE FOR THE FOLLOWING CONDITIONS:
 TEST PRESSURE: 150 PSIG
 SOIL TYPE: SF
 COVER DEPTH: 3 FEET (MIN.)
 SAFETY FACTOR: 1.5
 TRENCH TYPE: 2

VALUES IN PARENTHESES (X) ARE FOR PIPE ENCASED IN POLYETHYLENE.
 * VALUES APPLY TO DUCTILE IRON PIPE AT 50 PSI TEST PRESSURE.

THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
DIP RESTRAINED JOINT
TABLE
W-7



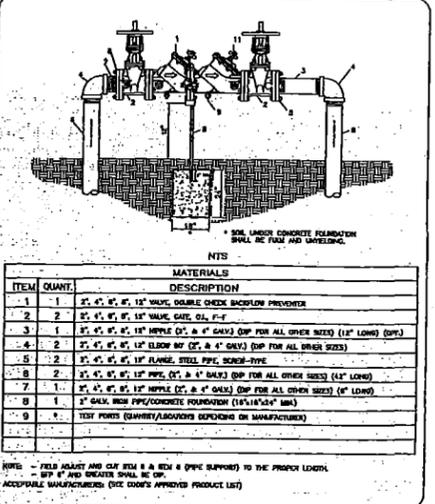
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
REDUCED PRESSURE ZONE BACKFLOW
PREVENTER, SINGLE SERVICE
8" x 1/2", 1" or 1 1/2"
W-8



STANDARD CONSTRUCTION DETAIL
WET RETENTION POND
NTS
INDEX
ST-5
JAN 2009

- POTABLE WATER CONSTRUCTION & DESIGN STANDARDS
- THE CITY UTILITIES DEPARTMENT SHALL BE GIVEN A MINIMUM OF 2 BUSINESS DAYS ADVANCE NOTICE (NOT INCLUDING HOLIDAYS OR WEEKENDS) PRIOR TO BEGINNING ANY POTABLE WATER SYSTEM CONSTRUCTION.
 - CONSTRUCTION SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 8 INCHES BELOW MAIN BOUND LAD.
 - ALL WATER MAINS SHALL BE LAID ON A FIRM UNWEARABLE FOUNDATION WITH ALL UNSATURABLE MATERIAL (GRAVEL, SAND, COARSE, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
 - IRONWORK SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE CITY WITH A MINIMUM COMPACTION OF 95% IN PAVED AREAS AND 93% IN UNPAVED AREAS IN ACCORDANCE WITH ASSOCIATED T-100 MODIFIED PROCTOR TEST.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 15 FEET ABOVE THE PIPE AND AT 12 INCHES VERTICAL INTERVALS TO TRENCH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET.
 - ALL NON-METALLIC WATERLINES SHALL HAVE #14 REBARRED COPPER WIRE ATTACHED. THE WIRE SHALL BE SEALED WITH LIQUID TAPE.
 - ALL WATER SERVICE CHANGES SHALL BE MARKED WITH A 2" X 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 12" MAXIMUM ABOVE THE GRADE.
 - WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACING OF 700 FEET.
 - ALL WATER MAIN TEES AND CROSSINGS, VALVES SHALL BE INSTALLED ON ALL LINES EXCEPT ONE.
 - APPROVED WATER VALVE TYPES ARE THE FOLLOWING:
 - RESIDENT SOFT GATE VALVES (APRA C-500)
 - TAPPING VALVES WITH MECHANICAL TAPPING SLEEVE.
 - ALL WATER VALVES, INCLUDING CONCRETE COLLAR WITH DEGREE CAPS, SHALL BE ADJUSTED TO FREEDOM GRADE AND THE VALVE BOX LID, PARTED BLUE TO MAKE THEM EASILY ACCESSIBLE.
 - UNLESS FINAL ACCEPTANCE OF NEW WATER SYSTEMS, WATER VALVES SHALL BE COMPLETELY OPERATED BY PUBLIC UTILITIES PERSONNEL, AT NO TIME SHALL CONTRACTOR OPERATE ANY EXISTING VALVES WITHOUT A CITY INSPECTOR PRESENT.
 - TYPICALLY, A MINIMUM OF ONE FIRE HYDRANT SHALL BE LOCATED AT EVERY INTERSECTION OTHER FIRE HYDRANTS SHALL BE LOCATED SO AS TO PRODUCE A MINIMUM 500 FOOT RADIUS OF COVERAGE. ALL FIRE HYDRANTS SHALL BE CONSTRUCTED TO BE COMPLETELY ACCESSIBLE TO THE PERSONNEL. THE PRIMARY HYDRANT PORT IS TO FACE THE STREET.
 - ALL WATER MAINS SHALL BE NSF-APPROVED FOR POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 18 INCHES.
 - WATER MAINS SHALL BE DUCTILE IRON PIPE (DIP), CLASS 350, ENCASED UNLESS OTHERWISE APPROVED BY THE CITY.
 - UPON COMPLETION AND ACCEPTANCE OF THE SYSTEM IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE DEPARTMENT OF HEALTH, AND THAT AS-BUILT DRAWINGS (INCLUDING THE CITY'S AS-BUILT DRAWING REQUIREMENTS) ARE PROVIDED TO THE CITY FROM TO ANY USE OF THIS SYSTEM.
 - WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED TO COMPLY WITH THE CITY'S FIRE (WATER) FLOW CODE.

THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
WATER CONSTRUCTION & DESIGN STANDARDS
W-16A



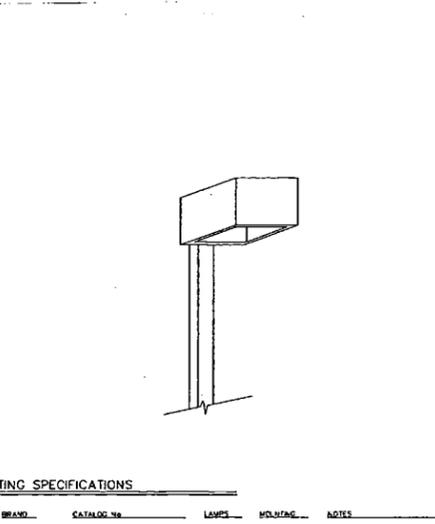
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
DOUBLE CHECK VALVE ASSEMBLY
BACKFLOW PREVENTER
LINK, 2", 4", 6", 8" or 12"
W-11

- POTABLE WATER CONSTRUCTION & DESIGN STANDARDS (CONT'D)
- IN AREAS WHERE RESERVE WATER IS NOT AVAILABLE THE CONTRACTOR SHALL BE REQUIRED TO TRANSFER THE WATER FROM THE FIREABLE WATER MAIN WITH NECESSARY BACKFLOW PREVENTION DEVICES TO THE NON-POTABLE WATER LINES FOR UTILIZATION IN THEIR PROCEDURE TEST.
 - IN AREAS WHERE RESERVE WATER IS AVAILABLE, RESERVE WATER WILL BE UTILIZED IN THE PROCEDURE TESTING OF NEW NON-POTABLE WATER LINES.
 - ALL POTABLE WATER MAINS SHALL USE A THURST RESTRAINT JOINT IN COMPLIANCE WITH THE QUALITY FIRE PIPE RESTRAINT ASSOCIATION (QFPA) SPECIFICATIONS.
 - RESTRAINT JOINTS SHALL BE INSTALLED AT ALL JOINTS AND SHALL BE USED ON PIPES WITH RESTRAINT JOINTS. RESTRAINT JOINTS SHALL FOLLOW THE QUALITY FIRE PIPE RESTRAINT ASSOCIATION (QFPA) SPECIFICATIONS.
 - RESTRAINT JOINTS SHALL BE USED AS APPROPRIATE FOR RESTRAINING PRESSURE PIPE TO FITTINGS, VALVES, ETC.
 - ALL WATER SERVICES SHALL BE MARKED WITH AN "X" SIGN OUT INTO THE CURB.
 - ALL WATER VALVES SHALL BE MARKED WITH AN "X" SIGN OUT INTO THE CURB.
 - ALL TAPPING OF MAINS SHALL BE PERFORMED WITH A UTILITY REPRESENTATIVE PRESENT. SCHEDULING OF THESE CONNECTIONS SHALL BE A MINIMUM OF 2 (TWO) BUSINESS DAYS FOR NOTIFICATION AND SHALL BE COORDINATED WITH THE WATER DISTRIBUTION DIVISION (DWD) 671-3500.
 - ALL JOBS IN AREAS COVERED BY COMMERCIAL DEVELOPMENTS SHALL BE AT THE SOLE COST OF THE OWNER'S DEVELOPER.
 - ALL POTABLE WATER MAINS SHALL BE FLUSHED, DISINFECTED, PRESSURE TESTED AND BACTERIOLOGICALLY CLARIFIED BEFORE SERVICE. THIS SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE CITY'S RESERVATION INSPECTOR PRIOR TO BEGINNING WORK WITH CITY PERSONNEL AT THE WATER TREATMENT PLANT AT LEAST 2 (TWO) BUSINESS DAYS PRIOR TO BEGINNING WORK. THE WATER MAINS SHALL BE DISINFECTED AND FLUSHED. TRENCH, NO HOSE OR FIRE HYDRANT SHALL BE USED IN THE COLLECTION OF BACTERIOLOGICAL SAMPLES. CITY PERSONNEL SHALL BE PRESENT TO OBSERVE AND SIGNOFF ON THE DISINFECTION AND FLUSHING. TRENCH, NO HOSE OR FIRE HYDRANT SHALL BE USED IN THE COLLECTION OF BACTERIOLOGICAL SAMPLES. CITY PERSONNEL SHALL BE PRESENT TO OBSERVE AND SIGNOFF ON THE DISINFECTION AND FLUSHING.
 - CONTRACTOR SHALL BE REQUIRED TO FILL ALL POTABLE MAINS 6" OR GREATER IN DIAMETER (LARGER AND EXTENSION PORTS) SHALL BE DETERMINED BY THE CONTRACTOR.
 - NEW WATER MAINS SHALL BE INSTALLED TO THE PROPERTY LINE OF THE PROPERTY. THE CITY RESERVES THE RIGHT TO REQUIRE WORK TO BE PERFORMED DURING PERIODS OF LOW FLOW (USUALLY TO THE PROPERTY LINE) TO BE PERFORMED DURING PERIODS OF LOW FLOW (USUALLY TO THE PROPERTY LINE).
 - THE CITY RESERVES THE RIGHT TO PERFORM THE SAMPLING AND ANALYSIS FOR BACTERIOLOGICAL CLEARANCE OF THE WATER MAIN AFTER RESTRAINTS WILL BE AT THE CONTRACTOR'S EXPENSE.
 - ALL WORK PERFORMED UNDER POTABLE WATER MAINS SHALL BE PERFORMED TO THE STANDARD SPECIFICATIONS OF THE CITY OF DAYTONA BEACH, FLORIDA, AND REGISTERED WITH THE CITY.

THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
WATER CONSTRUCTION & DESIGN STANDARDS
W-16B

- POTABLE WATER CONSTRUCTION & DESIGN STANDARDS (CONT'D)
- FOR CONSTRUCTION PURPOSES, THE PLANS SHALL SHOW CROSS SECTIONS & OFFSETS FROM THE CENTER LINE OF CONSTRUCTION AND FROM-OF-ROAD LINES THE PROPOSED LOCATION OF ALL WATER MAINS.
 - POTABLE WATER SYSTEM CONDUITS MAY NOT BE USED FROM TO FINAL TESTING, UNLESS CLEARANCE IS ACCEPTED BY THE CITY OF DAYTONA BEACH AND THE VOLusia COUNTY HEALTH DEPARTMENT.
 - ALL VALVES 2" AND SMALLER SHALL BE GLOBE STOPVALS. LARGER THAN 2" SHALL BE GATE VALVES.
 - WHERE POTABLE WATER AND SANITARY SEWER MAINS CROSS WITH LESS THAN THREE (3) FEET OF VERTICAL CLEARANCE OR WHERE THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SEWER MAIN SHALL BE ENCASED WITH CONCRETE OR UNGRADED TO 6-8" DIA PIPE FOR A MINIMUM LENGTH OF FIFTY (50) FEET, CENTERED ON THE POINT OF CROSSING. A MINIMUM HORIZONTAL SEPARATION OF SIX (6) FEET (SEE TO 50) BETWEEN POTABLE WATER MAINS AND SEWER MAINS SHALL BE MAINTAINED WHEN AT ALL POSSIBLE. WHEN THE SIX (6) FOOT HORIZONTAL SEPARATION CANNOT BE MAINTAINED, THE SEWER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH OR ON AN UNGRADED SLOPE. THE SEWER MAIN SHALL BE AT LEAST 18" ABOVE THE SERVICE MAIN. ALTERNATIVELY, THE SEWER MAIN SHALL BE ENCASED WITH CONCRETE OR ENCASED IN A WATER TIGHT COVER PIPE, OR ENCASED TO PRESSURE WATER PVC PIPE (MEETING THE APWA C-900 OR C-905 SPECIFICATIONS) AND PRESSURE TESTED.
 - ALL PIPE SEPARATION SHALL BE 18" MINIMUM HORIZONTAL SEPARATION (SEE T-7).
 - A BACK FLOW PREVENTER (BFP) SHALL BE PLACED ON ALL POTABLE AND FIRE MAINS SERVING COMMERCIAL PROPERTIES AND RESIDENTIAL WHERE RELIEF IS AVAILABLE. THE TYPE OF BACKFLOW PREVENTERS REQUIRED ARE AS FOLLOWS:
 - POTABLE WATER SERVICES, REDUCED PRESSURE ZONE BFP
 - FIRE MAINS SERVING A FIRE SPRINKLER SYSTEM AND/OR PRIVATE FIRE HYDRANT, DOUBLE CHECK VALVE SYSTEM
 - IN CASES WHERE A WATER LINE SERVES BOTH DOMESTIC AND FIRE SERVICE, A REDUCED PRESSURE ZONE BFP SHALL BE REQUIRED.
 - WATER MAINS ARE TO BE CONSTRUCTED A MINIMUM OF FOUR FEET MEASURED FROM THE OUTSIDE WALL OF THE WATER MAIN TO THE BACK OF CURB OR EDGE OF ROADWAY PAVEMENT, WHICHEVER IS GREATER.

THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT
WATER CONSTRUCTION & DESIGN STANDARDS
W-16C



STANDARD CONSTRUCTION DETAIL
LIGHTING SPECIFICATIONS
INDEX
LS-3
JAN 2009

POTABLE WATER CONSTRUCTION & DESIGN STANDARDS

- TESTING REQUIREMENTS:**
1. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY AT HIS OWN EXPENSE TO VERIFY THE COMPLETION OF ALL MATERIALS IN COMPLIANCE WITH THE CITY'S TESTING REQUIREMENTS. ALL TESTS SHALL BE DONE ONE FOOT ABOVE THE PIPE AND THEN AT THE FOOT VERTICAL. INTERVALS SHALL BE 10 FEET. TEST RESULTS SHALL BE FORWARDED PROMPTLY TO THE CITY'S DESIGNATED SITE INSPECTOR.
 2. ALL TESTS REQUIRED BY THE CITY SHALL BE PAID FOR BY THE CONTRACTOR/DEVELOPER.
 3. ALL PROPOSED MATERIALS SHALL BE FLUSHED, PRESSURE TESTED AND CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE CITY'S DESIGNATED INSPECTOR WHO SHALL COORDINATE WITH CITY PERSONNEL AT THE WATER OR SEWERAGE TREATMENT PLANT ON APPROXIMATELY AT LEAST (2) TWO BUSINESS DAYS PRIOR TO BEGINNING A FULL-DIAMETER FLUSH OF THE MAINS PRIOR TO THE COMMENCEMENT OF PRESSURE TESTING (SUBJECT TO AVAILABILITY).
 4. MATERIALS SHALL BE PRESSURE TESTED TO 150 PSI FOR 4 HOURS. TESTING SHALL BE IN ACCORDANCE WITH AWWA C-904, WITH ALLOWABLE LEAKAGE TO BE 5 GAL PER IN² DIA. OF PIPE PER IN² OF MAIN TO BE TESTED.

ALLOWABLE LEAKAGE PER 1000 FT. OF PIPELINE * -GPH

PIPE SIZE (IN)	1	2	3	4	5	6	8	10	12	14	16	18	20	24	30	36	42	48	54	60	72	84	96	108	120	144	168	192	216	240	288	324	360	408	456	504	576	648	720	800	864	936	1008	1080	1152	1224	1296	1368	1440	1512	1584	1656	1728	1800	1872	1944	2016	2088	2160	2232	2304	2376	2448	2520	2592	2664	2736	2808	2880	2952	3024	3096	3168	3240	3312	3384	3456	3528	3600	3672	3744	3816	3888	3960	4032	4104	4176	4248	4320	4392	4464	4536	4608	4680	4752	4824	4896	4968	5040	5112	5184	5256	5328	5400	5472	5544	5616	5688	5760	5832	5904	5976	6048	6120	6192	6264	6336	6408	6480	6552	6624	6696	6768	6840	6912	6984	7056	7128	7200	7272	7344	7416	7488	7560	7632	7704	7776	7848	7920	7992	8064	8136	8208	8280	8352	8424	8496	8568	8640	8712	8784	8856	8928	9000	9072	9144	9216	9288	9360	9432	9504	9576	9648	9720	9792	9864	9936	10008	10080	10152	10224	10296	10368	10440	10512	10584	10656	10728	10800	10872	10944	11016	11088	11160	11232	11304	11376	11448	11520	11592	11664	11736	11808	11880	11952	12024	12096	12168	12240	12312	12384	12456	12528	12600	12672	12744	12816	12888	12960	13032	13104	13176	13248	13320	13392	13464	13536	13608	13680	13752	13824	13896	13968	14040	14112	14184	14256	14328	14400	14472	14544	14616	14688	14760	14832	14904	14976	15048	15120	15192	15264	15336	15408	15480	15552	15624	15696	15768	15840	15912	15984	16056	16128	16200	16272	16344	16416	16488	16560	16632	16704	16776	16848	16920	16992	17064	17136	17208	17280	17352	17424	17496	17568	17640	17712	17784	17856	17928	18000	18072	18144	18216	18288	18360	18432	18504	18576	18648	18720	18792	18864	18936	19008	19080	19152	19224	19296	19368	19440	19512	19584	19656	19728	19800	19872	19944	20016	20088	20160	20232	20304	20376	20448	20520	20592	20664	20736	20808	20880	20952	21024	21096	21168	21240	21312	21384	21456	21528	21600	21672	21744	21816	21888	21960	22032	22104	22176	22248	22320	22392	22464	22536	22608	22680	22752	22824	22896	22968	23040	23112	23184	23256	23328	23400	23472	23544	23616	23688	23760	23832	23904	23976	24048	24120	24192	24264	24336	24408	24480	24552	24624	24696	24768	24840	24912	24984	25056	25128	25200	25272	25344	25416	25488	25560	25632	25704	25776	25848	25920	25992	26064	26136	26208	26280	26352	26424	26496	26568	26640	26712	26784	26856	26928	27000	27072	27144	27216	27288	27360	27432	27504	27576	27648	27720	27792	27864	27936	28008	28080	28152	28224	28296	28368	28440	28512	28584	28656	28728	28800	28872	28944	29016	29088	29160	29232	29304	29376	29448	29520	29592	29664	29736	29808	29880	29952	30024	30096	30168	30240	30312	30384	30456	30528	30600	30672	30744	30816	30888	30960	31032	31104	31176	31248	31320	31392	31464	31536	31608	31680	31752	31824	31896	31968	32040	32112	32184	32256	32328	32400	32472	32544	32616	32688	32760	32832	32904	32976	33048	33120	33192	33264	33336	33408	33480	33552	33624	33696	33768	33840	33912	33984	34056	34128	34200	34272	34344	34416	34488	34560	34632	34704	34776	34848	34920	34992	35064	35136	35208	35280	35352	35424	35496	35568	35640	35712	35784	35856	35928	36000	36072	36144	36216	36288	36360	36432	36504	36576	36648	36720	36792	36864	36936	37008	37080	37152	37224	37296	37368	37440	37512	37584	37656	37728	37800	37872	37944	38016	38088	38160	38232	38304	38376	38448	38520	38592	38664	38736	38808	38880	38952	39024	39096	39168	39240	39312	39384	39456	39528	39600	39672	39744	39816	39888	39960	40032	40104	40176	40248	40320	40392	40464	40536	40608	40680	40752	40824	40896	40968	41040	41112	41184	41256	41328	41400	41472	41544	41616	41688	41760	41832	41904	41976	42048	42120	42192	42264	42336	42408	42480	42552	42624	42696	42768	42840	42912	42984	43056	43128	43200	43272	43344	43416	43488	43560	43632	43704	43776	43848	43920	43992	44064	44136	44208	44280	44352	44424	44496	44568	44640	44712	44784	44856	44928	45000	45072	45144	45216	45288	45360	45432	45504	45576	45648	45720	45792	45864	45936	46008	46080	46152	46224	46296	46368	46440	46512	46584	46656	46728	46800	46872	46944	47016	47088	47160	47232	47304	47376	47448	47520	47592	47664	47736	47808	47880	47952	48024	48096	48168	48240	48312	48384	48456	48528	48600	48672	48744	48816	48888	48960	49032	49104	49176	49248	49320	49392	49464	49536	49608	49680	49752	49824	49896	49968	50040	50112	50184	50256	50328	50400	50472	50544	50616	50688	50760	50832	50904	50976	51048	51120	51192	51264	51336	51408	51480	51552	51624	51696	51768	51840	51912	51984	52056	52128	52200	52272	52344	52416	52488	52560	52632	52704	52776	52848	52920	52992	53064	53136	53208	53280	53352	53424	53496	53568	53640	53712	53784	53856	53928	54000	54072	54144	54216	54288	54360	54432	54504	54576	54648	54720	54792	54864	54936	55008	55080	55152	55224	55296	55368	55440	55512	55584	55656	55728	55800	55872	55944	56016	56088	56160	56232	56304	56376	56448	56520	56592	56664	56736	56808	56880	56952	57024	57096	57168	57240	57312	57384	57456	57528	57600	57672	57744	57816	57888	57960	58032	58104	58176	58248	58320	58392	58464	58536	58608	58680	58752	58824	58896	58968	59040	59112	59184	59256	59328	59400	59472	59544	59616	59688	59760	59832	59904	59976	60048	60120	60192	60264	60336	60408	60480	60552	60624	60696	60768	60840	60912	60984	61056	61128	61200	61272	61344	61416	61488	61560	61632	61704	61776	61848	61920	61992	62064	62136	62208	62280	62352	62424	62496	62568	62640	62712	62784	62856	62928	63000	63072	63144	63216	63288	63360	63432	63504	63576	63648	63720	63792	63864	63936	64008	64080	64152	64224	64296	64368	64440	64512	64584	64656	64728	64800	64872	64944	65016	65088	65160	65232	65304	65376	65448	65520	65592	65664	65736	65808	65880	65952	66024	66096	66168	66240	66312	66384	66456	66528	66600	66672	66744	66816	66888	66960	67032	67104	67176	67248	67320	67392	67464	67536	67608	67680	67752	67824	67896	67968	68040	68112	68184	68256	68328	68400	68472	68544	68616	68688	68760	68832	68904	68976	69048	69120	69192	69264	69336	69408	69480	69552	69624	69696	69768	69840	69912	69984	70056	70128	70200	70272	70344	70416	70488	70560	70632	70704	70776	70848	70920	70992	71064	71136	71208	71280	71352	71424	71496	71568	71640	71712	71784	71856	71928	72000	72072	72144	72216	72288	72360	72432	72504	72576	72648	72720	72792	72864	72936	73008	73080	73152	73224	73296	73368	73440	73512	73584	73656	73728	73800	73872	73944	74016	74088	74160	74232	74304	74376	74448	74520	74592	74664	74736	74808	74880	74952	75024	75096	75168	75240	75312	75384	75456	75528	75600	75672	75744	75816	75888	75960	76032	76104	76176	76248	76320	76392	76464	76536	76608	76680	76752	76824	76896	76968	77040	77112	77184	77256	77328	77400	77472	77544	77616	77688	77760	77832	77904	77976	78048	78120	78192	78264	78336	78408	78480	78552	78624	78696	78768	78840	78912	78984	79056	79128	79200	79272	79344	79416	79488	79560	79632	79704	79776	79848	79920	79992	80064	80136	80208	80280	80352	80424	80496	80568	80640	80712	80784	80856	80928	81000	81072	81144	81216	81288	81360	81432	81504	81576	81648	81720	81792	81864	81936	82008	82080	82152	82224	82296	82368	82440	82512	82584	82656	82728	82800	82872	82944	83016	83088	83160	83232	83304	83376	83448	83520	83592	83664	83736	83808	83880	83952	84024	84096	84168	84240	84312	84384	84456	84528	84600	84672	84744	84816	84888	84960
----------------	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------	-------

GENERAL NOTES

ALL PLANT MATERIAL THAT IS INSTALLED MUST BE FLORIDA NO. 1 GRADE OR BETTER ACCORDING TO THE CURRENT GRADING AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE. NO OVERSIZED TREES IN SMALLER CONTAINERS WILL BE ACCEPTED. THE CONTRACTOR SHALL BE SURE TO FOLLOW THE FLORIDA NUMBER ONE (1) TREE MATRIX FOR PROPER TREES IN CONTAINERS.

ANY VARIATIONS FROM THE APPROVED LANDSCAPE PLAN MUST BE INITIALLY REVIEWED BY THIS LANDSCAPE ARCHITECT. UPON REVIEW BY THIS OFFICE, THE CITY OF ORMOND BEACH MUST APPROVE THE PROPOSED REVISIONS TO THE LANDSCAPE PLAN. THE CITY MUST BE SECURED PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THIS PROCEDURE MAY RESULT IN REQUIRED MITIGATION AND/OR DELAY OF THIS PROJECT.

ALL FILL DIRT TO BE PLACED IN THE PROPOSED LANDSCAPE AREAS AND BERMS, MUST HAVE A PH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, OR MATCH NATIVE EXISTING SOILS.

CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH FLOWING CURVES. STRAIGHT-LINE LANDSCAPE BEDS ARE TO BE EDGED IN A STRAIGHT LINE AND MUST BE PARALLEL TO PARKING LOTS, WALKWAYS, AND/OR STRUCTURES UNLESS INTENTIONALLY DESIGNED TO BE OTHERWISE.

ST. AUGUSTINE SOD IS TO BE USED IN ALL OPEN IRRIGATED AREAS AS SHOWN BY THE LANDSCAPE IRRIGATION PLAN. ALL OTHER OPEN AREAS ARE TO BE SODDED WITH BAHIA SOLID SOD OR MULCHED, AS NOTED.

ALL WELLS, IRRIGATION BACK-FLOW DEVICES, RISERS, OR ANY EXPOSED METALLIC OR PVC PIPE WILL BE VISUALLY SCREENED WITH LANDSCAPING AND PAINTED BLACK AND/OR NILE GREEN.

SEE ENGINEER'S PLAN FOR ALL EXISTING AND PROPOSED EASEMENTS, COVENANTS, R.O.W., BUFFER DIMENSIONS, AND ALL SITE LAYOUT DIMENSIONING.

THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL OPEN SPACE, LANDSCAPE PLANTINGS, DRAINAGE RETENTION AREAS, AND ANY OTHER FACILITIES.

ALL TREES NOT CONTAINED WITHIN A PLANTING BED SHALL HAVE A MINIMUM FOUR-FOOT (4') WIDE MULCH CIRCLE.

ALL PERIMETER SHRUBS SHALL BE A MINIMUM OF TWO-FOOT (2') IN HEIGHT.

EXISTING ZONING:
SPECIAL EXCEPTION USE: HOUSE OF WORSHIP
R-5 MULTI FAMILY MEDIUM DENSITY

PROPOSED USE:
NEW SOCIAL SERVICES BUILDING

EXISTING ACREAGE:
OVERALL SITE (INCLUDING CHURCH) 25.59 AC.
PROJECT SITE AREA 1.88 AC. (81,892.8 S.F.)

6' CHAIN-LINK FENCE

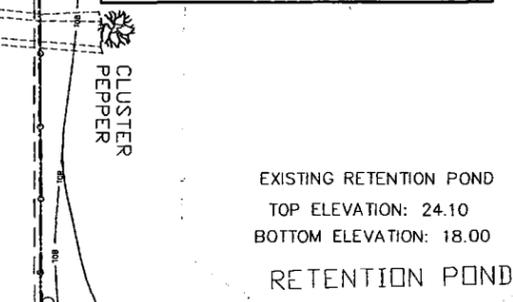
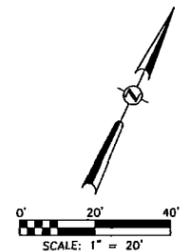
6' CHAIN-LINK FENCE

10' LANDSCAPE BUFFER

30' BUILDING SETBACK

LOADING/UNLOADING ZONE

PRINCE OF PEACE SOCIAL SERVICES BUILDING
12,387 S.F.



8 SPECIMEN TREES

1. List all specimen trees to be removed. Include variety of tree, quantity, and caliper size measured at 4' above the grade. THERE ARE NO SPECIMEN TREES TO BE REMOVED OR ON THIS PROJECT SITE.

TREE MITIGATION CALCULATION FORM

A Protected Trees

Number of protected trees to be removed within proposed building footprint, sidewalks, parking and drive areas or streets (obscure areas): 19

2. Remainder of protected trees to be removed from retention areas, perimeter buffers and all other pervious areas: 3

3. List of total tree density of saved protected and specimen trees on-site. Give the answer in terms of trees/acre. $36 / 1.88 = 19.15 \text{ Trees/Ac}$

If total tree density is less than 50 trees/acre, go to #4. If total tree densities are more than 50 trees/acre, go to #3. #4

4. Due to 50% waiver exemption for tree densities under 50 trees/acre, enter the number of trees provided in #1 and divide by 2. $19 + 2 = 10$

Total number of trees provided in #2: 3

Total mitigation requirement #1 be number of trees in #2 and #4, (added together) for replacement size of 2" caliper minimum: 13

Total Mitigation

Total number of 2" caliper trees from Section A to mitigate protected trees (Enter on Line a): 13

Existing trees preserved on-site where the natural vegetation around them remains permanently undisturbed. Trees must be a minimum of 2" caliper at 4' feet above ground and can be credited on a one-to-one basis to substitute for the protected trees from Section A (Enter on Line b): 32

Total Protected Tree Mitigation
(Subtract b from line a): 0

2. Total number of 4" caliper trees from Section B to mitigate specimen trees (Enter on Line d): 0

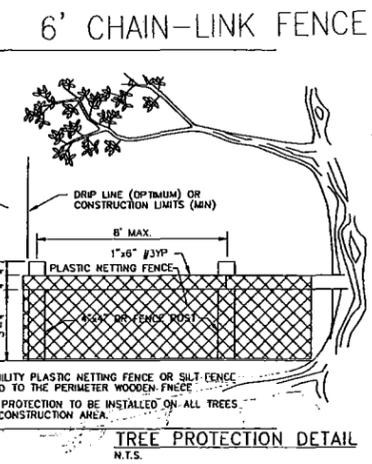
Existing specimen trees preserved on-site can also be credited to substitute for the mitigation of any specimen trees removed as required by Section B. (Enter number of specimen trees preserved on Line e): 0

Total Specimen Tree Mitigation
(Subtract line d from line e): 0

Size in Caliper	Quantity	4" Caliper Tree Credits	Total 4" Tree Credits
Specimen Trees:	(19) 4 1/2" Dab	x 3	= 54
Existing Specimen Trees:	0	x 0	= 0
Total 4" Caliper Tree Credits:			(54) 54

NOTE: IF AMOUNT IN "g" MEETS OR EXCEEDS AMOUNT IN "c", AND AMOUNT IN "h" MEETS OR EXCEEDS AMOUNT IN "f", THE MITIGATION IS COMPLETE. (IN ALL CASES, SITE MUST MAINTAIN A MINIMUM OF (1) TREE FOR EVERY 1,500 SQUARE FEET OF TOTAL SITE AREA OR (1) TREE FOR EVERY 400 SQUARE FEET OF LANDSCAPE AREA, WHICHEVER RESULTS IN THE GREATER NUMBER OF TREES. (THIS CALCULATION MUST BE SHOWN ON THE PLAN.)

(g) 21 meets or exceeds amount in (c) 0 = complete mitigation
(h) 54 meets or exceeds amount in (f) 0 = complete mitigation



THE STERN DESIGN GROUP, P.A.
LANDSCAPE ARCHITECTS · LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 FAX 788-3880
Stern.Design.Group@att.net

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
1000 W. UNIVERSITY BLVD. SUITE 110
ORLANDO, FLORIDA 32817
TEL: (407) 752-7648 FAX: (407) 752-7627

**PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
LANDSCAPE PLANTING PLAN**

NO.	DATE	CITY COMMENTS	REV.	BY
1	2/27/10			

DESIGNED BY
JS
FILE
LANDSCAPE PLANNING
PROJECT
0011-1
DATE
02/20/10
SCALE
1" = 20'

**SHEET
L1 OF 8**

SITE PLANTING SCHEDULE

KEY	QTY	BOTANICAL/COMMON NAMES	HT.	SPR.	REMARKS	NATIVE
IL	1	Ilex attenuata 'East Palatka'	8'	3'	Min 2 1/2" Cal	Y
IP	9	Ilex vomitoria pendula 'Weeping Yaupon'	8'	3'	Min 2" Cal	Y
LI	4	Lagostroemia indica 'Tuscarora'	8'	3'	Min 2 1/2" Cal	N
LI4	23	Lagostroemia indica STD 'Tuscarora'	10'-12'	4'-5'	Min 2 1/2" Cal	N
NS	7	Ilex 'Nelle Stevens'	10'	3'	Min 2 1/2" Cal	Y
PE	6	Prunus elliotii 'Florida Slash Pine'	10'	3'	Min 2 1/2" Cal	Y
QV	9	Quercus virginiana 'Live Oak'	10'	4'	Min 2 1/2" Cal	Y
QV4	18	Quercus virginiana 'Live Oak'	14'-16'	6'	Shape/Full	Y
SP	13	Sabal palmetto 'Cabbage Palm'	18' DA, 20' DA, 24' DA		Overall Heights in Groups	Y

SHRUBS/UNDERSTORY PLANTS

BUF	204	Ilex cornuta 'Bufford'	18"	12"	3 Gal Cont	Y
BL	370	Buddleia frutescens 'Beaut Carnates'	10"	6"	1 Gal Cont	Y
DA	104	Dioscorea tomentosa 'Variegated Blueberry Flox Lily'	14"	12"	3 Gal Cont	Y
JLC	201	Jasminum vitifolium 'Schellings'	18"	12"	3 Gal Cont	Y
JAN	188	Jasminum parsonii 'Sonnatta'	6"	6"	1 Gal Cont	N
LAN	295	Lantana canera 'Gold'	6"	6"	1 Gal Cont	Y
MYR	60	Myrica cerifera 'Max Myrtle Hedge'	28"	18"	3 Gal Cont	Y
PAS	172	Paspalum quadriflorum 'Verigreen Paspalum CrownGrass'	30"	10"	3 Gal Cont	Y
PEA	495	Peperomia diandra 'Needpoint'	4"	4"	4" Pot	Y
PEN	83	Penstemon setaceus 'Rubrum'	24"	12"	3 Gal Cont	Y
RAP	123	Rapanea indica 'London Heathorn'	18"	12"	3 Gal Cont	Y
RUE	295	Ruellia brittanica 'Compacta Katie Pink'	6"	6"	1 Gal Cont	N
VIB	282	Viburnum acerifolium 'Whisper'	30"	18"	3 Gal Cont	Y
ZAM	27	Zamia punctata 'Coontie Fern'	14"	12"	3 Gal Cont	Y

EXISTING RETENTION POND
TOP ELEVATION: 24.10
BOTTOM ELEVATION: 18.00
RETENTION POND

GREENBELT AND GATEWAY PRESERVATION DISTRICT
MINIMUM THIRTY-SIX FOOT (36') WIDE BUFFER STRIP
BUFFER TREE PLANTING REQUIREMENTS (6,120 S.F.)
ONE (1) TREE PER 200 SQUARE FEET
THIRTY (30) Native Trees Required (Four + (4.3) Existing Trees)
BUFFER PLANTING REQUIREMENTS (171,94 L.F.)
SIXTY-PERCENT (60%) OF THE AREA TO BE IN NATIVE PLANTINGS
EXISTING VEGETATION TO REMAIN AND BE USED TOWARD REQUIREMENT.
NO MORE THAN FORTY-PERCENT (40%) OF THE AREA TO BE BAHIA SOD.

LANDSCAPING, EXCEPT GRASS AND GROUND COVER, SHALL NOT BE PLACED CLOSER THAN THREE-FOOT (3') FROM THE EDGE OF ANY ACCESSWAY PAVEMENT. ALL LANDSCAPING WITHIN THE TRIANGULAR TEN-FOOT (10') AREA SHALL PROVIDE AN OWNER MAINTAINED UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BETWEEN TWO-FOOT (2') AND SIX-FOOT (6').

GREENBELT AND GATEWAY PRESERVATION DISTRICT
MINIMUM THIRTY-SIX FOOT (36') WIDE BUFFER STRIP
BUFFER TREE PLANTING REQUIREMENTS (9,378.1 S.F.)
ONE (1) TREE PER 200 SQUARE FEET
FORTY-ONE (41) Native Trees Required (Eight + (8.6) Existing Trees)
BUFFER PLANTING REQUIREMENTS (306.41 L.F.)
SIXTY-PERCENT (60%) OF THE AREA TO BE IN NATIVE PLANTINGS
EXISTING VEGETATION TO REMAIN AND BE USED TOWARD REQUIREMENT.
NO MORE THAN FORTY-PERCENT (40%) OF THE AREA TO BE BAHIA SOD.

REQUIRED TREES ON SITE

25.59 Acres (1,114,700.4 SF) TOTAL SITE
1.88 Acres (81,892.8 SF) PROJECT SITE AREA
REQUIRED: LANDSCAPED GREEN SPACE
1.88 Acres (81,892.8 SF) PROJECT SITE AREA
1.07 Impervious Acres (46,609.2 SF) 57% PROJECT SITE AREA
0.81 Open Space Acres (35,283.6 SF) 43% PROJECT SITE AREA
1.88 Acres (81,892.8 SF) PROJECT SITE AREA LESS
0.36 Acres (15,840 SF) PROJECT GREENBELT SITE AREA
DIVIDED BY ONE (1) TREE PER 1,500 S.F. = 44 TREES
0.81 Acres (35,283 SF) PROJECT LANDSCAPE AREA LESS
0.36 Acres (15,840 SF) PROJECT GREENBELT SITE AREA
DIVIDED BY ONE (1) TREE PER 400 S.F. = 48 TREES
MINIMUM 127 TREE CREDITS REQUIRED

THE STERN DESIGN GROUP, P.A.
LANDSCAPE ARCHITECTS LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 FAX 788-3880
Stern.Design.Group@att.net

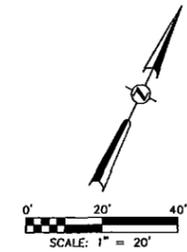
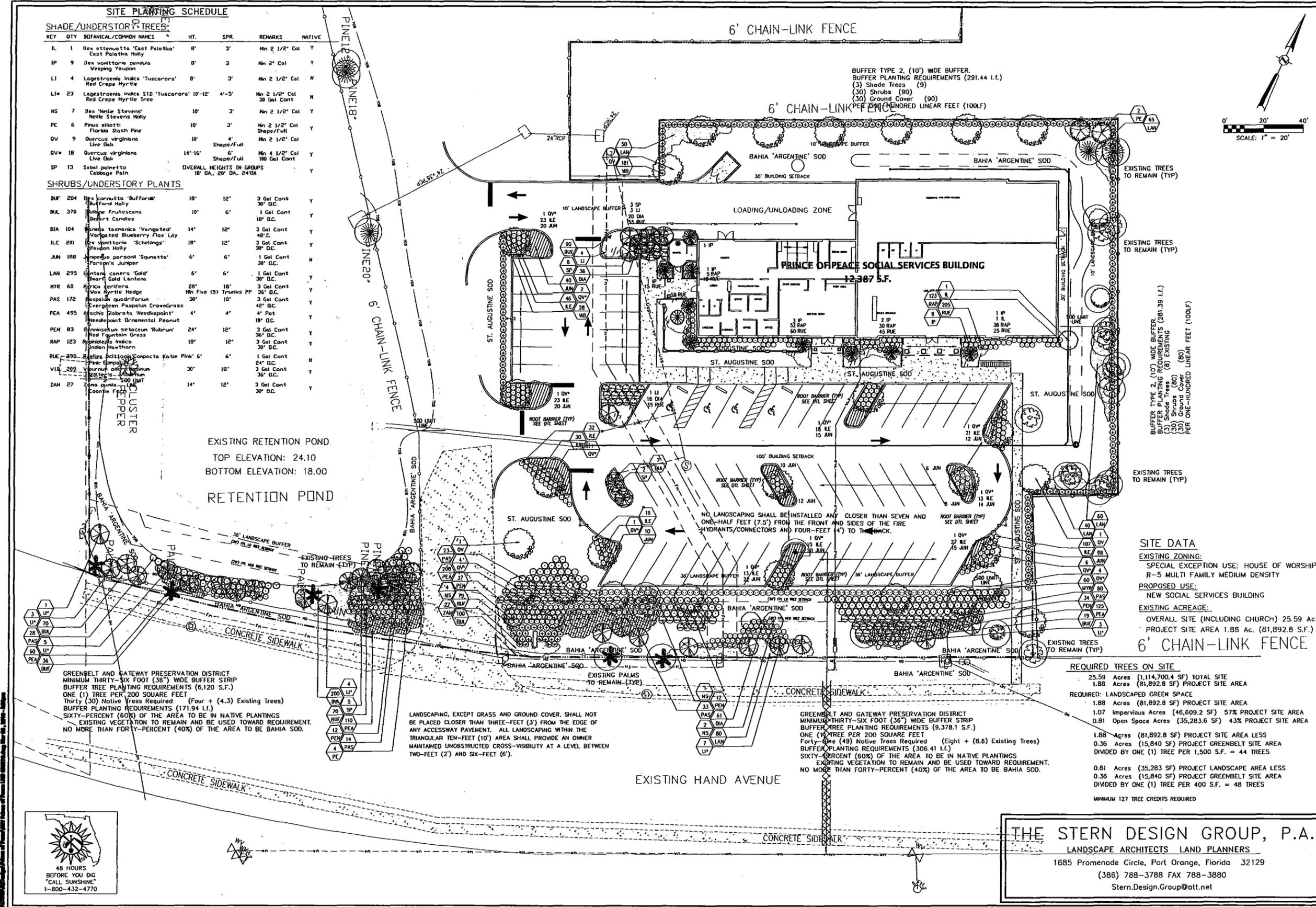
ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
1100 UNIVERSITY BLVD., SUITE 100
PORT ORANGE, FLORIDA 32129
TEL: (386) 788-3788 FAX: (386) 788-3880

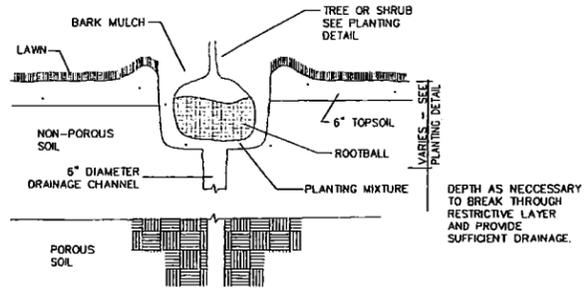
PRINCE OF PEACE SOCIAL SERVICES BUILDING
ORMOND BEACH, FLORIDA
LANDSCAPE PLANTING PLAN

NO.	CITY COMMENTS	REV.	DATE
1			

DESIGNED BY
DRAWN BY
FILE
LANDSCAPE PLANTING
PROJECT
0011-1
DATE
06/2008
SCALE
1" = 20'

SHEET
L2 OF 8





DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

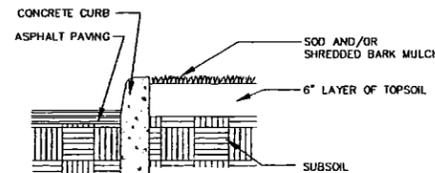
- DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- FILL PLANTING PIT TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR INCHES (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND DRAINAGE CHANNEL IS NOT REQUIRED. IF HOWEVER, THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON-POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

DRAINAGE CHANNEL DETAIL

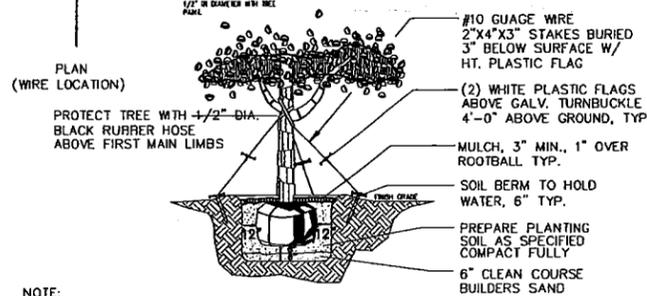
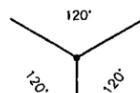
NOT TO SCALE

NOTE:

TURF AND/OR MULCH IS TO BE INSTALLED SO AS TO BE FLUSH WITH TOP OF ADJACENT CURB.



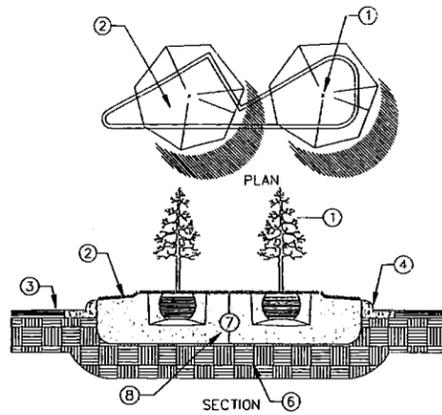
SOD/MULCH AT CURB



NOTE: CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION

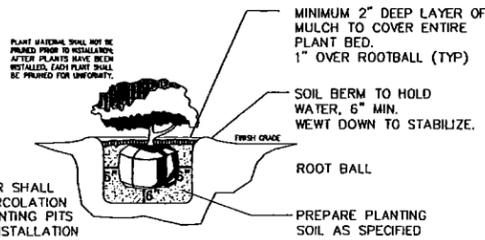
TREE PLANTING DETAIL

Scale: N.T.S.



TYPICAL PLANTER ISLAND

NOT TO SCALE

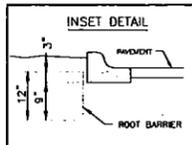
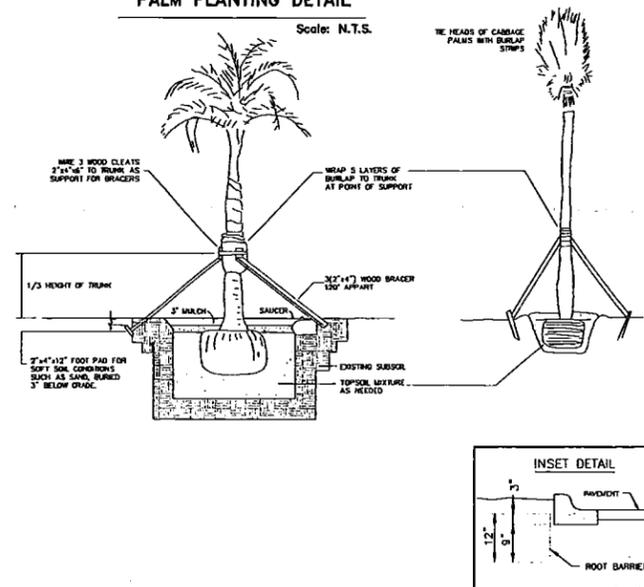


TYPICAL SHRUB AND GROUND COVER PLANTING DETAIL

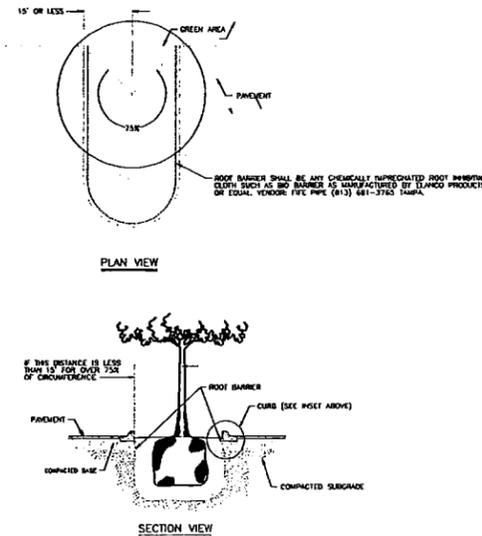
Scale: N.T.S.

PALM PLANTING DETAIL

Scale: N.T.S.



ROOT BARRIER INSTALLATION NOT REQUIRED FOR PALMS



ROOT BARRIER INSTALLATION

NOT TO SCALE

IRRIGATION NOTES

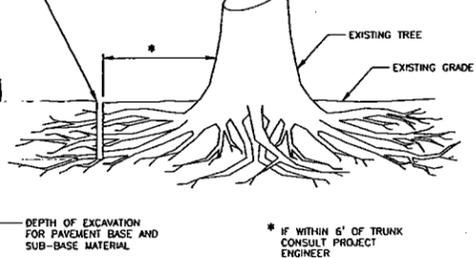
- ALL PIPE NOT SIZED TO BE 1/2" CLASS 1120-160 P.S.I. P.V.C.
- ALL SLEEVES AND MAIN LINE TO BE SCHEDULE 40 P.V.C. PIPE.
- THE ENTIRE SYSTEM TO BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES. CONTRACTOR TO SUPPLY AND INSTALL ALL CHECK VALVES, BACKFLOW PREVENTORS, PERMITS, ETC. AS REQUIRED BY THESE CODES EVEN IF THOSE ITEMS ARE NOT SHOWN ON DRAWINGS.
- ALL SLEEVES UNDER ASPHALT PAVEMENT TO BE BURIED 24" BELOW PAVEMENT SURFACE. ALL SLEEVES UNDER SIDEWALKS TO BE BURIED 12" BELOW SIDEWALK SURFACE. SLEEVE SIZE TO BE 3.5X LATERAL SIZE.
- MAIN LINE LOCATION IS SHOWN SCHEMATICALLY. WHEREVER POSSIBLE LATERAL LINES ARE TO BE BURIED IN COMMON TRENCH WITH MAIN LINE.
- ALL LOW VOLTAGE WIRING TO BE #14 DIRECT BURIAL WIRE.
- ALL SPRAY HEADS OR NOZZLES IN PLANTING BEDS TO BE PLACED ON RISERS (SCHEDULE 40) OF APPROPRIATE HEIGHT TO PLANTING AND RISERS TO BE PAINTED COLOR TO MATCH HEAD OR NOZZLE COLOR.
- ALL HEADS IN OPEN LAWN AREAS TO BE MOUNTED ON SWAG JOINTS.
- ALL WORK TO BE DONE IN GOOD WORKMAN LIKE MANNER AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL LINE LOCATIONS ARE APPROXIMATE. CONTRACTOR TO ADJUST TRENCHING IN FIELD FOR EXISTING CONDITIONS, PLANTINGS AND STRUCTURES.
- HEAD LOCATIONS ARE APPROXIMATE. CONTRACTOR TO MAINTAIN 100% COVERAGE WITH APPROXIMATELY 50% OVERLAP WHEN MAIN HEAD LOCATIONS CHANGES ARE NECESSARY DUE TO FIELD CONDITIONS.
- ALL ELECTRICAL WORK NOT LOW VOLTAGE IN NATURE IS NOT PART OF THE IRRIGATION CONTRACT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND EXISTENCE OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY UTILITIES IN THE FIELD. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE AND ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES.
- THERE SHALL BE A ONE (1) YEAR GUARANTEE ON ALL PARTS AND A NINETY (90) DAY GUARANTEE ON LABOR FROM THE DATE OF FINAL ACCEPTANCE.
- AT THE END OF 90 DAYS FROM THE DATE OF ACCEPTANCE, THE CONTRACTOR SHALL CHECK AND ADJUST (IF NECESSARY) THE ENTIRE SYSTEM.
- CONTRACTOR SHALL MARK STATIONS ON THE CONTROLLER PANEL TO CORRESPOND WITH THE ZONE NUMBERS ON THIS PLAN AND SET OPERATING SEQUENCE TO CORRESPOND TO THE NUMBERING.
- ALL SLEEVES UNDER ASPHALT OR SIDEWALKS TO BE INSTALLED PRIOR TO PAVING INSTALLATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUMP(S) AND WELL(S) SIZES.
- IRRIGATION CONTRACTOR IS TO VERIFY ALL DRAWINGS AND CHECK FOR DISCREPANCIES AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR A FINAL FINISHED WORKING IRRIGATION SYSTEM AND SUPPLYING AS-BUILT DRAWINGS.

PLANTING NOTES

- ALL MATERIALS ARE TO BE FLORIDA #1 OR BETTER, INSTALLED ACCORDING TO THE HIGHEST NURSERY STANDARDS.
- MULCH IS TO BE 100% SHREDDED CYPRESS, GRADE "A", INSTALLED A MINIMUM OF 3" THICK IN ALL PLANTING AREAS. MULCHED PLANTING BEDS SHALL BE A MINIMUM OF 30" WIDE AND SHALL BE CONTINUOUS WHERE PLANTINGS ARE PROPOSED.
- ALL AREAS MARKED SOD ON THE PLANS, SHALL BE SOODED WITH 95% WEED-FREE ST. AUGUSTINE "FLORATAM" SOLID SOD. SOD SHALL BE INSTALLED WITH TIGHT JOINTS, BOLLED, AND FERTILIZED. NUTRIENTS SHALL BE ADDED TO THE SOIL AS PER SOIL TESTING RESULTS.
- BARRI SOLID SOD SHALL BE USED ON ALL AREAS SO MARKED AS IN SWALES, RIGHT-OF-WAYS, DISTURBED AREAS, OR OTHER AREAS SUBJECT TO EROSION.
- GRASS SEEDING AREAS SHALL MEET FLORIDA STATE DEPARTMENT OF TRANSPORTATION STANDARDS.
- LANDSCAPE CONTRACTOR IS TO LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING THE WORK. THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITY OR IRRIGATION LINES.
- LANDSCAPE CONTRACTOR IS TO VERIFY ALL DRAWINGS AND CHECK FOR DISCREPANCIES AND BRING THEM TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
- THE PLANT MATERIALS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY, PLANTING PLANS SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
- NO SUBSTITUTIONS WILL BE MADE AT THE TIME OF BIDDING OR CHANGES OF ANY KIND, SO AS TO PROVIDE FOR FAIR COMPARISONS. NO FURTHER CHANGES ARE TO BE MADE WITHOUT PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
- 100% AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED ACCORDING TO THE IRRIGATION PLAN AND SPECIFICATIONS WITH A MINIMUM 50% OVERLAP. ALL IRRIGATION AND ELECTRICAL LINES ARE TO BE LOCATED AT THE PERIMETER OF ALL PLANTERS AND/OR PLANTING AREAS.
- ALL BUILDING MATERIALS AND LABOR ARE TO CONFORM TO THE SOUTHERN BUILDING CODE AND ALSO TO ALL LOCAL CODES THAT HAVE JURISDICTION.
- ALL PERMIT AND VARIANCE APPLICATION ARE TO BE MADE BY THE CONTRACTOR.
- PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM, A WATER TEST IS TO BE CONDUCTED ON THE WATER SOURCE TO DETERMINE PH. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT IF THE RESULTING WATER PH. REQUIRES AMENDING PLANT SELECTIONS OR MODIFYING WATER SOURCE.
- PRIOR TO CONSTRUCTION OF PLANTING BEDS, ALL AREAS ARE TO HAVE SOIL TESTS CONDUCTED TO DETERMINE PH, AND FERTILITY. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO AMEND THE SOIL TO MEET ADEQUATE FERTILITY AND PH. FOR CORRESPONDING PLANT MATERIALS.
- PRIOR TO THE LAND CLEARING STAGE, THE CONTRACTOR SHALL CLEARLY MARK ANY TREE, TREE GROUPS OR SHRUBS TO BE MAINTAINED IN THE PROXIMITY OF ANY AREA WHERE LAND CLEARING EQUIPMENT IS TO BE OPERATED. THE MARKINGS SHALL REMAIN IN PLACE DURING CONSTRUCTION. SAID EQUIPMENT SHALL BE OPERATED IN A MANNER AS TO NOT INJURE OR DESTROY TREE (3) FEET IN HEIGHT SHALL BE FORMED A MINIMUM RADIUS OF SIX (6) FEET FROM THE BASE OF THE TREES OR SHRUBS, AND THE DEVELOPER SHALL NOT CAUSE OR ALLOW THE CLEARING OF EQUIPMENT OR MATERIAL WITHIN THE DRIP LINE OF ANY TREE OR GROUPS OF TREES TO BE MAINTAINED. NEITHER SHALL THE DEVELOPER CAUSE OR ALLOW THE DISPOSAL OF WASTE MATERIAL, SUCH AS PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR OR OTHER MATERIALS HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY TREE OR GROUPS OF TREES. NO ATTACHMENT WIRES (OTHER THAN PROTECTION GUY WIRES), SIGNS, OR PERMITS MAY BE FASTENED TO A TREE.
- REMOVE ALL TAGS FROM INSTALLED PLANT MATERIALS.
- PLACE TERRA SORB UNDER THE ROOT BALL OF ALL PLANT MATERIALS.
- ALL TREES ARE TO BE GUYED WITH "DUCKBILL" ANCHORING SYSTEMS OR AN APPROVED EQUAL.
- ALL TREE CALIPERS ARE TO BE MEASURED ACCORDING TO LOCAL CODES AND ORDINANCES.
- ALL QUESTIONS CONCERNING THE PLAN AND/OR SPECIFICATIONS ARE TO BE DIRECTED TO THE LANDSCAPE ARCHITECT. (386-788-3788)
- ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE TIME OF FINAL ACCEPTANCE. ALL REPLACEMENTS TO BE MADE WITHIN TWO (2) WEEKS OF CONTRACTOR NOTIFICATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING AS-BUILT DRAWINGS DIRECTLY TO THE LANDSCAPE ARCHITECT UPON COMPLETION.

NOTES:

- CUTS ARE TO BE MADE CLEANLY WITH A SHARP ROOT PRUNING TOOL (SUCH AS A BOSCO OR VERBEEP ROOT PRUNER).
- INSTALL ORANGE PLASTIC MESH TREE BARRIER, WITH REBAR SUPPORTS, AT POINT OF PRUNING AND CONTINUE COMPLETELY AROUND TREE, PROTECTING THE AREA WITHIN THE DRIPLINE (EXTENT OF OUTER BRANCHES).
- ROOT PRUNING PROCEDURE MUST BE DONE AND INSPECTED PRIOR TO ISSUANCE OF A BUILDING PERMIT OR GRADING AND FILLING PERMIT. POINT AT WHICH ROOTS ARE PRUNED PRIOR TO EXCAVATION



THE STERN DESIGN GROUP, P.A.

LANDSCAPE ARCHITECTS • LAND PLANNERS
1685 Promenade Circle, Port Orange, Florida 32129
(386) 788-3788 FAX 788-3880
Stern.Design.Group@att.net

ALAN ENGINEERING GROUP, INC. CONSULTING ENGINEERS 113 COMMONWEALTH BLVD. S. SUITE 1000 PORT ORANGE, FLORIDA 32129 TEL: (386) 788-3788 FAX: (386) 788-3880

PRINCE OF PEACE CHURCH ORMOND BEACH, FLORIDA LANDSCAPE AND IRRIGATION DETAILS

NO.	REVISION	DATE

DESIGNED BY JS
DRAWN BY JS
FILE LANDSCAPE DETAILS
PROJECT 0011-1
DATE 12/2000
SCALE AS SHOWN

SEE LA-3 OF 3

STAFF REPORT

City of Ormond Beach Department of Planning

DATE: April 1, 2010

SUBJECT: Miro Medical Wall Waiver – Special Exception

APPLICANT: Steve Buswell, P.E., of Parker Mynchenberg and Associates, Inc.

NUMBER: 10-00000041

PROJECT PLANNER: Steven Spraker, AICP, Senior Planner

INTRODUCTION:

This is a request for a Special Exception by Steve Buswell, P.E., of Parker Mynchenberg and Associates, Inc. on behalf of the property owner, Dr. Robert Borer, D.M.D, of Miro Group, LLC for a Special Exception for a wall waiver along the southern (by the retention pond) and western (by 200 Sage Brush Trail) property boundary. The medical office consisting of 6,400 square feet has been approved by the City's Site Plan Review Committee. **The application is solely to consider the wall waiver request.** The project proposes additional landscaping along these property boundaries in lieu of the masonry wall. The site is located at 150 Sage Brush Trail.

BACKGROUND:

The subject property is currently vacant. The property has a future land use designation of "Office/Professional" and a zoning designation of B-10 (Suburban Boulevard). The City's Site Plan Review Committee (SPRC) received and approved a site plan application for a 6,400 square foot medical office and associated site improvements. The use is a permitted use in the zoning district.

To the north of the property is the stormwater retention/lake for a portion of the Trails South Forty subdivision. The property abuts a common area and the townhomes at 200/202 Sage Brush Trail. To the east is a vacant B-10 zoning parcel. The site plan shows that the sidewalk for the townhomes is on the subject property without any easements. The buffer and improvements are designed to allow the sidewalk to stay where it exists today.

Table 1: Site Aerial: Surrounding Uses



Table 2: Surrounding Uses with Land Use and Zoning Designations:

	Use	Future Land Use Designation	Zoning
North	1 Medical Offices	“Office/Professional”	B-10 (Suburban Boulevard)
South	2 Retention Pond	“Medium Density Residential”	R-4 (Single-Family Cluster & Townhouse)
East	3 Vacant	“Office/Professional”	B-10 (Suburban Boulevard)
West	4 Residential Townhomes	“Medium Density Residential”	R-4 (Single-Family Cluster & Townhouse)

As part of the application the SPRC required a masonry wall where abutted the residential zoning per Section 2-50.N.13 of the Land Development Code. This Section also allows the ability to waive the required masonry wall or provide alternative buffer requirements.

PROJECT DESCRIPTION:

The project and site improvements have been approved by the SPRC. **The sole issue subject to the Special Exception application is the wall waiver request.** The project has been designed to meet all applicable LDC provisions including stormwater, parking, access, building architecture and site lighting. At the community meeting, the applicant stated that the desire for the wall waiver was based on the economics of project development and the belief that the landscaping would provide a better buffer next to the existing common area/townhomes. Additionally, the applicant stated that the medical office desired to have a view corridor of the retention pond/lake.

ANALYSIS:

The applicant has applied for the Special Exception to waive the wall requirement along the retention pond and install additional landscaping along the interface of the common area and 200 Sage Brush Trail. As part of the application process, a community meeting was conducted on March 1, 2010. The applicant sent out approximately 56 notices to property owners within 600 feet of the site. There were over 50 participants at the community meeting.

There were a number of topics discussed at the community meeting. These include:

1. What if an individual drowns in the HOA owned retention area? *The issue of the wall has no impact of the ability of an individual to access the stormwater pond. There is current access from the clubhouse and from the area in front of 200 Sage Brush Trail.*
2. Why is the applicant applying for the wall waiver? *The applicant stated that they are applying for the wall waiver to open view corridors of the stormwater pond, based on economic considerations, and a belief that the landscape would be a better buffer.*
3. What guarantee would the residents have that the landscaping would be maintained? *The City does perform follow-up landscape inspections after final construction approval. Additionally, if there are complaints filed with City staff, an inspection would be performed to determine if the plantings were in compliance with the approved landscape plan.*
4. There was a discussion of the existing HOA sidewalk located within the boundaries of the subject property. *The applicant has designed the site around the existing sidewalk and is not requiring the removal of the sidewalk. There was also a discussion of the common area between the sidewalk and the subject property.*
5. The adjoining property owner, Ms. Peters, desires to have a masonry wall and is not in favor of the wall waiver request. *Staff met with Ms. Peters after the*

meeting and she is against the wall waiver request and has provided a letter for the Board's consideration.

6. Location of the dumpster. *There is no dumpster proposed. The medical office will use roll-off totes that will be collected similar to a single-family house.*
7. Would any type of wall be allowed? *The City requires that all masonry walls have a stucco finish and be painted similar to the building.*
8. What are the maintenance requirements of the wall? *There was considerable discussion regarding how masonry walls are maintained. Similar to the landscaping, staff performs after construction inspections. Additionally, complaints filed with the City would trigger an inspection and if the wall has not been maintained, this would result in code enforcement action to obtain compliance with the approved plan.*

At the beginning of the meeting, many of the attendees desired that the wall be required against the stormwater retention and the common area/200 Sage Brush Trail residence. The applicant presented a landscape plan that provides a double hedge row that would grow to a height of 6'. After much discussion and the applicant's presentation, the attendees voted to have an increased landscape buffer rather than require a masonry wall.

Below is a table of the approved SPRC Landscape plan with a masonry wall and the proposed increased landscape plan with no wall.

Table 3: Landscape Planting List

Approved SPRC Landscape Plan

Abb	Botanical name	Common Name	Qty.	Size
VS	Viburnum Suspensum	Sandankwa Viburnum	115	3 gal, 30" o.c., min. height 24"
LR	Liquidambar s. Rotundiloba	Sweet Gum	3	15 gal., 10'-18'; 3.5" caliper at 6"
UP	Ulmus Parvifolia "Drake"	Drake Elm	4	25 gal., 14'-17' ht, 2.5 min. caliper @6"
QV	Quercus Virginiana	Live Oak	2	95 gal, 12'-22' ht; 4" min caliper @ 6"

Proposed Wall Waiver Landscape Plan

Abb	Botanical name	Common Name	Qty.	Size
VS	Viburnum Suspensum	Sandankwa Viburnum	115	7 gal, 30" o.c., min. height 36"
LR	Liquidambar s. Rotundiloba	Sweet Gum	3	15 gal., 10'-18'; 3.5" caliper at 6"
UP	Ulmus Parvifolia "Drake"	Drake Elm	4	25 gal., 14'-17' ht, 2.5 min. caliper @6"
QV	Quercus Virginiana	Live Oak	2	95 gal, 12'-22' ht; 4" min caliper @ 6"
VO	Viburnum Odoratissimum	Viburnum, Sweet	72	7 gal, 30" o.c., min. height 36"

Options:

The applicant is requesting to waive the required masonry wall along the southern (by the retention pond) and western (by 200 Sage Brush Trail) property boundary. There are three options available to choose from:

1. Require the masonry wall along the southern (by the retention pond) and western (by 200 Sage Brush Trail) property boundary.

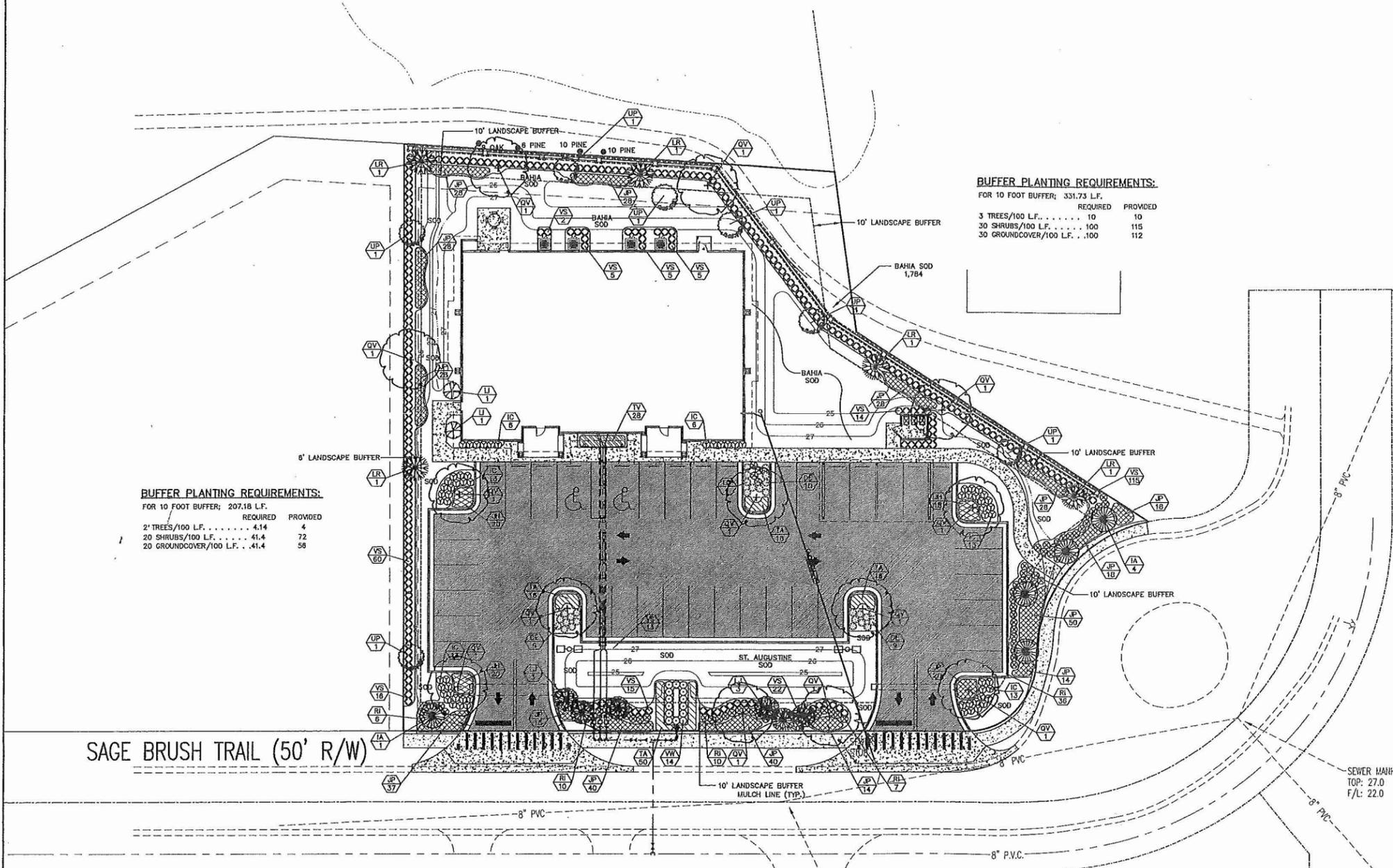
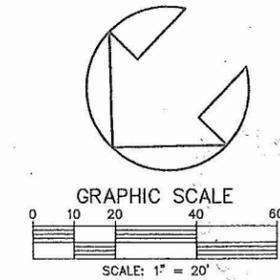
Analysis: Staff concurs with the applicant regarding the waiver along the stormwater retention pond. Additionally, the wall would be located in an existing drainage easement which typically prohibits the installation of structures within the easement area. Staff met with the property owner of the abutting property owner at 200 Sage Brush, immediately abutting the project area. The property owner was concerned regarding the size of the proposed landscaping and believed that waiving the wall would negatively impact her property.

2. Waive the masonry wall and require additional landscaping as proposed by the Special Exception application.

Analysis: As stated earlier, the consensus of the community meeting was to implement this option. Staff expressed concern regarding the proposed material along the western property line. After the community meeting, the applicant upsized the hedge material from 3 gallon plantings to 7 gallon materials, approximately 3 feet in height. The City Landscape Architect has provided an opinion that the plantings "will take approximately one or two additional growing seasons to provide a vegetative buffer that is equivalent with the required 6' masonry wall, as they are being proposed at a height of 36".

Staff desires to ensure that the Planning Board and residents understands that at the time of Certificate of Occupancy the plantings will not achieve a height of 6 feet and that it will take a year or two obtain this height. Another option is to

OPTION 1: REQUIRE MASONRY WALL



BUFFER PLANTING REQUIREMENTS:
FOR 10 FOOT BUFFER; 331.73 LF.

	REQUIRED	PROVIDED
3 TREES/100 LF.	10	10
30 SHRUBS/100 LF.	100	115
30 GROUNDCOVER/100 LF.	100	112

BUFFER PLANTING REQUIREMENTS:
FOR 10 FOOT BUFFER; 207.18 LF.

	REQUIRED	PROVIDED
2' TREES/100 LF.	4.14	4
20 SHRUBS/100 LF.	41.4	72
20 GROUNDCOVER/100 LF.	41.4	58

BUFFER PLANTING REQUIREMENTS:
FOR 10 FOOT BUFFER; 304.69 - 67.60 (DRIVEWAYS)=237.09 LF.

	REQUIRED	PROVIDED
3 TREES/100 LF.	7.11	7
30 SHRUBS/100 LF.	71.1	74
30 GROUNDCOVER/100 LF.	71.1	246

SITE DATA CHART

TOTAL SITE ACRES: 0.928 AC. = 40,440.72 SF.
 1 TREE/1500 SF.
 40440.72/1,500 SF = 26.96 TREES REQUIRED
 1 TREE/400 SF. OF LANDSCAPE AREA
 18548.72/400 SF = 46.37 TREES REQUIRED (GREATER REQUIREMENT SHALL APPLY)

PROPOSED TREE CREDITS:
 12 TREES @ 2.5" X 1 TREE CREDIT = 12
 5 TREES @ 3.5" X 2 TREE CREDITS = 10
 13 TREES @ 4" X 2.5 TREE CREDITS = 32.5
 TOTAL TREE CREDITS = 54.5

PROPOSED PLANT LIST

SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
UP	UP	7	ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM (XERIC)	25 GAL., 14'-17' HT.; 2.5" MIN. CAL @ 6"
QV	QV	13	QUERCUS VIRGINIANA	LIVE OAK (XERIC)	95 GAL., 12'-22' HT.; 4" MIN. CAL @ 6"
LR	LR	5	LIQUIDAMBAR s. ROTUNDILOBA	SWEET GUM (FRUITLESS) (XERIC)	65 GAL., 10'-18' HT.; 3.5" MIN. CAL @ 6"
IA	IA	5	ILEX X 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY (XERIC)	25 GAL., 6'-16' HT.; 2.5" MIN. CAL @ 6"
LI	LI	2	LAGERSTROEMIA INDICA	CRAPE MYRTLE (XERIC)	15 GAL., 4'-6' HT.; 1.5" MIN. CAL. MULTI TRUNK
LJ	LJ	6	LIGUSTRUM JAPONICUM	JAPANESE PRIVET (XERIC)	15 GAL., 4'-6' HT.; 1.5" MIN. CAL. MULTI TRUNK
RI	RI	59	RAPHIOLEPIS INDICA "ALBA"	INDIAN HAWTHORNE	3 GAL., 30" O.C. MIN HT. 10"
VS	VS	259	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 30" O.C. MIN HT. 24"
IC	IC	64	ILEX CORNUTA	DWARF BURFORD HOLLY (XERIC)	3 GAL., 30" O.C. MIN HT. 24"
VW	VW	14	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL., 30" O.C. MIN HT. 24"
DE	DE	28	DURANTA ERRECTA	GOLDEN DEWDROP	3 GAL., 30" O.C. MIN HT. 18"-24"
JP	JP	434	JUNIPERUS DAVURICA 'PARSONII'	PARSONS JUNIPER (XERIC)	1 GAL.; 12"-15" SPD. 18" O.C.
JH	JH	58	JUNIPERUS HORIZONTALIS	HORIZONTAL JUNIPER (XERIC)	1 GAL.; 12"-15" SPD. 18" O.C.
TV	TV	28	TULBAGHIA VIOLEACEA	SOCIETY GARLIC	1 GAL.; 18" O.C.
TA	TA	98	TRACHELOSPERMUM ASIA	ASIAN JASMINE	1 GAL.; 18" O.C.

SOD ST. AUGUSTINE (UNLESS OTHERWISE NOTED)

NOTE: SEE SHEET 8 OF 13 FOR LANDSCAPE NOTES

NO.	DATE	DESCRIPTION	BY
5	9-1-09	REVISED BUILDING FOOTPRINT/ADDED COVERED PARKING	JD
4	11-24-09	REVISED PER CITY COMMENTS	JD
3	1-12-09	REVISED PER CITY COMMENTS	JD
2	12-4-08	REVISED	JD
1	10-28-08	REVISED	JD

REVISIONS

PARKER MYNCHENBERG & ASSOCIATES, INC.
 PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS
 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117
 (386)677-6881 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com
 CERTIFICATE OF AUTHORIZATION NUMBER: 00003910

LANDSCAPE PLAN

MIRO MEDICAL CENTER

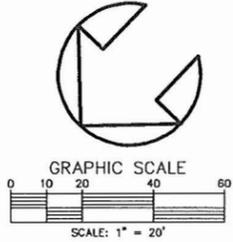
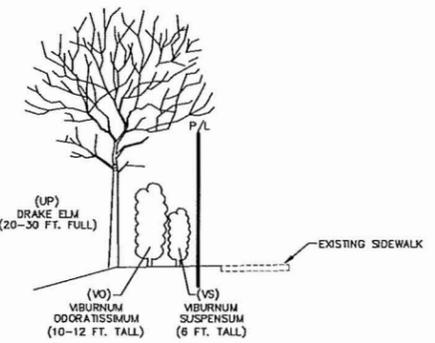
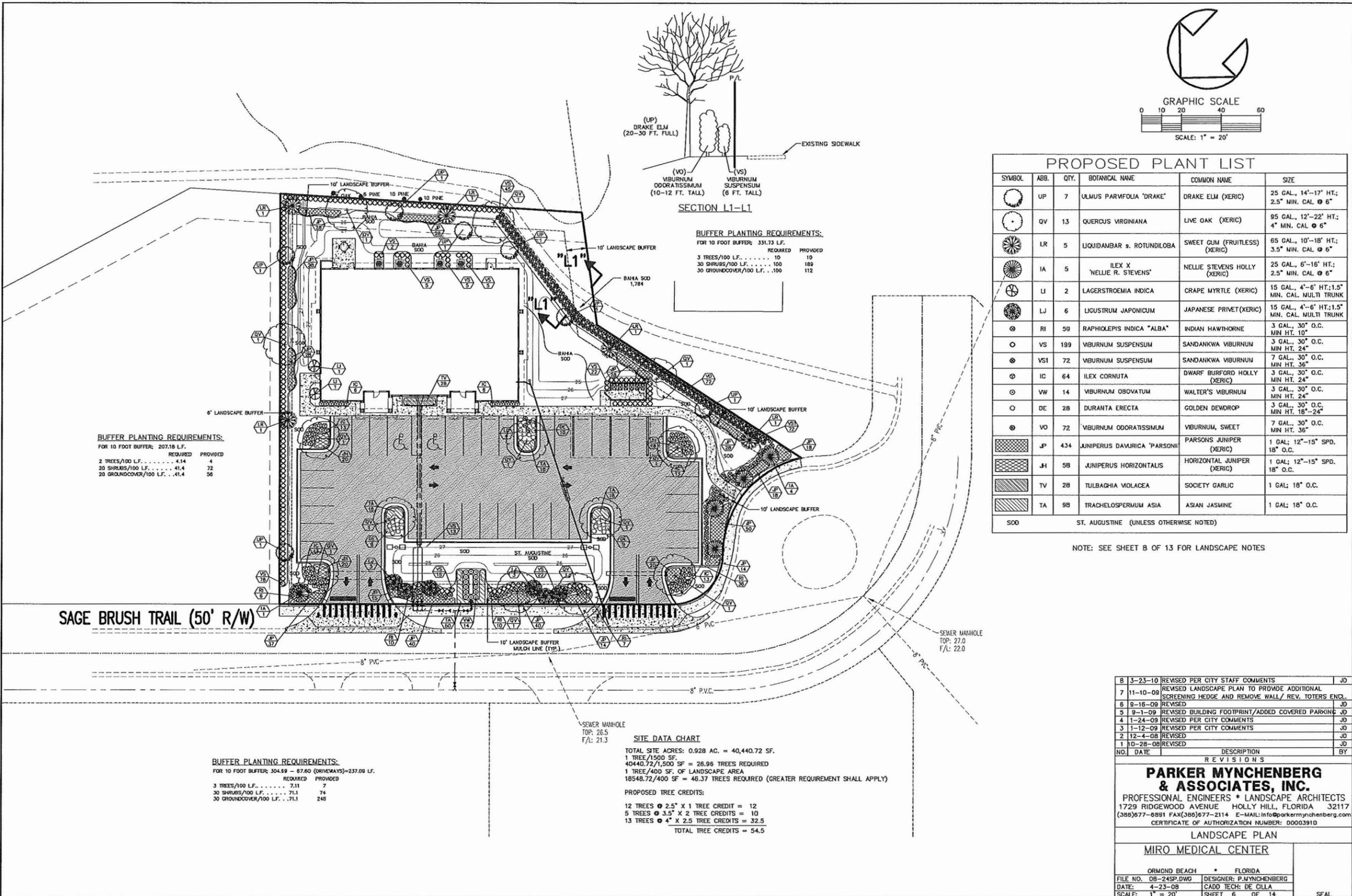
ORMOND BEACH * FLORIDA

FILE NO. 08-24SP.DWG	DESIGNER: P.MYNCHENBERG
DATE: 4-23-08	CADD TECH: DE CILLA
SCALE: 1" = 20'	SHEET 6 OF 14

SEAL

Approved SPRC Plan

C:\PDS\WORK\08_08\080808_08_09\08-24SP.dwg, 9/1/2009 8:58:28 AM, HP Designer: T:\100-4401\080808_08_09_120



BUFFER PLANTING REQUIREMENTS:
FOR 10 FOOT BUFFER: 207.18 L.F.

	REQUIRED	PROVIDED
2 TREES/100 L.F.	4.14	4
20 SHRUBS/100 L.F.	41.4	72
20 GROUNDCOVER/100 L.F.	41.4	56

BUFFER PLANTING REQUIREMENTS:
FOR 10 FOOT BUFFER: 331.73 L.F.

	REQUIRED	PROVIDED
3 TREES/100 L.F.	10	10
30 SHRUBS/100 L.F.	100	189
30 GROUNDCOVER/100 L.F.	100	112

BUFFER PLANTING REQUIREMENTS:
FOR 10 FOOT BUFFER: 304.89 - 67.60 (DRIVEWAYS)=237.09 L.F.

	REQUIRED	PROVIDED
3 TREES/100 L.F.	7.11	7
30 SHRUBS/100 L.F.	71.1	74
30 GROUNDCOVER/100 L.F.	71.1	246

SITE DATA CHART
TOTAL SITE ACRES: 0.928 AC. = 40,440.72 SF.
1 TREE/1500 SF.
40440.72/1,500 SF = 26.96 TREES REQUIRED
1 TREE/400 SF. OF LANDSCAPE AREA
18548.72/400 SF = 46.37 TREES REQUIRED (GREATER REQUIREMENT SHALL APPLY)
PROPOSED TREE CREDITS:
12 TREES @ 2.5' X 1 TREE CREDIT = 12
5 TREES @ 3.5' X 2 TREE CREDITS = 10
13 TREES @ 4' X 2.5 TREE CREDITS = 32.5
TOTAL TREE CREDITS = 54.5

PROPOSED PLANT LIST

SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
UP	7	7	ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM (XERIC)	25 GAL., 14'-17' HT.; 2.5" MIN. CAL. @ 6"
QV	13	13	QUERCUS VIRGINIANA	LIVE OAK (XERIC)	95 GAL., 12'-22' HT.; 4" MIN. CAL. @ 6"
LR	5	5	LIQUIDAMBAR s. ROTUNDILOBA	SWEET GUM (FRUITLESS) (XERIC)	65 GAL., 10'-18' HT.; 3.5" MIN. CAL. @ 6"
IA	5	5	ILEX X 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY (XERIC)	25 GAL., 6'-16' HT.; 2.5" MIN. CAL. @ 6"
LI	2	2	LAGERSTROEMIA INDICA	GRAPE MYRTLE (XERIC)	15 GAL., 4'-6' HT.; 1.5" MIN. CAL. MULTI TRUNK
LJ	6	6	LIGUSTRUM JAPONICUM	JAPANESE PRIVET (XERIC)	15 GAL., 4'-6' HT.; 1.5" MIN. CAL. MULTI TRUNK
RI	59	59	RAPHIOLEPIS INDICA 'ALBA'	INDIAN HAWTHORNE	3 GAL., 30" O.C. MIN HT. 10"
VS	189	189	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 30" O.C. MIN HT. 24"
VSI	72	72	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	7 GAL., 30" O.C. MIN HT. 36"
IC	64	64	ILEX CORNUTA	DWARF BURFORD HOLLY (XERIC)	3 GAL., 30" O.C. MIN HT. 24"
VW	14	14	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL., 30" O.C. MIN HT. 24"
DE	28	28	DURANTA ERECTA	GOLDEN DEWDROP	3 GAL., 30" O.C. MIN HT. 18"-24"
VO	72	72	VIBURNUM ODORATISSIMUM	VIBURNUM, SWEET	7 GAL., 30" O.C. MIN HT. 36"
JP	434	434	JUNIPERUS DAURICA 'PARSONI'	PARSONS JUNIPER (XERIC)	1 GAL.; 12"-15" SPD. 18" O.C.
JH	58	58	JUNIPERUS HORIZONTALIS	HORIZONTAL JUNIPER (XERIC)	1 GAL.; 12"-15" SPD. 18" O.C.
TV	28	28	TULBAGHIA MOLACEA	SOCIETY GARLIC	1 GAL; 18" O.C.
TA	98	98	TRACHELOSPERMUM ASIA	ASIAN JASMINE	1 GAL; 18" O.C.

SOD ST. AUGUSTINE (UNLESS OTHERWISE NOTED)

NOTE: SEE SHEET B OF 13 FOR LANDSCAPE NOTES

NO.	DATE	DESCRIPTION	BY
8	3-23-10	REVISED PER CITY STAFF COMMENTS	JD
7	11-10-09	REVISED LANDSCAPE PLAN TO PROVIDE ADDITIONAL SCREENING HEDGE AND REMOVE WALL/ REV. TOTERS END.	JD
6	9-16-09	REVISED	JD
5	9-1-09	REVISED BUILDING FOOTPRINT/ADDED COVERED PARKING	JD
4	1-24-09	REVISED PER CITY COMMENTS	JD
3	1-12-09	REVISED PER CITY COMMENTS	JD
2	12-4-08	REVISED	JD
1	10-28-08	REVISED	JD

PARKER MYNCHENBERG & ASSOCIATES, INC.
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com
CERTIFICATE OF AUTHORIZATION NUMBER: 00003910

LANDSCAPE PLAN
MIRO MEDICAL CENTER

ORMOND BEACH * FLORIDA
FILE NO. 08-24SP.DWG DESIGNER: P.MYNCHENBERG
DATE: 4-23-08 CADD TECH: DE OLLA
SCALE: 1" = 20' SHEET 6 OF 14 SEAL

OPTION 2
INCREASED LANDSCAPING

require a single hedge row that would be required to be 6' at time of Certificate of Occupancy.

3. Waive the wall requirement along the southern (by the retention pond) and require a six foot PVC vinyl fence along the western (by 200 Sage Brush Trail) property boundary with 3 gallon shrubs on each side.

Analysis: This option suggests a PVC fence of approximately 165 feet and the provision of the 3 gallon single hedge row on the inside (towards the Miro Medical building). There is existing vegetation along the majority of the PVC fence section that would provide a screening to the outside of the fence.

Special Exception Criteria

Section 2-56 of the Land Development Code outlines the general criteria for all Special Exception approvals:

- B. Off-street parking loading and service areas shall be provided and located such that there is no adverse impact on adjoining properties, beyond that generally experienced in the district.***

The project provides 38 parking spaces, with 4 covered spaces, and meets the parking requirements for medical offices. The wall waiver will not impact the project parking.

- C. Required yards, screening or buffering, and landscaping shall be consistent with the district in general, the specific needs of the abutting land uses, Chapter 3, Article 1, and other applicable provisions of this Code.***

The project meets or exceeds the required landscaping of Chapter 3, Article 1. The applicant is requesting to waive the required masonry wall along the southern (by the retention pond) and western (by 200 Sage Brush Trail) property boundary.

- D. Size, location, or number of conditional or Special Exceptions in an area shall be limited so as to maintain the overall character of the district in which said conditional or Special Exceptions are located.***

There have been no other Special Exceptions in this area in the recent past and this request is solely for the wall waiver. The requested use is allowed as a permitted use.

- E. Hours of operation may be limited and the City may require additional information on structural design and site arrangement, to assure the compatibility of the development with existing and proposed uses in the surrounding area.***

The proposed use is a dental office with typical office hours. There is not a need to restrict the hours of operation based on the proposed use.

F. *The Special Exception shall not generate hazardous waste or require use of hazardous materials in its operation without use of City-approved mitigative techniques.*

This Special Exception will not generate hazardous waste.

G. *All development proposed as a Special Exception within or adjacent to a historic district shall be reviewed based on applicable criteria stated herein for residential, commercial or mixed use development and shall also comply with appearance and design guidelines for historic structures.*

The project is not located within, or adjacent to, a historic district and this criteria does not apply to the project development.

H. *Outdoor lighting shall have no spillover onto adjacent property or rights-of-way beyond the building site property line and the lumens shall not exceed two (2) foot-candles at the property line.*

The applicant has provided site lighting on the site plan and has demonstrated that the project will not have lighting impacts beyond their property boundary.

CONCLUSION:

Per Section 1-17.D.4 of the Land Development Code, “The Board may make a recommendation to the City Commission for approval, approval with conditions, or denial. Where the Board recommendation is for denial, the reason(s) for the denial shall be included in the motion. In making its recommendation, the Board shall consider the following findings, which shall be made by the City Commission in conjunction with the issuance of any Development Order subject to public hearing, other than rezonings”:

1. *The proposed development conforms to the standards and requirements of this Code and will not create undue crowding beyond the conditions normally permitted in the zoning district, or adversely affect the public health, safety, welfare or quality of life.*

The proposed development conforms to the standards and requirements of the Land Development Code. The proposed use will not create undue crowding or adversely affect the public health.

2. *The proposed development is consistent with the Comprehensive Plan.*

The site has a Future Land Use designation of “Office/Professional”, which is consistent with the proposed use. Policy 1.2.1 of the Future Land Use Element states that the “Office/Professional” land use category is designed for , “Areas of the City that are intended for use by general office, medical and professional uses.” The Directive Text states that the “Office/Professional” land use is compatible next to residential uses, particularly, medium and high density residential.

- 3. The proposed development will not adversely impact environmentally sensitive lands or natural resources, including but not limited to waterbodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants and animal species or species of special concern, wellfields, and individual wells.**

The proposed development will not adversely impact environmentally sensitive lands or natural resources and is an existing developed site.

- 4. The proposed use will not substantially or permanently depreciate the value of surrounding property; create a nuisance; or deprive adjoining properties of adequate light and air; create excessive noise, odor, glare, or visual impacts on the neighborhood and adjoining properties.**

It is staff's determination that project will not negatively impact surrounding properties or cause depreciation. The property has an "Office/Professional" land use designation and was designed with the subdivision plat for office uses. The adjoining property owner at 200 Sage Brush Trail has indicated to City staff that her belief is that a buffer fence/wall should be installed and that a landscape buffer would be insufficient.

- 5. There are adequate public facilities to serve the development, including but not limited to roads, sidewalks, bike paths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreation facilities, schools, and playgrounds.**

Public facilities currently serve the site and adequate capacity exists to serve the proposed use.

- 6. Ingress and egress to the property and traffic patterns are designed to protect and promote motorized vehicle and pedestrian/bicycle safety and convenience, allow for desirable traffic flow and control, and provide adequate access in case of fire or catastrophe. This finding shall be based on a traffic report where available, prepared by a qualified traffic consultant, engineer or planner which details the anticipated or projected effect of the project on adjacent roads and the impact on public safety.**

The site plan has been reviewed and determined acceptable for traffic movement, including fire and solid waste trucks.

- 7. The proposed development is functional in the use of space and aesthetically acceptable.**

The site plan is functional and the proposed building and site renovations are aseptically acceptable.

- 8. The proposed development provides for the safety of occupants and visitors.**

The overall design indicates safe movement on the site for occupants and visitors.

9. The proposed use of materials and architectural features will not adversely impact the neighborhood and aesthetics of the area.

The proposed materials and architectural features will not negatively impact the neighborhood or aesthetics of the area. The proposed building complies with the Mediterranean architectural style and the wall waiver request will have no impact.

10. The testimony provided at public hearings.

This application has not been reviewed in a public forum and no testimony has been provided.

RECOMMENDATION: It is expected that the application will be reviewed by the City Commission on May 18, 2009. The consensus of the community meeting was to allow the additional landscaping in lieu of the masonry wall. It is not was clear at the community meeting if all attendees had the expectation of a six-foot hedge at the time of the Certificate of Occupancy or within a certain time frame. Staff values the community meeting process and our recommendation follows the consensus of the meeting to allow the wall waiver and require additional landscape plantings, as outlined in Option 2 above.

If the Planning Board elects to require a 6 foot hedge material be installed or installation of PVC fencing, an amendment to the landscape plan submitted would be required.

Exhibit A

Letter received from
property owner at 200
Sage Brush Trail

March 29, 2010

Dear Mr. Spraker,

As you know our home will be impacted the most with the waiver of the Special Exception requested by the Miro Medical Center. Being steps away from the property line and a direct view of the garbage container and parking lot. We feel the Armond Beach code should be applied here as in all properties backed up to commercial buildings. This is a community with a retention pond, swimming pool, tennis courts all in view and should not have an opening to the public as the plan requested.

Please convey our position to the Planning Department. You and Mr. [Name] were in attendance at the meeting and heard how opinions were changed detailing the Miro building in Palm Coast. He visited the site and it has no relevance to this proposal, a commercial area, busy street, 2 homes across and an entrance to Home Depot with minimal shrubbery.

Thank you for showing an interest to our concerns.

Sincerely,
Judy and Shirley Peters

Exhibit B

- Analysis of Planting Plan by City Landscape Architect

Exhibit C

Map & Site Pictures

Knollwood Estates Dr

Deer Lake Cir

Fishermans Cir

Big Buck Trl

Deer Lake Dr

W Granada Blvd (S.R. 40)

Clyde Morris Blvd (C.R. 483)

Hidden Hills Dr

South Forty Trl

Bluebird Ln

Old Tomoka Rd

**Subject
Property**

Saddle Ox Bow Trl

150

Yoon Way

Horseshoe Trl

Old Barn Trl

Hay Bale Trl

Cotton Seed Trl

Spring Meadows Dr

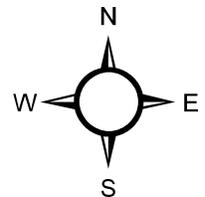
Fernmeadow Ln

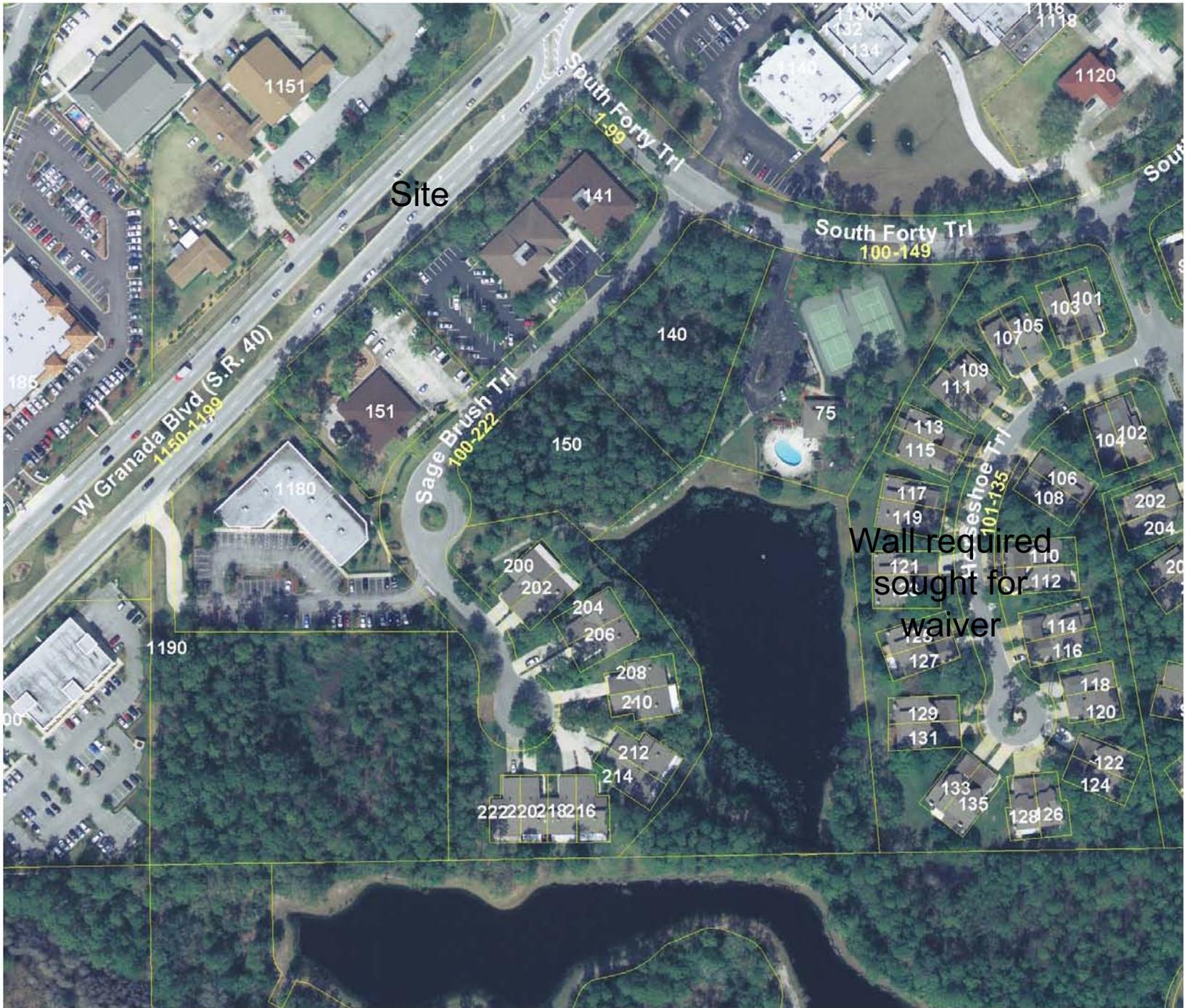
Meadowmist Ct



**Miro Medical
150 Sage Brush Trail**

The City of Ormond Beach
G.I.S. Department
Prepared by: Eric Dickens 03/23/2010





Site

Wall required
sought for
waiver



200 Sage
Brush Trail



Common area

Sidewalk

200 Sage Brush Trail



Looking from subject property back towards townhomes



Looking from subject property back towards townhomes

Exhibit D

Applicant Provided Information

MIRO MEDICAL CENTER

FINAL SITE PLAN

ORMOND BEACH, FLORIDA

GENERAL NOTES:

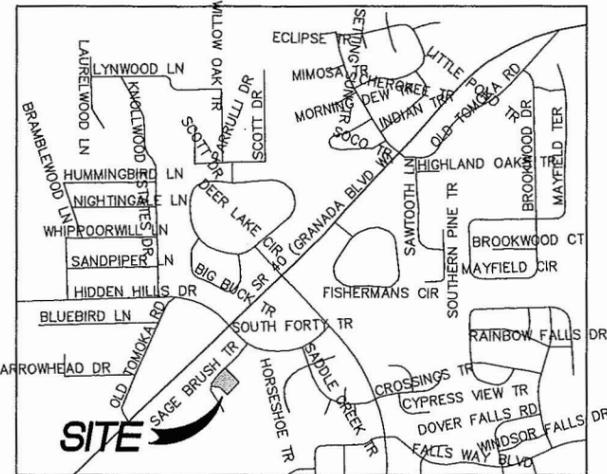
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ORMOND BEACH'S LAND DEVELOPMENT CODE REQUIREMENTS, AND THE STANDARD CONSTRUCTION DETAILS AND CONSTRUCTION SPECIFICATIONS (SCDCS). AN ENGINEERING PERMIT AND TREE REMOVAL PERMIT IS REQUIRED PRIOR TO STARTING CONSTRUCTION.
- NO LAND SHALL BE CLEARED, EXCAVATED OR FILLED AND NO STRUCTURE SHALL BE ERECTED, REPAIRED OR DEMOLISHED WITHOUT PROPER PERMIT(S) AS REQUIRED BY THE CITY OF ORMOND BEACH.
- NOTIFY THE CITY OF ORMOND BEACH'S ENGINEERING DIVISION AT 678-3289 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ANY CONSTRUCTION CHANGES TO APPROVED PLANS SHALL BE SUBMITTED TO THE CITY OF ORMOND BEACH FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- ROAD CONSTRUCTION AND PIPE INSTALLATION COMPACTION AND DENSITY TESTING SHALL CONFORM TO THE CITY OF ORMOND BEACH'S MINIMUM REQUIREMENTS. CERTIFIED COPIES OF TEST REPORTS SHALL BE SUBMITTED TO THE CITY INSPECTOR AND THE CITY'S ENGINEERING DIVISION.
- A PRE-PAVING UTILITY INSPECTION MUST BE REQUESTED AND COMPLETED PRIOR TO THE PAVING OF ALL ROADS, STREETS, AND PARKING AREAS.
- A FINAL INSPECTION, TO BE CONDUCTED BY THE CITY OF ORMOND BEACH, SHALL BE PERFORMED ON ALL CONSTRUCTION. THE DESIGN ENGINEER SHALL NOTIFY THE CITY OF ORMOND BEACH'S ENGINEERING DIVISION 678-3289 WHEN REQUESTING A FINAL INSPECTION.
- THREE COMPLETE SETS OF AS-BUILT DRAWINGS (5 FOR SUBDIVISIONS) ARE REQUIRED TO BE SUBMITTED TO THE CITY OF ORMOND BEACH PRIOR TO REQUESTING A FINAL INSPECTION.
- THE CITY HAS A CONTRACTOR FOR ROLL OFF SERVICE. NO OTHER CONTRACTOR SHALL BE PERMITTED TO PROVIDE THIS SERVICE. VERIFY COMPANY UNDER CONTRACT WITH THE CITY.
- CONSTRUCTION SITES THAT DISTURB ONE ACRE OR MORE WILL BE REQUIRED TO SEEK COVERAGE UNDER THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. IN ACCORDANCE WITH THIS REQUIREMENT, A STORMWATER POLLUTION PREVENTION PLAN (SWPP) MUST BE SUBMITTED TO THE CITY'S ENGINEERING DIVISION PRIOR TO CONSTRUCTION TO BE IN COMPLIANCE WITH THE PERMIT.

IN ORDER TO INSURE THAT NEW DEVELOPMENTS WITHIN THE CITY ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION IS REQUIRED ON ALL PAVING AND DRAINAGE "AS-BUILT" DRAWINGS:

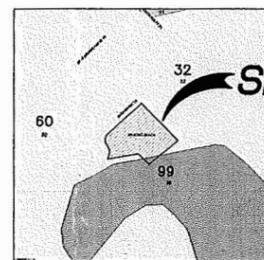
- PAVEMENT AND CURB WIDTHS SHALL BE VERIFIED AND DIMENSIONED FOR EACH STREET AT EACH BLOCK. ALL RADII AT INTERSECTIONS SHALL BE VERIFIED AND DIMENSIONED. THIS INFORMATION TO CLEARLY INDICATE IT AS BEING "AS-BUILT" INFORMATION.
- ROADWAY ELEVATIONS SHALL BE RECORDED AT ALL GRADE CHANGES OR OTHER INTERVALS AS NEEDED ALONG ALL STREETS. STREET CENTERLINE AND CURB INVERT ELEVATIONS SHALL BE RECORDED AS NOTED. THE "AS-BUILT" CENTERLINE PROFILE OF ALL STREETS SHALL ALSO BE SHOWN ON THE PLAN AND PROFILE SO IT MAY BE COMPARED TO THE EXISTING AND DESIGNED PROFILE GRADE LINES. ALL STREET CENTERLINES ON "AS-BUILTS" SHALL BE LABELED WITH STREET NAME AND RIGHT-OF-WAY WIDTH ON EVERY PAGE.
- STORM DRAINAGE STRUCTURES SHALL BE LOCATED AND/OR DIMENSIONED FROM CENTERLINES OR LOT LINES AS APPROPRIATE.
- STORM DRAINAGE PIPE INVERT AND STRUCTURE TOP AND BOTTOM ELEVATIONS SHALL BE RECORDED AND CLEARLY DENOTED AS "AS-BUILT" INFORMATION. DESIGN ELEVATIONS SHALL BE CROSSED OUT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT.
- STORM DRAINAGE PIPE MATERIAL, LENGTH, AND SIZE SHALL BE MEASURED AND/OR VERIFIED. THIS INFORMATION TO CLEARLY INDICATE IT AS BEING "AS-BUILT" INFORMATION.
- ALL APPLICABLE TOPOGRAPHIC INFORMATION, PERTINENT TO THE ON SITE DRAINAGE SYSTEM SUCH AS DITCHES, LAKES, CANALS, ETC. THAT ARE DEEMED APPROPRIATE BY THE CITY SHALL BE NOTED. NORMALLY, RECORDING ELEVATIONS EVERY 100 FEET AT THE TOP OF BANK AND TOE OF SLOPE WILL BE REQUIRED. MEASUREMENTS SHALL BE TAKEN AND RECORDED IN ORDER TO ACCURATELY TIE DOWN THESE FEATURES TO THE ROADWAY CENTERLINES AND TO PLAT LINES. WHENEVER POSSIBLE, CONTOUR LINES SHALL BE UTILIZED TO GRAPHICALLY DESCRIBE THESE TOPOGRAPHIC FEATURES.
- RETENTION AREAS SHALL HAVE THEIR TOP-OF-BANK AND BOTTOM ELEVATIONS RECORDED. ACTUAL MEASUREMENTS SHALL BE TAKEN AND DIMENSIONS RECORDED OF THE SIZE OF ALL RETENTION AREAS. MEASUREMENTS SHALL BE DONE FROM TOP-OF-BANK TO TOP-OF-BANK WITH SIDE SLOPES INDICATED. SEPARATE CALCULATIONS SHALL BE SUBMITTED TO INDICATE REQUIRED AND PROVIDED RETENTION VOLUMES.
- STORM DRAINAGE SWALE CENTERLINES SHALL BE LOCATED AND ELEVATIONS OF FLOW LINE SHALL BE RECORDED EVERY 100 FEET.
- SUBMIT CERTIFIED PAPER "AS-BUILTS" WITH REQUEST FOR FINAL INSPECTION. THREE SETS SHOWING STREETS & DRAINAGE FACILITIES. FOLLOWING FINAL INSPECTION AND COMMENTS, SUBMIT REVISED "AS-BUILTS" ALONG WITH REVISED/CERTIFIED MYLARS AND AUTO-CAD FILE. "AS-BUILT" DRAWINGS SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.

OUTSIDE AGENCY PERMITS REQUIRED

- S.J.R.W.M.D.
- D.E.H. (WATER)
- NPDES



VICINITY MAP



SOILS MAP

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	BOUNDARY, TOPOGRAPHIC, / AND TREE SURVEY
3	TREE REMOVAL/EROSION CONTROL PLAN
4	SITE PLAN
5	CIVIL SITE PLAN
6	LANDSCAPE PLAN
7	IRRIGATION PLAN
8	LANDSCAPE DETAILS
9	IRRIGATION DETAILS
10-11-12	PAVING & DRAINAGE DETAILS
13	WATER STANDARD DETAILS
14	SEWER STANDARD DETAILS
A-2	FLOOR PLAN
A-5	ELEVATIONS (NORTH/SOUTH)

PARKER MYNCHENBERG & ASSOCIATES, INC.

PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS
 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117
 (386)677-6891 FAX (386)877-2114 E-MAIL: info@parkermynchenberg.com
 CERTIFICATE OF AUTHORIZATION #3910

SITE INFORMATION

TAX PARCEL NUMBER: 4220-28-00-0050
 EXISTING ZONING: B-10 - SUBURBAN BOULEVARD
 FLOOD ZONE: X PANEL 12127CD213 H MAP EFFECTIVE FEBRUARY 19, 2003
 STATEMENT OF INTENT: CONSTRUCT 6,400 SF (MAX.) DENTAL OFFICE WITH ASSOCIATED PARKING

MINIMUM BUILDING SETBACK REQUIREMENTS

FRONT YARD _____ 30 FT.
 REAR YARD _____ 30 FT.
 SIDE YARD _____ INTERIOR: 20 FEET
 STREET SIDE: 30 FEET

MAX. BUILDING HEIGHT = 45'
 BUILDING COVERAGE = 30%
 FLUM: O/P OFFICE PROFESSIONAL

LAND USE TABULATION

SITE AREA = 40440.72 SF = 0.928 AC (100%)

IMPERVIOUS AREA:

BUILDING = 6,846 S.F. (16.93%)
 SIDEWALKS = 971 S.F. (2.4%)
 PARKING = 14,075 S.F. (34.80%)
 TOTAL IMPERVIOUS AREA = 21,892 S.F. (54.13%)
 LANDSCAPED AREA = 18,548.72 S.F. (45.87%)

PARKING CALCULATION

PARKING REQUIRED:
 BUILDING = 6,543 S.F. @ 1 SPACE / 200 S.F. = 32 SPACES + 5 = 37
 PARKING PROVIDED:
 PROPOSED STANDARD = 36 SPACES
 HANDICAPPED = 2 SPACES
 TOTAL = 38 SPACES

IN ORDER TO INSURE THAT NEW DEVELOPMENTS WITHIN THE CITY ARE CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH CITY REGULATIONS AND THE APPROVED DRAWINGS, THE FOLLOWING INFORMATION IS REQUIRED ON ALL WATER AND SEWER "AS-BUILT" DRAWINGS:

- SANITARY SEWER MANHOLES SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. ALL RIM, BOTTOM, AND INVERT ELEVATIONS SHALL BE VERIFIED AND RECORDED. THIS INFORMATION TO CLEARLY INDICATE IT AS BEING "AS-BUILT" INFORMATION.
- SEWER LATERALS SHALL BE VERIFIED AND RECORDED AT THEIR CLEAN-OUT LOCATIONS. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TOWARDS UPSTREAM MANHOLES.
- SANITARY GRAVITY AND FORCEMAIN SEWER LINE LENGTHS, SIZES, MATERIAL, SLOPE, ETC., SHALL BE VERIFIED AND RECORDED. THIS INFORMATION TO CLEARLY INDICATE IT AS BEING "AS-BUILT" INFORMATION.
- LIFT STATIONS AND FORCE MAINS SHALL BE VERIFIED AND DIMENSIONED FROM STREET CENTERLINES OR LOT LINES AS APPROPRIATE. FORCE MAIN DEPTH AND LOCATION INCLUDING VALVES WILL BE PROVIDED AND TIED TO PERMANENT ABOVE GRADE FEATURES EVERY 500 FEET. LIFTSTATION TOP, BOTTOM, AND INVERT ELEVATION INFORMATION INDICATED ON THE APPROVED PLAN SHALL BE VERIFIED AND RECORDED. THIS INFORMATION TO CLEARLY INDICATE IT AS BEING "AS-BUILT" INFORMATION. BURIED ELECTRICAL SERVICE LINE SHALL BE CLEARLY DIMENSIONED, LOCATED AND LABELED.
- CURB CUTS OR METAL TABS, USED TO MARK SEWER LATERALS, WATER SERVICES AND WATER VALVES, SHALL BE VERIFIED FOR PRESENCE AND ACCURACY OF LOCATION.
- WATER MAIN LINES SHALL BE DIMENSIONED OFF THE BACK OF CURB OR EDGE OF PAVEMENT IF NO CURB IS PRESENT. WATER MAIN LINE MATERIAL, SIZE, LENGTH AND DEPTH SHALL BE VERIFIED AND RECORDED. THIS INFORMATION TO CLEARLY INDICATE IT AS BEING "AS-BUILT" INFORMATION.
- WATER VALVES, TEES, FIRE HYDRANTS, BLOW-OFFS AND ALL SERVICES SHALL BE LOCATED BY TYING THEM TO SANITARY SEWER MANHOLES. STATIONING AND OFFSET DISTANCES SHALL BE MEASURED FROM DOWNSTREAM MANHOLES TO UPSTREAM MANHOLES. IF SANITARY SEWER MANHOLES ARE NOT PRESENT, TWO-WAY TIES TO PERMANENT ABOVE GRADE FEATURES SHALL BE DIMENSIONED.
- ANY SPECIAL FEATURES SUCH AS CONCRETE FLUMES, LAKE BANKS, WALLS, FENCING, ETC., WHICH WERE A PART OF THE APPROVED CONSTRUCTION DRAWINGS SHOULD ALSO BE LOCATED AND DIMENSIONED.
- SUBMIT CERTIFIED PAPER "AS-BUILTS" WITH REQUEST FOR FINAL INSPECTION. TWO SETS SHOWING WATER FACILITIES AND TWO WITH SEWER FACILITIES. FOLLOWING FINAL INSPECTION AND COMMENTS, SUBMIT REVISED "AS-BUILTS" ALONG WITH REVISED/CERTIFIED MYLARS AND AUTO-CAD FILE. "AS-BUILT" DRAWINGS SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.

NOTE: REFERENCES TO WATER SHALL MEAN POTABLE, RAW AND RECLAIMED WATER MAINS

GENERAL INFORMATION

PROJECT NAME:
 MIRO MEDICAL CENTER
 150 SAGE BRUSH TRAIL
 DESIGN ENGINEER/
 LANDSCAPE ARCHITECT:

PARKER MYNCHENBERG & ASSOC., INC.
 PARKER MYNCHENBERG, P.E. #32645, L.A.#1553
 CERTIFICATE OF AUTHORIZATION #3910
 1729 RIDGEWOOD AVENUE
 HOLLY HILL, FLORIDA 32117
 (386) 677-6891 FAX (386) 677-2114
 E-MAIL: info@parkermynchenberg.com

SURVEYOR:
 CULLUM LAND SURVEYING, INC.
 GREGG CULLUM
 5889 S. WILLIAMSON BLVD.
 PORT ORANGE, FLORIDA 32128
 (386) 761-7666 FAX (386) 761-7909
 E-MAIL: cullumlandsurveying.com

DEVELOPER/ APPLICANT:
 MIRO GROUP, LLC
 DR. ROBERT E. BORER, D.M.D., P.A., MANAGING MEMBER
 555 W. GRANADA BLVD.
 SUITE E-2
 ORMOND BEACH, FL 32174
 (386) 676-0750 FAX (386)

ARCHITECT:

BPf DESIGN, INC.
 BRIAN P. FREDLEY, PRESIDENT
 207 FAIRVIEW AVENUE
 DAYTONA BEACH, FLORIDA 32114
 (386) 257-0502 FAX (386) 257-1050
 E-MAIL: bpfdesign@fl.rr.com

NO.	DATE	DESCRIPTION	BY
7	11-10-09	REVISED LANDSCAPE PLAN TO PROVIDE ADDITIONAL SCREENING HEDGE AND REMOVE WALL/ REV. TOTERS ENCL.	JD
5	9-1-09	REVISED BUILDING FOOTPRINT/ADDED COVERED PARKING	JD
4	1-24-09	REVISED PER CITY COMMENTS	JD
3	1-12-09	REVISED PER CITY COMMENTS	JD
2	12-4-08	REVISED	JD

NO.	DATE	DESCRIPTION
1	10-28-08	REVISED

REVISIONS

COVER SHEET

MIRO MEDICAL CENTER NO. 53985

ORMOND BEACH, FLORIDA

DESIGNER: PARKER MYNCHENBERG & ASSOCIATES, INC.

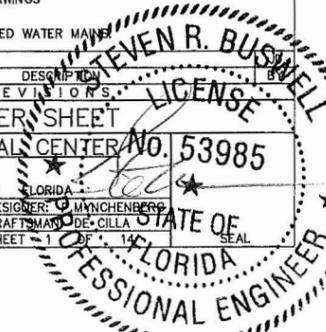
DRAFTSMAN: DE CILLA

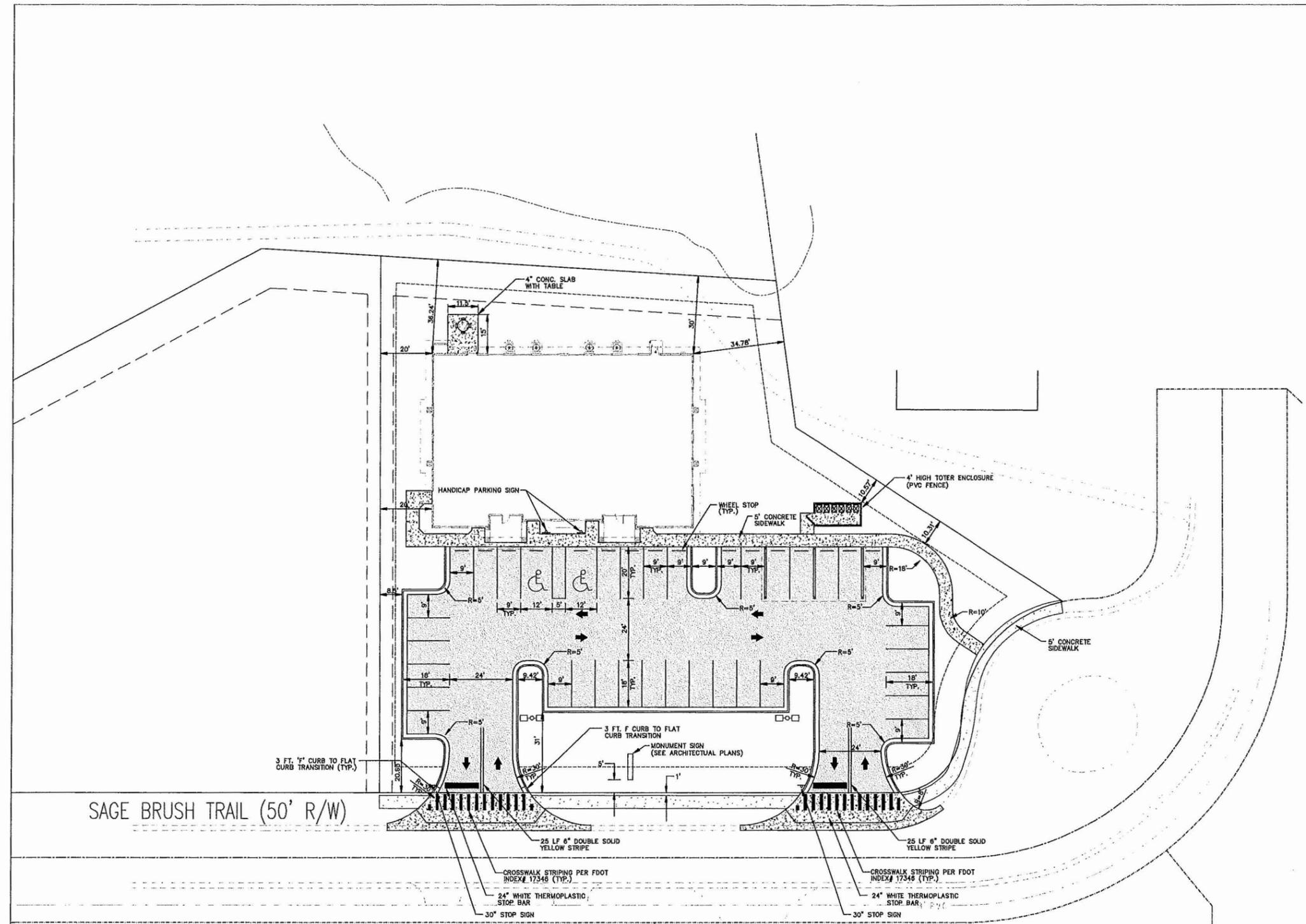
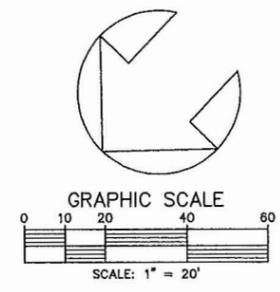
DATE: 4-23-08

SCALE: NONE

SHEET 1 OF 14

DEC 11 2009





SAGE BRUSH TRAIL (50' R/W)

NO.	DATE	DESCRIPTION	BY
7	11-10-09	REVISED LANDSCAPE PLAN TO PROVIDE ADDITIONAL SCREENING HEDGE AND REMOVE WALL/ REV. TOTERS ENCL.	JD
6	9-16-09	REVISED	JD
5	9-1-09	REVISED BUILDING FOOTPRINT/ADDED COVERED PARKING	JD
4	1-24-09	REVISED PER CITY COMMENTS	JD
3	1-12-09	REVISED PER CITY COMMENTS	JD
2	12-4-08	REVISED	JD
1	10-28-08	REVISED	JD

PARKER MYNCHENBERG & ASSOCIATES, INC.
 PROFESSIONAL ENGINEERS & LANDSCAPE ARCHITECTS
 1729 RIDGEWOOD AVENUE HOLLYWOOD, FLORIDA 33024
 (386) 677-6891 FAX (386) 677-2114 E-MAIL: PMO@PMAA.COM
 CERTIFICATE OF AUTHORIZATION NUMBER: 00002910

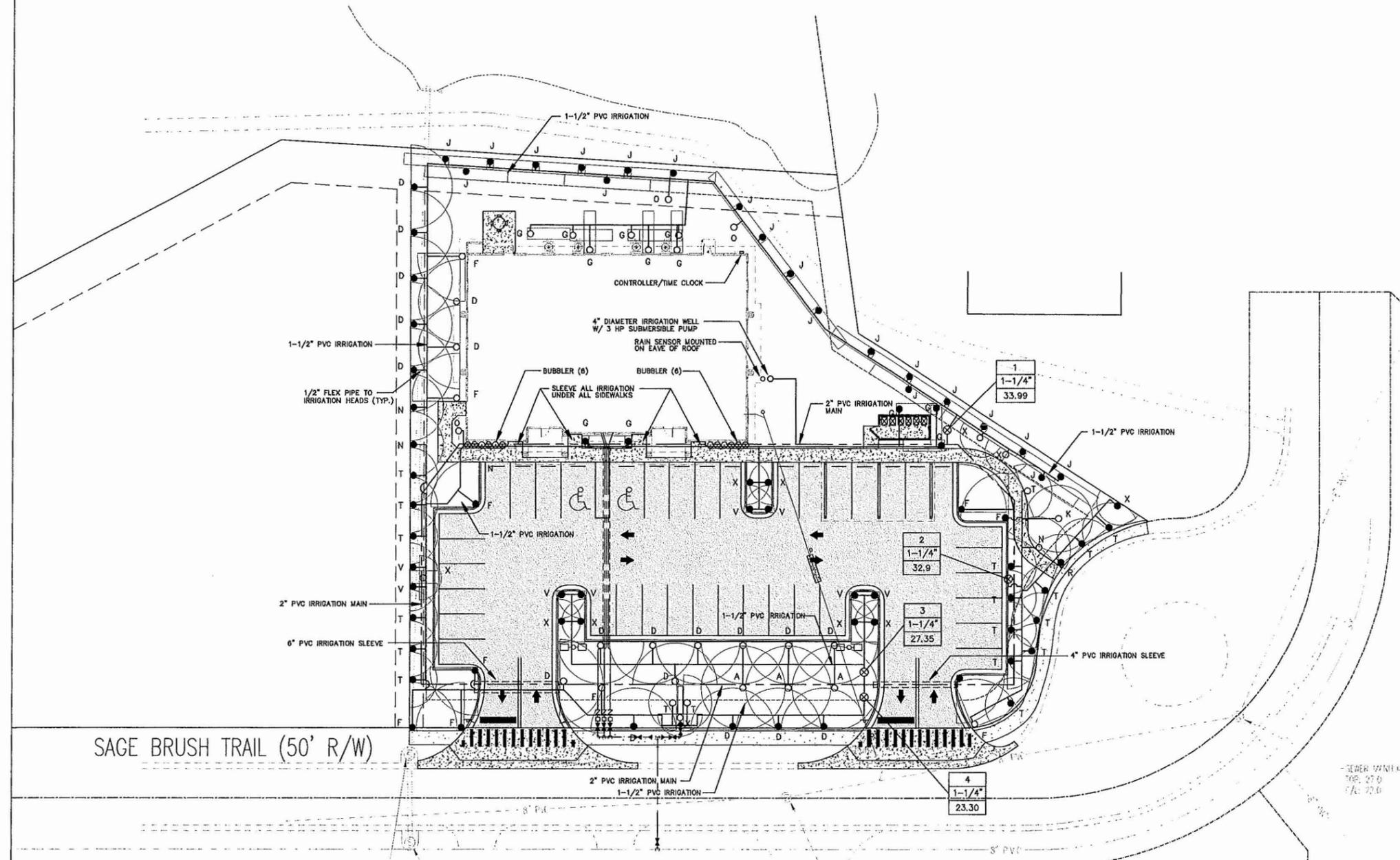
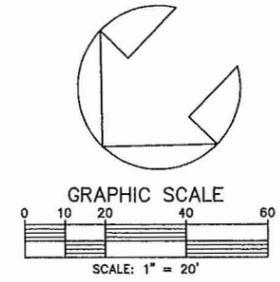
STATE OF FLORIDA
 PROFESSIONAL ENGINEER

SITE PLAN NO. 53985
MIRO MEDICAL CENTER
 ORMOND BEACH, FLORIDA

FILE NO. 08-24SP.DWG DESIGNER: P. MYNCHENBERG
 DATE: 4-23-08 CADD: JCH, DL
 SCALE: 1" = 20' SHEET 08 OF 08

DEC 11 2009

C:\WORK\MIRO\MIRO082308\082308.dwg, 11/23/2009 10:43:55 PM, DWG TO PDF.plt, 320



"WATER-WISE CALCULATION:
 (PER VOLUSIA COUNTY RECOMMENDATIONS)
 TOTAL LANDSCAPE AREA = 18,589 SF
 25% MIN. OF LANDSCAPE AREA TO BE UNIRRIGATED
 18,549 S.F. x 0.25 = 4,637 SF. UNIRRIGATED AREA REQUIRED
 TOTAL UNIRRIGATED AREA PROPOSED = 5,279 SF. = 28.4%

SAGE BRUSH TRAIL (50' R/W)

CURB WALL
 W/ MANHOLE
 TOP 74.261
 28.4

CURB WALL
 W/ MANHOLE
 TOP 74.261
 28.5

CURB WALL
 W/ MANHOLE
 TOP 74.215
 21.5

NO.	DATE	DESCRIPTION	BY
7	11-10-09	REVISED LANDSCAPE PLAN TO PROVIDE ADDITIONAL SCREENING HEDGE AND REMOVE WALL/ REV. TOTERS ENCL.	JD
6	9-16-09	REVISED	JD
5	9-1-09	REVISED BUILDING FOOTPRINT/ADDED COVERED PARKING	JD
4	1-24-09	REVISED PER CITY COMMENTS	JD
3	1-12-09	REVISED PER CITY COMMENTS	JD
2	12-4-08	REVISED	JD
1	10-28-08	REVISED	JD

REVISIONS

PARKER MYNCHENBERG & ASSOCIATES, INC.
 PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS
 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117
 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com
 CERTIFICATE OF AUTHORIZATION NUMBER: 00003910

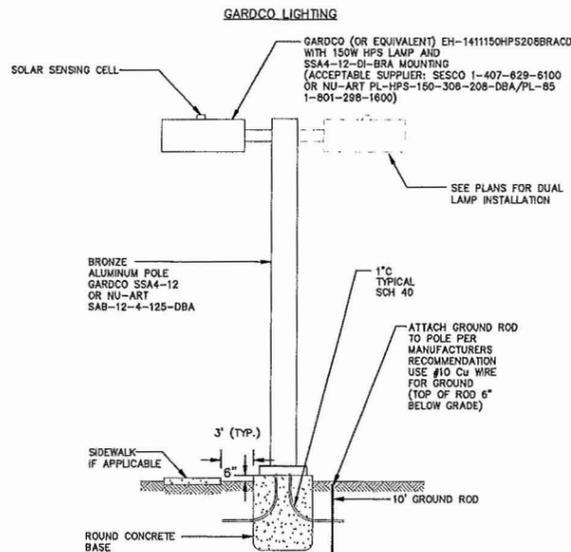
IRRIGATION PLAN
MIRO MEDICAL CENTER

ORMOND BEACH FLORIDA

FILE NO. 08-24SP.DWG DESIGNER: P.MYNCHENBERG
 DATE: 4-23-08 CADD TECH: DE CILLA
 SCALE: 1" = 20' SHEET 7 OF 14 SEAL

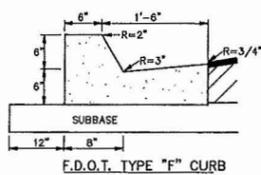
DEC 1 1 2009

C:\WORK\08-24SP.DWG 11-10-09 11:22:00 AM 11/10/09 11:22:00 AM 11/10/09 11:22:00 AM



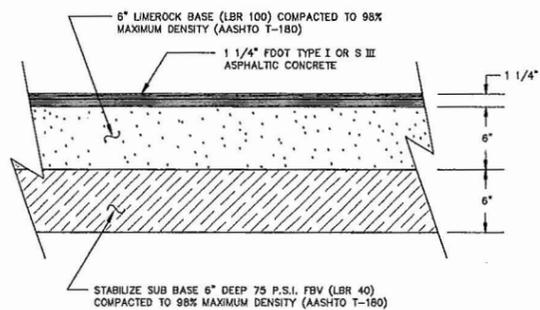
- NOTE:**
1. ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 2. ALL LIGHT POLES SHALL BE DESIGNED TO WITHSTAND 120 M.P.H. WINDLOADS.
 3. OPTICAL REFLECTORS SHALL BE SELECTED TO ENSURE NO OFFSITE IMPACTS TO SURROUNDING PROPERTY OWNERS.

PARKING LOT LIGHT DETAIL

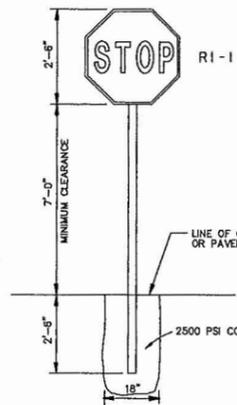


- NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 2500 P.S.I. CONCRETE
 2. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 500', CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4' MINIMUM).
 3. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED AT EACH SIDE OF ALL STORM INLET STRUCTURES AND AT ALL RADIUS POINTS.
 4. 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY WITH MINIMUM L.B.R. 40 BASED ON AASHTO T-180 MODIFIED PROCTOR TEST.
 5. EXPANSION JOINT MATERIAL MUST COVER THE ENTIRE CROSS SECTION OF CURB.
 6. ALL EXPOSED CORNERS TO BE ROUNDED AT 3/4" MIN. RADIUS.

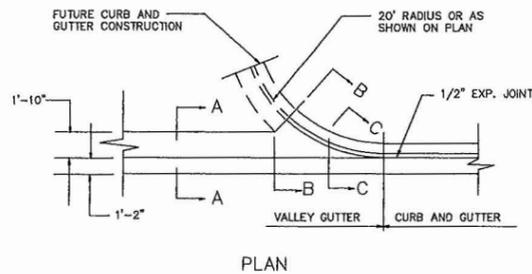
STANDARD CURB CONSTRUCTION



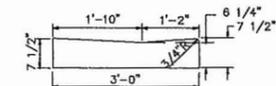
STANDARD PAVING DETAIL



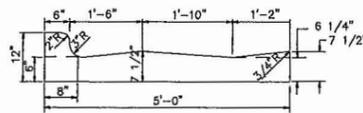
STOP/MISC. SIGN CONSTRUCTION DETAIL



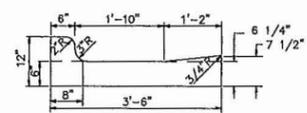
PLAN



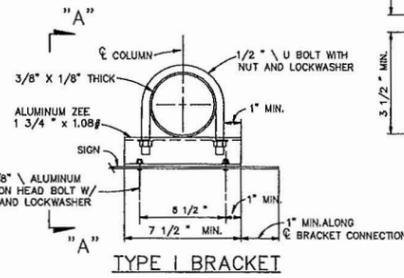
SECTION "A"- "A"



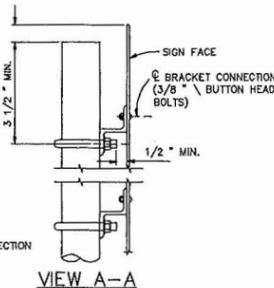
SECTION "B"- "B"



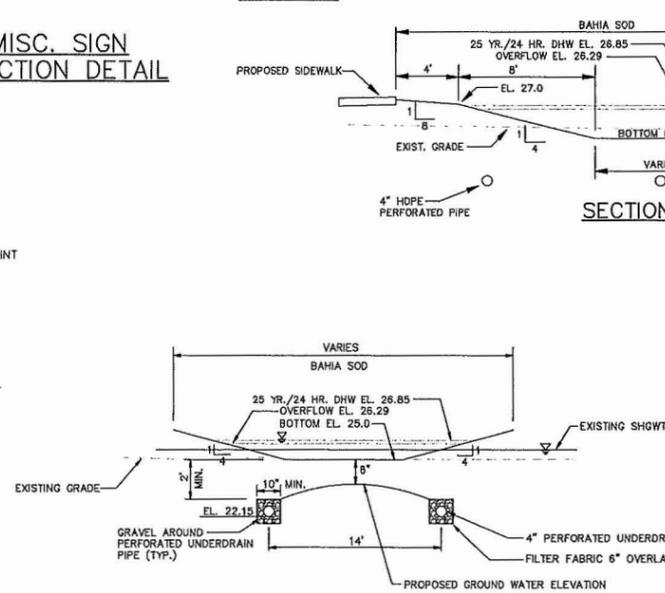
SECTION "C"- "C" VALLEY GUTTER



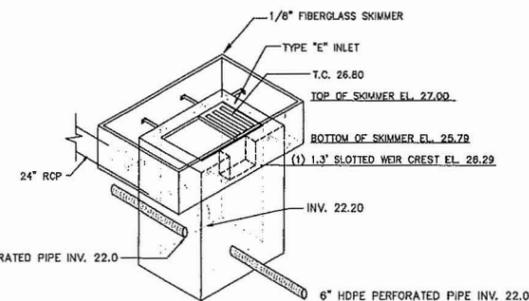
TYPE I BRACKET



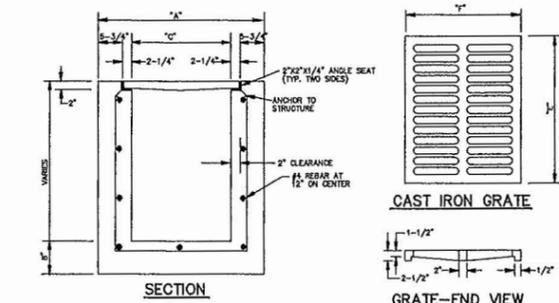
VIEW A-A



TYPICAL SECTION THRU UNDERDRAIN



"E" INLET CONTROL STRUCTURE #A1



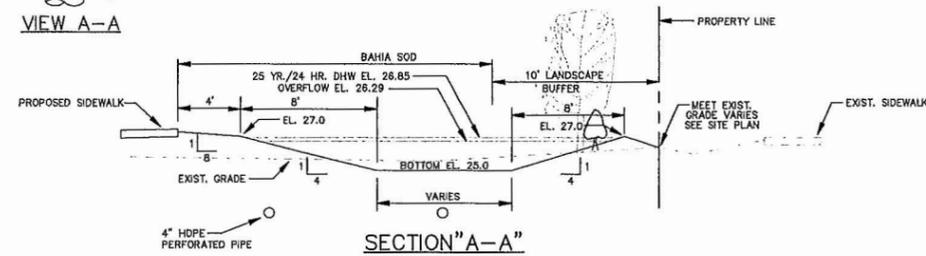
CAST IRON GRATE

GRATE-END VIEW

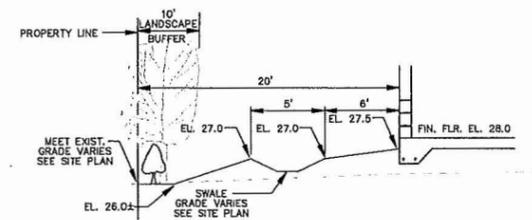
INLET TYPE	DIMENSIONS					
	A	B	C	D	E	F
1"	3'-4"	1'-4"	12'-0"	12'-11"	12'-0"	2'-4"
2"	4'-4"	2'-0"	12'-0"	12'-0"	12'-0"	3'-4"

- GENERAL NOTES:**
1. ALL EXPOSED EDGES AND CORNERS TO BE CHAMFERED 3/4".
 2. CAST IRON GRATES TO BE IN ACCORDANCE WITH FLORIDA D.O.T. SPECS.
 3. TYPE 'E' SLOTTED INLET IS A TYPE 'E' TURNED 90° TO RECEIVE R.C.P.'S UP TO 48" DIA. INLETS RECEIVING R.C.P.'S LARGER THAN 48" DIA. SHALL BE IN ACCORDANCE WITH FLORIDA D.O.T. STANDARDS, AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 4. INLET WALLS AND FOOTINGS MAY BE EITHER POURED-IN-PLACE 2500 LB. CONCRETE OR PRECAST CLASS 'A' 2500 LB. CONCRETE OR STAINLESS MANHOLE BRICK (NO BOND) WITH 1/2" PLASTER (NO LIME) W/ 8" PRECAST CAP.
 5. GRATES FOR TYPE 'E' AND 'F' MOD. ARE TO BE CAST IN TWO SECTIONS.
 6. STEEL REINFORCING SHALL BE DESIGNED BY A P.E. REG. P.E., AND BE DESIGNED FOR EACH SPECIFIC STRUCTURE.
 7. SHOP DRAWINGS FOR ALL STRUCTURES SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 8. THE TYPE 'C' AND TYPE 'E' DRAINAGE INLETS SHOWN MAY BE CONSTRUCTED UTILIZING A ROUND BOTTOM WHEN THE ROUND BOTTOM IS USED THE STRUCTURE DESIGNATION WILL BE: TYPE 'C' UNMODIFIED AND TYPE 'E' MODIFIED.

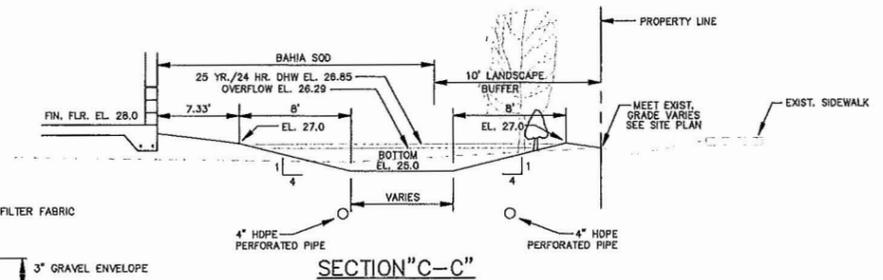
TYPE "C" & "E" INLET



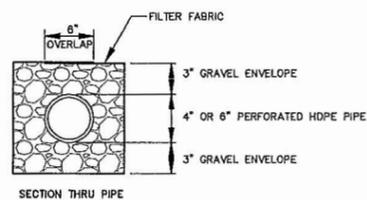
SECTION "A-A"



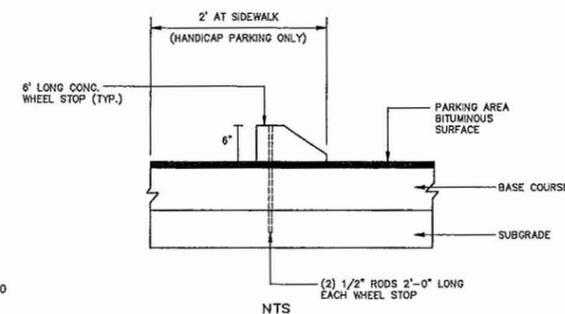
SECTION "B-B"



SECTION "C-C"



SECTION THRU PIPE



- NOTES:**
1. CENTER WHEEL STOP IN EACH STALL

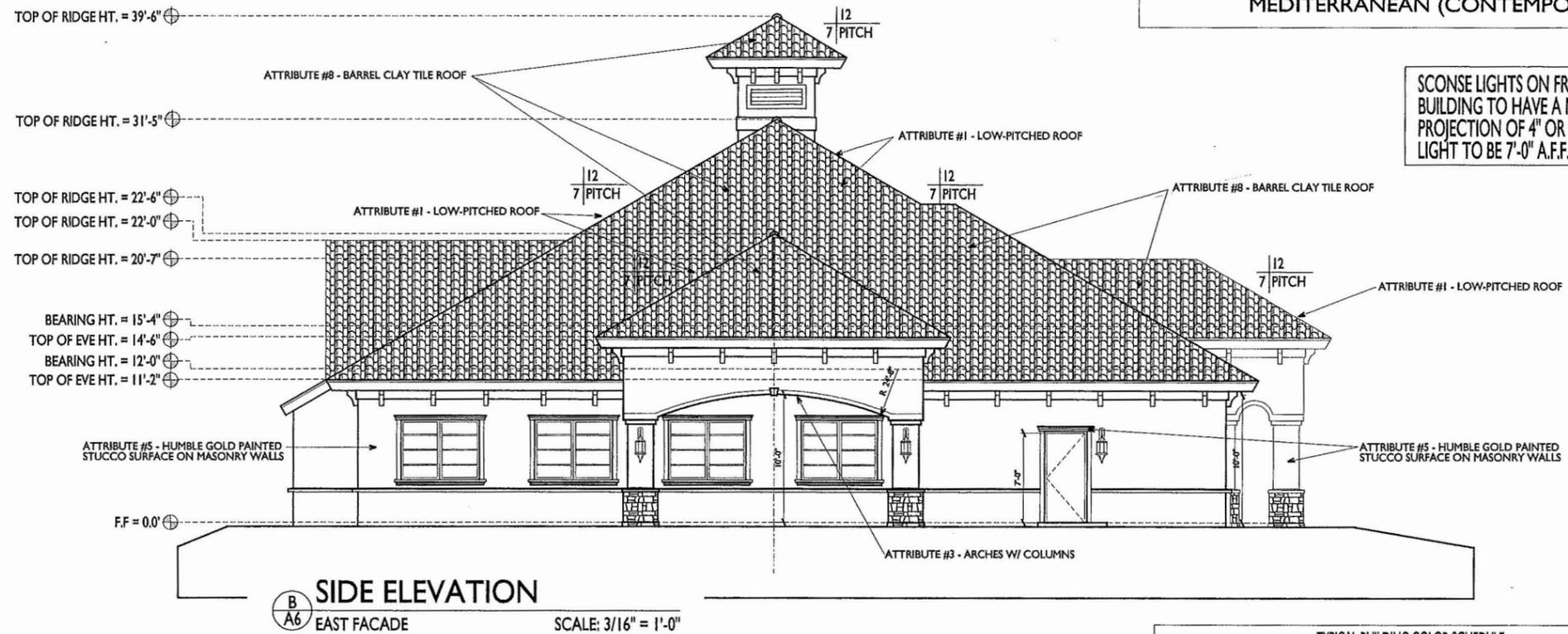
NO.	DATE	DESCRIPTION	BY
7	11-10-09	REVISED LANDSCAPE PLAN TO PROVIDE ADDITIONAL SCREENING HEDGE AND REMOVE WALL / REV. TOTERS ENCL.	JD
5	9-1-09	REVISED BUILDING FOOTPRINT/ADDED COVERED PARKING	JD
4	1-24-08	REVISED PER CITY COMMENTS	JD
3	1-12-09	REVISED PER CITY COMMENTS	JD
2	12-4-08	REVISED	JD
1	10-28-08	REVISED	JD

PARKER MYNCHENBERG & ASSOCIATES, INC.
 PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS
 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA
 (386)677-6881 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com
 CERTIFICATE OF AUTHORIZATION NUMBER: 00003910
 PAVING & DRAINAGE DETAILS
 MIRO MEDICAL CENTER
 ORMOND BEACH, FLORIDA
 FILE NO. 08-24PD.DWG DESIGNER: P. MYNCHENBERG
 DATE: 4-23-08 CADD: G. DE LUCA
 SCALE: NONE SHEET: 17 OF 17

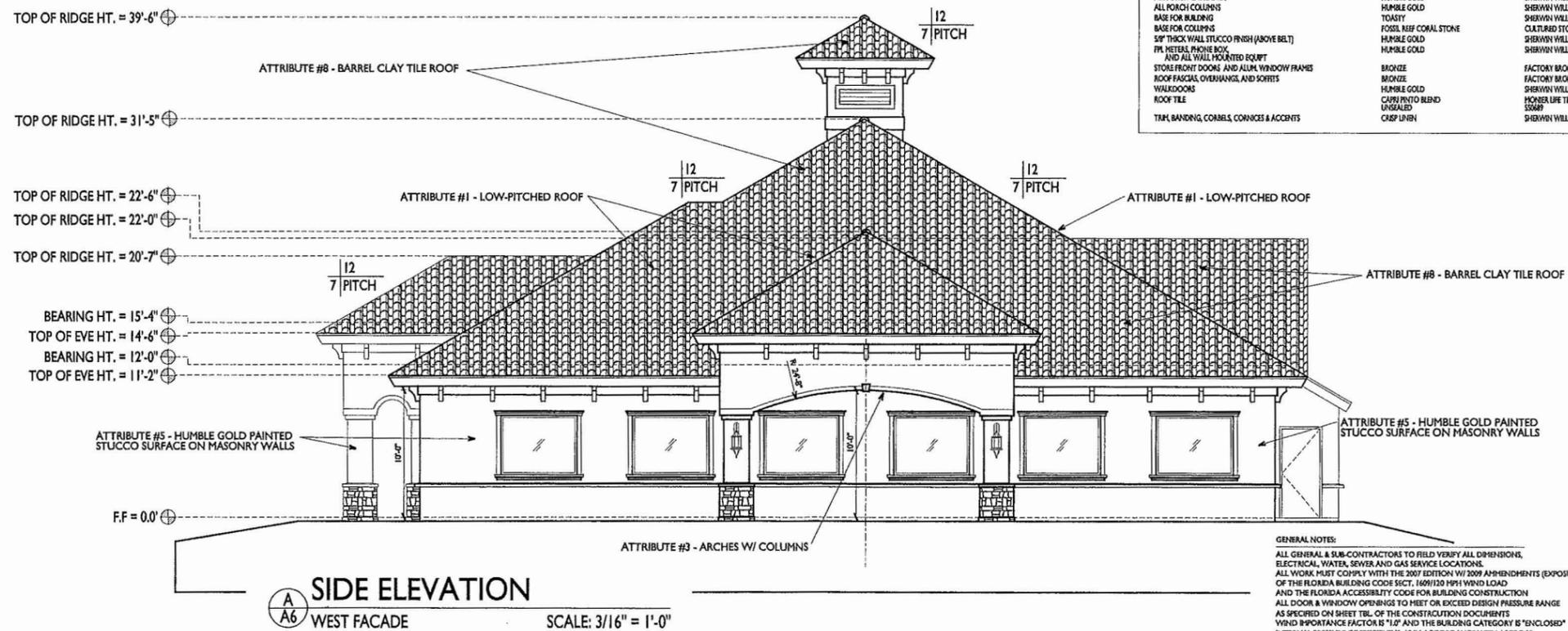
DEC 11 2009

ARCHITECTURAL STYLE:
MEDITERRANEAN (CONTEMPORARY)

SCONSE LIGHTS ON FRONT OF BUILDING TO HAVE A MAXIMUM PROJECTION OF 4" OR BOTTOM LIGHT TO BE 7'-0" A.F.F.



BUILDING ELEMENT:	SPECIFIED COLOR:	MAKE & NUMBER:
ALL PORCH GABLE ENDS	HUMBLE GOLD	SHERWIN WILLIAMS SW6380
ALL PORCH COLUMNS	HUMBLE GOLD	SHERWIN WILLIAMS SW6380
BASE FOR BUILDING	TOASTY	SHERWIN WILLIAMS SW6095
BASE FOR COLUMNS	FOSSIL REEF CORAL STONE	CULTURED STONE - CV-35499
5/8" THICK WALL STUCCO FINISH (ABOVE BELT)	HUMBLE GOLD	SHERWIN WILLIAMS SW6380
FR. METEOR. PHONE BOX AND ALL WALL MOUNTED EQUIPT	HUMBLE GOLD	SHERWIN WILLIAMS SW6380
STORE FRONT DOORS AND ALUM. WINDOW FRAMES	BRONZE	FACTORY BRONZE
ROOF FASCIA, OVERHANGS AND SOFFITS	BRONZE	FACTORY BRONZE
WALDOORS	HUMBLE GOLD	SHERWIN WILLIAMS SW6380
ROOF-TILE	CURRY PLYTO BLEND UNGRALED	POKER LIFE TILE - CURRY 55049
TAMP, BANDING, CORNBS, CORNICES & ACCENTS	CRISP LINEN	SHERWIN WILLIAMS SW6378



GENERAL NOTES:
ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.
ALL WORK MUST COMPLY WITH THE 2007 EDITION W/ 2009 AMENDMENTS (EXPOSURE 'C') OF THE FLORIDA BUILDING CODE SECT. 160110 WIND LOAD AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE RANGE AS SPECIFIED ON SHEET TBL. OF THE CONSTRUCTION DOCUMENTS
WIND IMPORTANCE FACTOR IS 1.07 AND THE BUILDING CATEGORY IS "ENCLOSED"
INTERNAL PRESSURE COEFFICIENT IS .18 IN ACCORDANCE WITH ASCE 7-05
ALL GLAZING IS TO BE IMPACT RESISTANT OR EMPLOY HURRICANE SHUTTERS

MIRO GROUP MEDICAL BUILDING - SHELL PACKAGE

OWNER/DEVELOPER: MIRO GROUP, I.L.C., ROBERT BORER, DMD & BRUCE MANN, DMD, 555 WEST GRANADA BLVD., SUITE E2, ORMOND BEACH, FL 32174 PH: 386/676-9705 FX: 386/671-9248
PROJECT LOCATION: 150 SAGE BRUSH TRAIL, ORMOND BEACH, FL 32174
GENERAL CONTRACTOR: TO BE DETERMINED

BPF
DESIGN INCORPORATED
ARCHITECTURE, DESIGN, & DRAWING SERVICES
AA 2801108
BRIAN P. FREDLEY, ASSOC. AIA, PROJECT MANAGER
DALLAS B. PEACOCK, AIA, ARCHITECT
AR 0039706
207 FAIRVIEW AVENUE, DAYTONA BEACH, FL 32114
PH: (386) 257-8502 FX: (386) 257-1060
E-MAIL: bpfdesign@aol.com WEBSITE: bpfdesign.net

DATE: SEPTEMBER 2, 2009 SCALE: 3/16" = 1'-0"

BUILDING ELEVATIONS

SHT NO. A6

